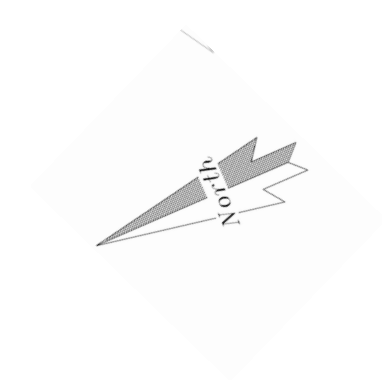


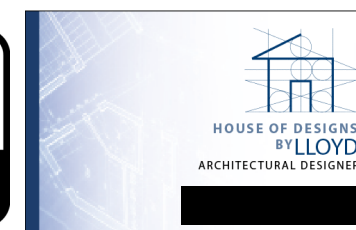
- A) GRASS
- B) CONCRETE PAVING SLABS
- C) BIKE/MOTOR BIKE STORAGE
- D) BIN STORAGE
- E) 1830MM X 1830MM PRESSURE TREATED TIMBER FENCE PANELS TO BS 1722-5:2006
- F) 900MM HIGH FACE BRICK BOUNDARY WALL



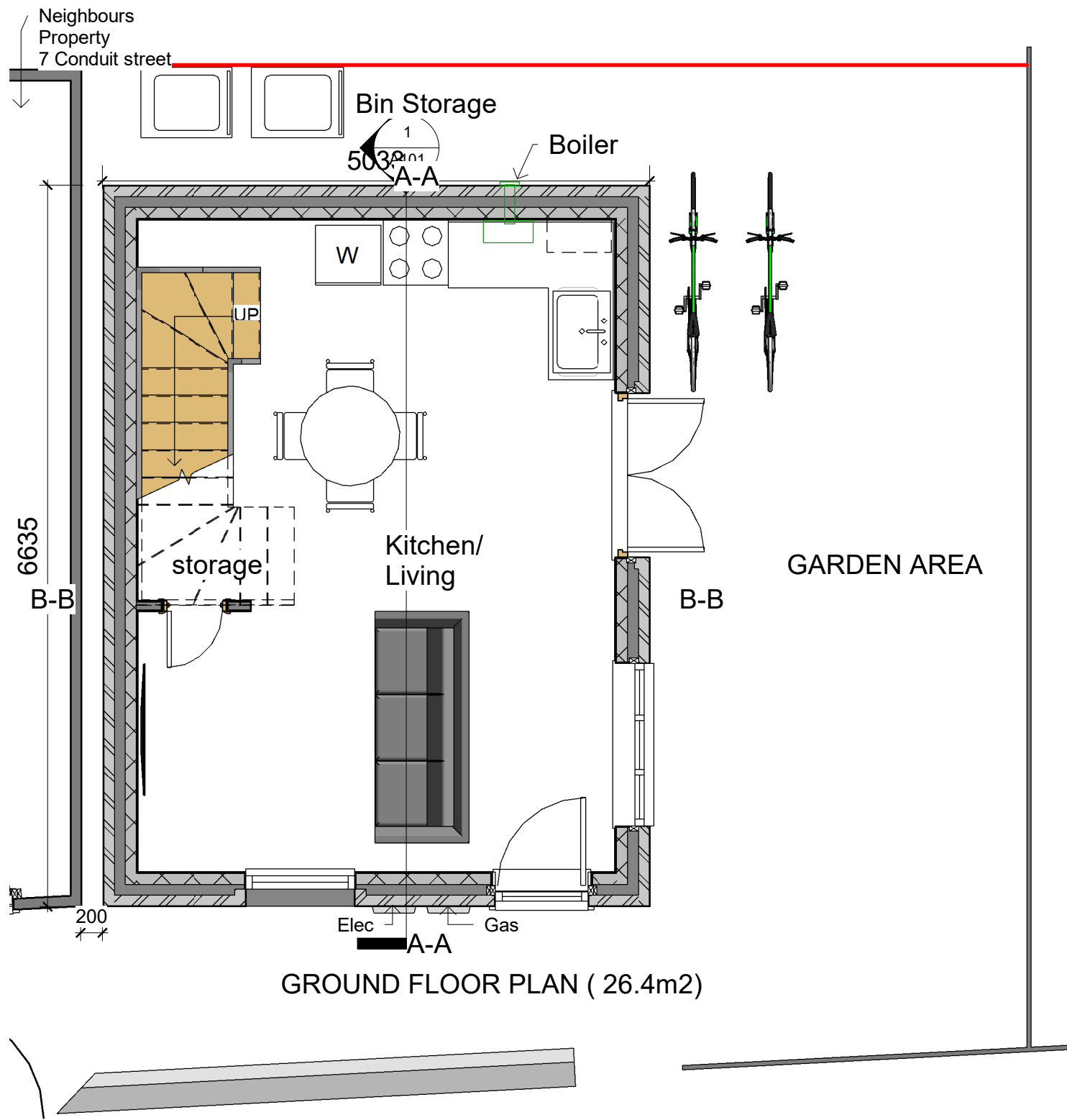
BLOCK PLAN

1:50

PROPOSED BLOCK PLAN



Project: Land adjacent to 7a conduit street
 Client: Mr W Godsell
 Drawing: Proposed Block Plan
 Drawn By Lloyd Gordon
 Date: 10/01/2022
 Scale: 1:50 @A3
 Revision: 0

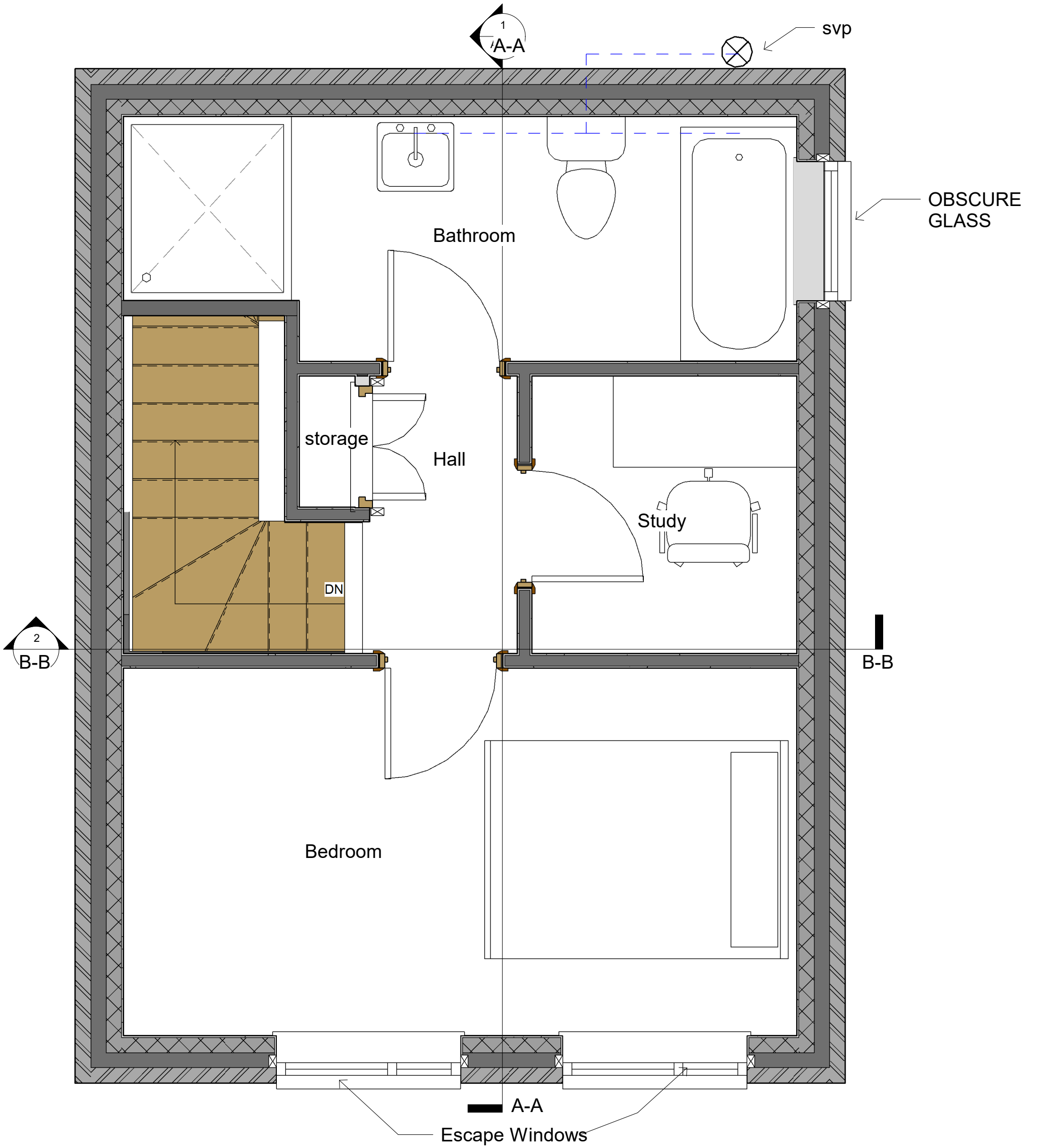


GROUND FLOOR PLAN (26.4m²)

1:50

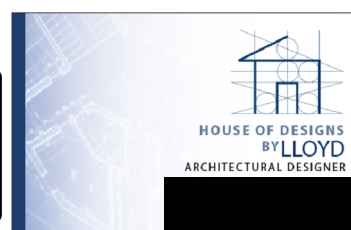


Project: Land adjacent to 7a conduit street
 Client: Mr W Godsell
 Drawing: Proposed Ground Floor Plan
 Drawn By Lloyd Gordon
 Date: 10/09/2021
 Scale: 1:50 @A3
 Revision: 0



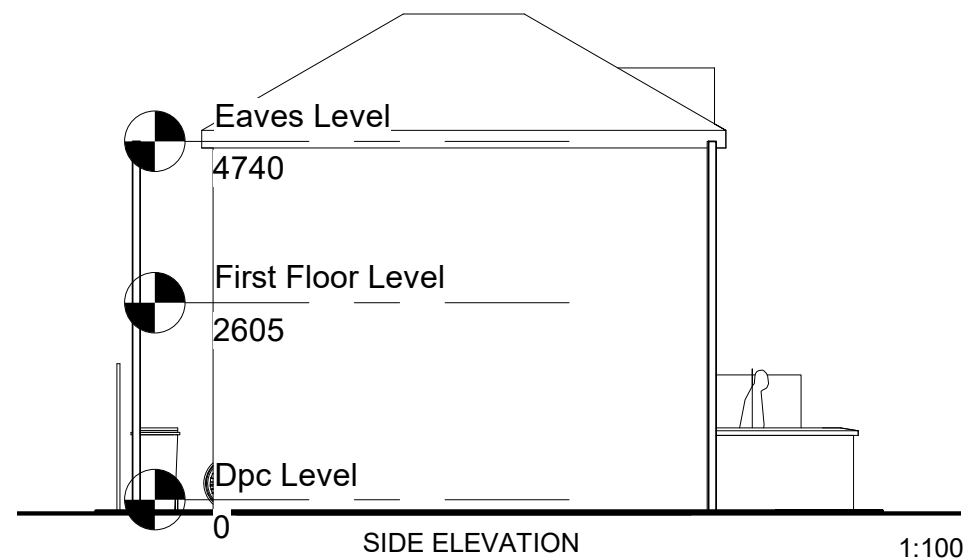
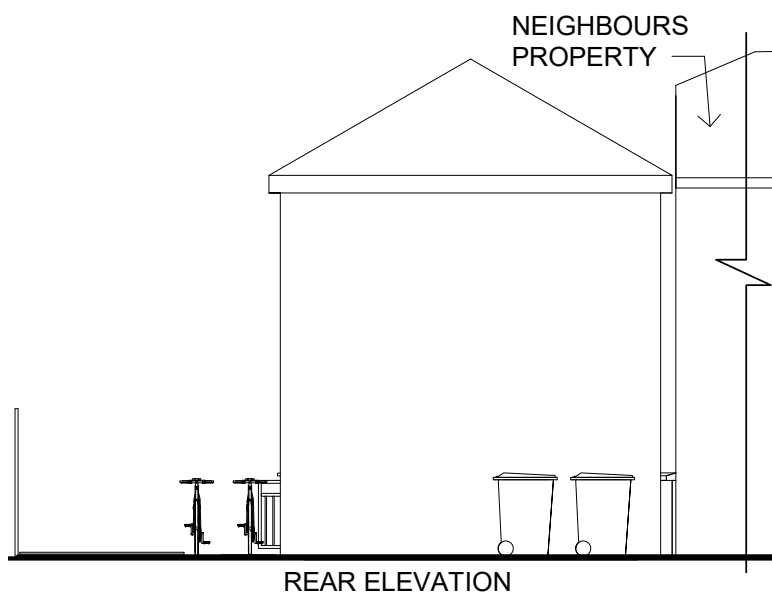
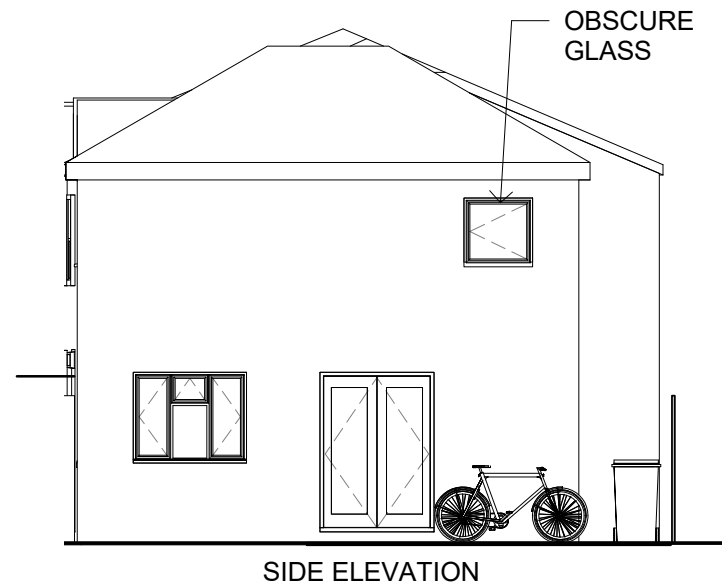
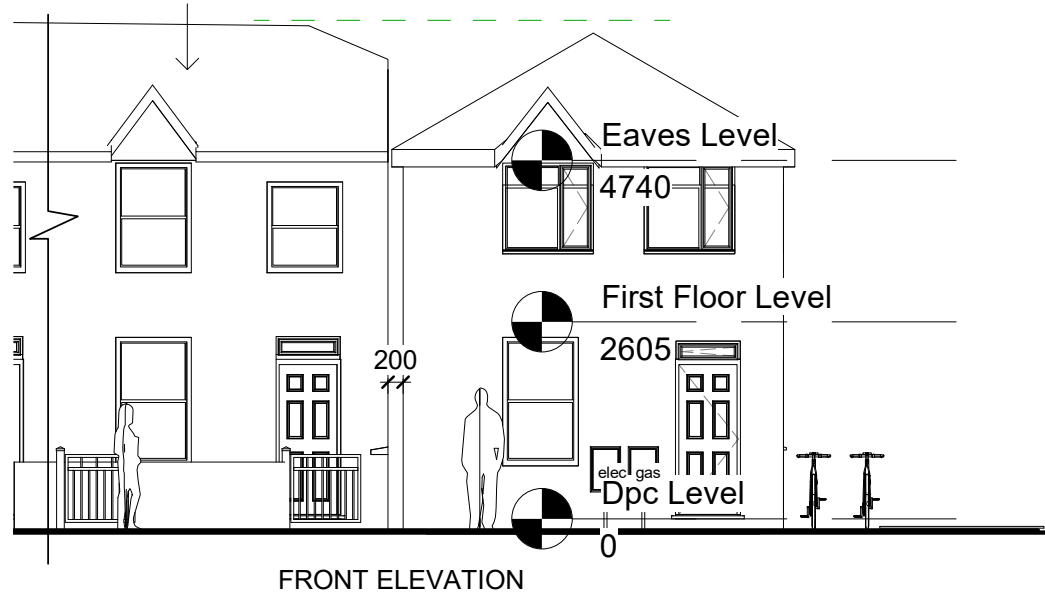
PROPOSED FIRST FLOOR PLAN (26.4 m²)

1:25



Project: Land adjacent to 7a conduit street
 Client: Mr W Godsell
 Drawing: Proposed First Floor Plan
 Drawn By Lloyd Gordon
 Date: 10/09/2021
 Scale: 1:25 @A3
 Revision: 0

NEIGHBOURS PROPERTY
7 CONDUIT STREET



Notes:

All Dimensions are to be checked on site

Specification:

foundation Depth of Proposed to be confirmed by the Building Inspector

Structural Engineers designs required for excavating adjacent to neighbours (Thrifty) boundary wall
Roof requires steel beam as shown in Roof engineers drawings

300mm wide External cavity wall with 100mm cavity wall
rock wool insulation Batts to BS 6676
100mm x 215 x 65mm Northcot face bricks
100mm x 440mm x 215mm Thermalite Blocks

cavity wall ties positioned max 450mm vertical, 900mm horizontal to BS EN 845-1

Damp proof course laid level with existing floor level to BS EN 14909

Damp proof tray laid to BS 8215

Cavity wall closures positioned at windows and doors to BS EN ISO 9001

Ground floor spec-

- (1) 100mm Hardcore
- (2) 100mm compacted tight one stone
- (3) 20mm sand binding
- (4) Damp proof membrane BS EN 13967: 2012.
- (5) 100mm rigid insulation BS 5241-1:1994
- (6) separation layer
- (7) 100mm concrete floor
- (8) floor finish to be confirmed by client

PROPOSED ELEVATIONS



Project: Land adjacent to 7a conduit street
Client: Mr W Godsell
Drawing: Proposed Elevations
Drawn By Lloyd Gordon
Date: 10/01/2022
Scale: 1:100 @A3
Revision: 0



SCENE FROM FRONT



RIGHT PERSPECTIVE

- A) Proposed House
- B) Brick Finish
- C) Rendered Finish
- D) Timber Fence



LEFT PERSPECTIVE

PROPOSED STREET SCENE



Project: Land adjacent to 7a conduit street
 Client: Mr W Godsell
 Drawing: Proposed Street Scene
 Drawn By Lloyd Gordon
 Date: 10/01/2022
 Scale: @A3
 Revision: 0