

Householder Application for Planning Permission for works or extension to a dwelling

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x) Northing (y)

Description

Applicant Details

Name/Company

Title

Mr and Mrs

First name

Ian and Joanne

Surname

Kubiak and Baynes-Kubiak

Company Name

Address

Address line 1

21 Sandford Way

Address line 2

Tuffley

Address line 3

Town/City

Gloucester

Country

United Kingdom

Postcode

GL4 0TR

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

***** REDACTED *****

Secondary number

Fax number

Email address

Description of Proposed Works

Please describe the proposed works

Has the work already been started without consent?

- Yes
- No

Materials

Does the proposed development require any materials to be used externally?

- Yes
- No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

Type:

Walls

Existing materials and finishes:

Red brick

Proposed materials and finishes:

Red brick

Type:

Roof

Existing materials and finishes:

Black roof tiles

Proposed materials and finishes:

Black roof tiles

Type:

Windows

Existing materials and finishes:

uPVC

Proposed materials and finishes:

uPVC

Type:

Doors

Existing materials and finishes:

uPVC

Proposed materials and finishes:

uPVC

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

Additional documents have been uploaded.

Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

Yes

No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

Yes

No

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

- Yes
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes
 No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

- Yes
 No

Parking

Will the proposed works affect existing car parking arrangements?

- Yes
 No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
 The applicant
 Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes
 No

If Yes, please complete the following information about the advice you were given (this will help the authority to deal with this application more efficiently):

Officer name:

Title

***** REDACTED *****

First Name

***** REDACTED *****

Surname

***** REDACTED *****

Reference

21/00789/LAW

Date (must be pre-application submission)

05/09/2021

Details of the pre-application advice received

We were informed of the following:

The proposal does not meet with PD due to the ground level being built up to bring the extension level with the existing house. This is therefore part of the development and has to be included in the height measurement, bringing the overall height to above the maximum 3.0 metres allowed (due to being within 2.0 metres of the boundary).

The process for submitting a full application would be the same as any other household application.

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes
- No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes
- No

Is any of the land to which the application relates part of an Agricultural Holding?

- Yes
- No

Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

- The Applicant
- The Agent

Title

Mr and Mrs

First Name

Ian and Joanne

Surname

Kubiak Baynes-Kubiak

Declaration Date

12/02/2022

Declaration made

Declaration

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

Jo Baynes-Kubiak

Date

12/02/2022

21, Sandford Way, Gloucester, Gloucestershire, GL4 0TR

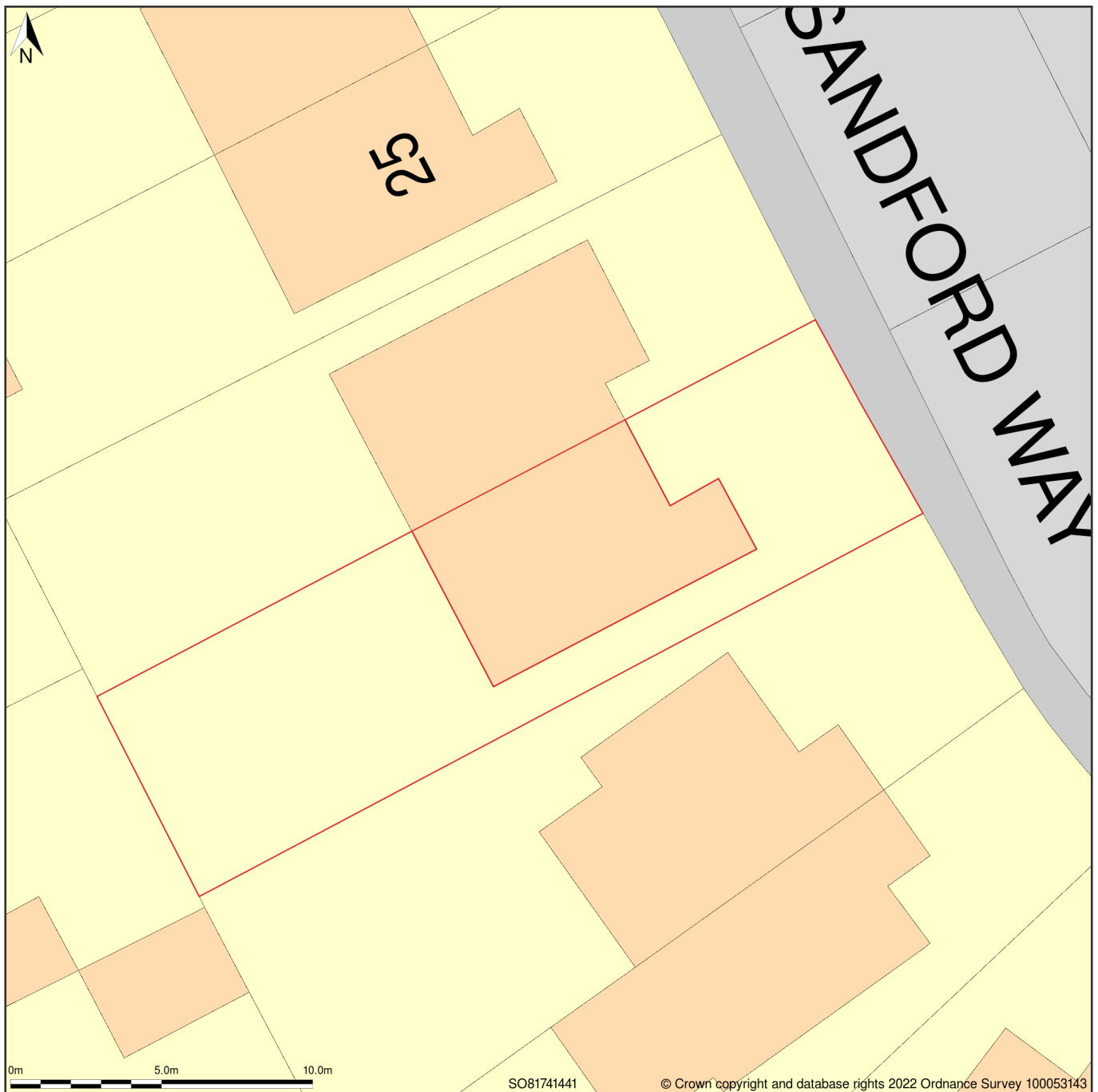


Location Plan shows area bounded by: 381679.2, 214348.52 381820.62, 214489.94 (at a scale of 1:1250), OSGridRef: SO81741441. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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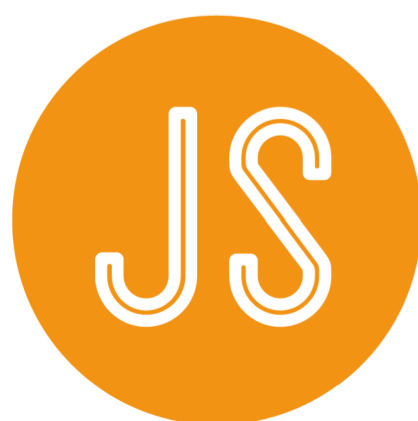
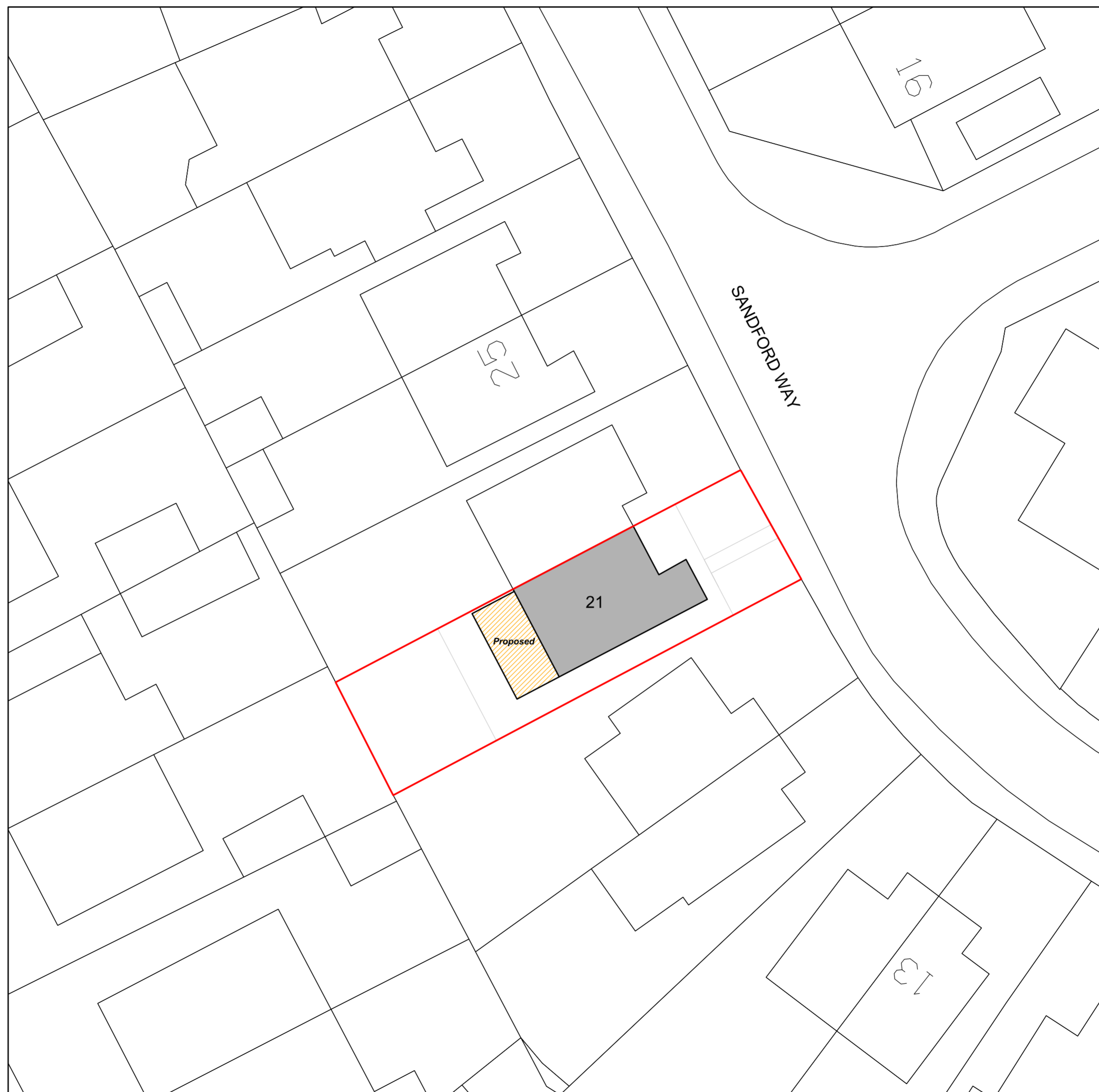
21, Sandford Way, Gloucester, Gloucestershire, GL4 0TR



Block Plan shows area bounded by: 381731.98, 214401.02 381767.98, 214437.02 (at a scale of 1:200), OSGridRef: SO81741441. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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**Town and Country Planning Act 1990, Sections 191 and 192 (as amended)
Town and Country Planning (General Development Procedure)(England) Order 2015**

REFUSAL OF CERTIFICATE OF LAWFUL DEVELOPMENT
(HOUSEHOLDER DEVELOPMENT)

Applicant:

Jo Baynes-Kubiak
c/o Josh Steele
Josh Steele Drawing Services
Corse Grange
Corse
Gloucester
GL193RQ

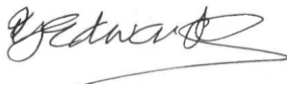
Date of application: **13th July 2021**

Application Number: **21/00789/LAW**

GLOUCESTER CITY COUNCIL hereby certify that on the **13th July 2021** the development described in the First Schedule to this Certificate in respect of the land specified in the Second Schedule to this Certificate and edged in red on the plan attached to this Certificate, would not be lawful within the meaning of Section 191/192 of the Town and Country Planning Act 1990 (as amended), for the following reason:-

The development as indicated on drawing numbers 1010/PL04 (received by the Local Planning Authority on 30th June 2021) and 1010/PL04 (received by the Local Planning Authority on 13th July 2021) would not constitute permitted development, as the works do not fall within the limits of permitted development by virtue of Schedule 2, Part 1, Class A, Paragraphs (i) and (k) of the Town and Country Planning (General Permitted Development) (England) Order 2015.

Signed:



Head of Place
(authorised officer)

On behalf of: GLOUCESTER CITY COUNCIL

Decision date: 27th August 2021

FIRST SCHEDULE: Single storey extension to the rear of the property.

**SECOND SCHEDULE: 21 Sandford Way
Gloucester
GL4 0TR**

NOTES

- (a) Your attention is drawn to the requirements of the Building Regulations, which might be needed as a separate consent to this planning decision. You are advised to contact the Gloucester City Council Building Control Team on 01453 754871 for further information.**
- (b) This Certificate is issued solely for the purpose of Sections 191/192 of the Town and Country Planning Act 1990 (as amended) and does not include any consent or approval under any other enactment, byelaw, order or regulation. In particular approval may be required under the Building Regulations. Please contact Building Standards and Control at this office - telephone 01453 754 871.
- (c) This Certificate applies only to the extent of the development described in the First Schedule and to the land specified in the Second Schedule and identified on the attached plan. Any development which is materially different from that described or which relates to other land may render the owner or occupier liable to enforcement action.
- (d) The effect of this Certificate is also qualified by the proviso in Section 192(4) of the 1990 Act, as amended, which states that the lawfulness of the described development is only conclusively presumed where there has been no material change, before the development has commenced, in any of the matters relevant to determining such lawfulness.
- (e) This Certificate has been issued on the basis of the plans and particulars accompanying the application.

Appeals to the Secretary of State

If you are aggrieved by the Council's decision to refuse the Certificate of Lawful Development, then you can appeal to the Secretary of State for the Environment under Sections 195 and 196 of the Town and Country Planning Act 1990.

If you want to appeal, then you must do so by using a form which you can get from the Planning Inspectorate, 3/07 Kite Wing, Temple Quay House, 2 The Square, Temple Quay, Bristol BS1 6PH.

Application Number: 21/00789/LAW
Address: 21 Sandford Way
Gloucester
GL4 0TR



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Planning statement: Jo Baynes-Kubiak and Ian Kubiak
Address: 21 Sandford Way, Tuffley, GL4 0TR Date: Feb 2022

Introduction

This document has been produced to provide a concise summary of the existing context and arrangement, site photography and supporting commentary for the proposed development at 21 Sandford Way, Tuffley, Gloucester.

Project introduction

The proposed development comprises the construction of a rear one story extension to the existing property at 21 Sandford way, including expanding the kitchen and living spaces on the ground floor. The current owners have lived in the property for 10 years and would like to extend to make the most of the property and meet their current needs.

The brief and need

The brief calls for solutions to provide more privacy and better quality living and workspace to the existing property, which has been a long-term residency of the current occupiers. Both occupants are now home based for work and as such spend a larger proportion of their time in the property. These works will allow for more space to work from, improvements to the level of natural light into the property (which is limited due to the sloping nature of the area this property is built on) and a better outlook and connection to the garden space.

The proposed works will also provide more privacy for both number 21 and its attached neighbour, when using the garden space. More information is included in the sections below.

Existing context

The property is located at 21 Sandford Way, a quiet residential street within Tuffley area of Gloucester. The surrounding properties are a mix of bungalows, dormer (chalet) bungalows and other semi-detached properties similar to number 21.

The rear of the property is southwest facing and is fully fenced to all properties that surround it. Due to the sloping within the area, the next property (19) is higher and the back property (bungalow on Bodiam Avenue) is lower.

Existing arrangement

The property is two storeys and comprises of 3 bedrooms and 1 bathroom on the second floor. The ground floor has a galley kitchen leading to a dining space at the rear of the ground floor, a separate study at the front of the property and separate living space, leading to the rear exit to the garden.

Due to the current layout of this semi-detected property they are some privacy issues that the current owners would like addressed in these proposed works. The rear exit to the garden of this property and the attached property, number 23, are less than a meter apart (approx.) as the houses have been built in a

mirror image design of one another. Number 21 has a pre-existing (erected prior to the current owners) raised patio to allow access to the garden using this rear exit. A construction of some sort is required due to the properties (including most others in the area) being built on a slope (high point being the front of the property going down towards the rear of the garden), the property attached to number 21 has small steps down to the garden. The proposed works would move the exit to the rear of the property away from the attached property, providing both properties with more privacy when using the garden space.



Photo 1 – aerial view of number 21



Photo 2 – Front of house



Photo 3 - View from patio looking left to rear of properties 19 and 17 (conservatory)



Photo 4 - Garden from kitchen window



Photo 5 - Rear of property, from back of garden



Photo 6 – Patio from side of property, facing number 23

Proposed works

The proposed works look to improve the current ground floor by creating a snug/study in the front, and extending the living and dining area at the rear. New bi-fold doors will improve access to the garden space and increase natural light by having 3 skylights in the ceiling.

The proposed works would move the access to the garden further away from the existing access of number 23, providing privacy for both properties, when using their respective gardens.

Similar works in the area

The proposed works are in keeping with structures already in place at Number 19 (which can be seen in photo number 3) and further along at number 29 Sandford way.

Proposed scale

The proposed rear extension is limited to in depth 2.5mtrs, a clear level area of at least 1.2mtr will be needed to ensure accessibility of the entrance to the garden. The works will ensure the property remains at existing ground level.

Proposed form and appearance

The proposed form and appearance reflects the existing and matches rear elevation gable and detailing. All new windows, cills and headers are proposed to match the style and material of the existing property. This allows for the symmetry of the existing property to be retained.

Proposed materials

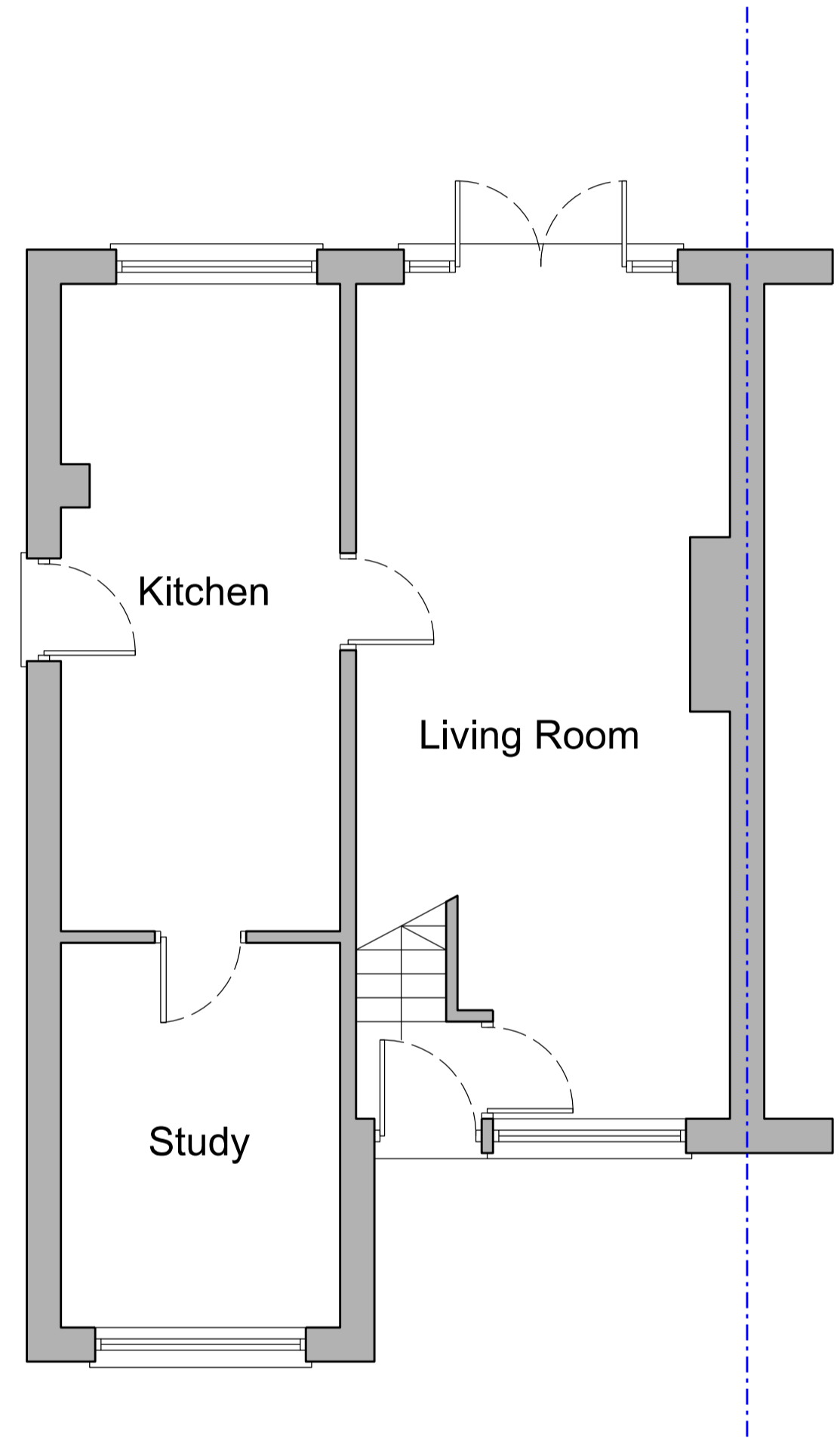
All brickwork, roofing and uPVC windows and doors are proposed to match the existing and remain in keeping with the surrounding context.

Summary

The proposal is sympathetic to the existing property and will remain in keeping with the style and design of the properties in the area.

There is no overlooking to the immediate neighbour, number 23, and these works will improve privacy for both properties, by moving the exit further into garden. No additional overlooking of any other properties will occur from these works.

The design of these works will improve the use of the property and the quality of the local area properties.



Existing Ground Floor Plan

HEAT DETECTORS WITHIN ROOMS SHOULD BE SITED SUCH THAT NO POINT IS FURTHER THAN 7.5M FROM THE NEAREST SMOKE DETECTOR

FIRE ALARM WARNING SHOULD BE DISTINGUISHABLE TO CARBON MONOXIDE ALARM AND INTRUDER ALARM

New cavity walls as specification.

New velux rooflights to be installed to manufacturers spec/details with appropriate flashing etc. Joints to be doubled up around openings.

Walls, doors etc indicated in grey to be carefully removed, remaining surfaces to be made good.

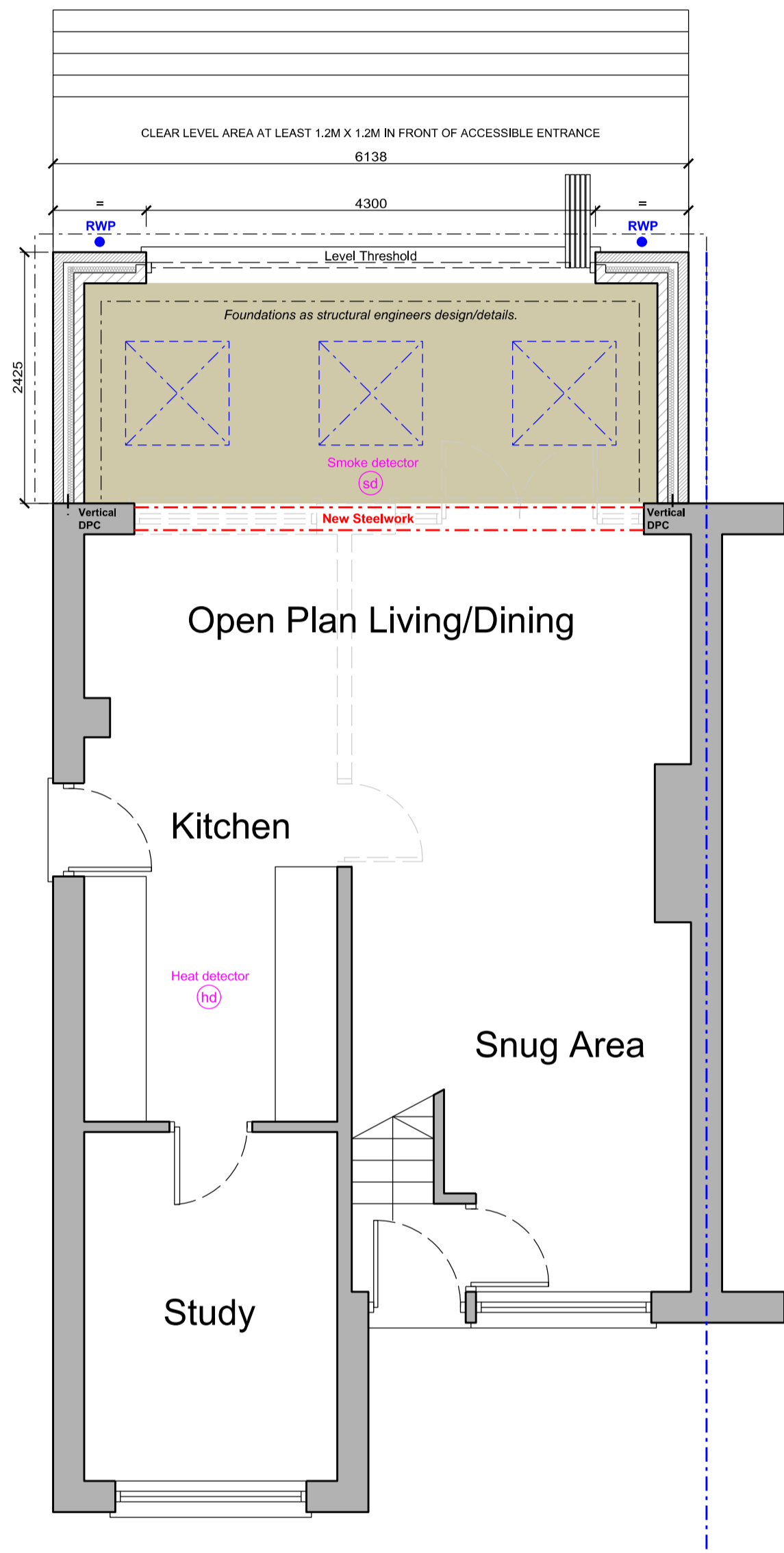
Remove existing masonry to engineers advice to enlarge existing openings.

Pier supporting new lintel to be confirmed/checked by engineer prior to commencement.

Form cavity tray above new steels discharging at gable end.

See structural engineers drawings/spec for details.

All existing structural members to be checked by engineer prior to commencement.



Proposed Ground Floor Plan

All dims and setting out to be checked by contractor prior to commencement.

Existing ground level to be built up to form slope to garden level.

Shaded area indicates extent of new concrete floor to structural engineers spec.

Proposed finish floor level to match existing.

DPM to overlap existing. Perimeter insulation to face of existing building.

New walls to be fixed to existing using proprietary wall starter system or bolted to existing.

A minimum grade D LD3 category fire alarm system to be provided and linked to existing complying with BS5839 part 6. Smoke and heat detectors shall be provided.

SPECIFICATION NOTES

Foundations (to be by specialist)
To be mass concrete 1:2:4 mix. External wall to be 225mm x 600mm. Internal walls to be 500 x 150mm. Trench fill foundations if utilised to be 450 x 750mm. Concrete to achieve a strength of 21 N/mm² in 28 days. Strip foundations to be min. 750mm below finished ground level and to be taken down to LA approved solid bottoms. A ground report or alternative method of establishing foundation type must be carried out by a specialist prior to laying foundations. Foundations to comply with building regulations document A part E.

Ground Floor Construction
To be power floated 100mm min. thickness mass concrete slab (21N/mm²) to engineers design on 120mm floor grade Jablite placed under slab secured to slab on 1200 gauge polythene (to be taken up and laid on horizontal dpc or taken up existing walls to tie in with any tanking which may be required due to existing agreed levels on sand blinding on 150mm min. sulphate free hardcore. To be well compacted in max. 150mm layers. 0.4 u-value to be achieved. Cavity wall insulation to be carried down to underside of slab insulation to avoid cold bridging. At thresholds provide 50mm insulation between front of slab and rear of external skin.

Cavity Wall Construction
300mm thick cavity wall consisting of 100mm brickwork to match existing building, 20mm air gap, 80mm Kingspan rigid insulation fixed with retaining clips to 100mm insulation blocks to inner skin. Closed cavity at eaves level with 9mm Superlux board cut to fit. 0.18 u-value to be achieved through external wall. Provide 5 no. galvanised or stainless steel wall ties (type as approved by LA) to BS1243 per m² at 800 cts horizontally and 450 cts vertically in staggered pattern. Vertical movement joints to be provided in outer skin to minimise major cracking, 10mm joint at max 8m cts. At all openings and movement joints build in ties every block course vertically. Horizontal dpc to be min. 150mm above ground level. Provide proprietary insulated closure and dpc at jamb.

Windows & Doors
To be white UPVC to match existing unless otherwise specified by client and double glazed to provide daylight equivalent to 1/10th floor area and operable ventilation to the 1/20th floor area in accordance with building regulations document F1 6.1 & 6.2. All windows to have trickle and night vents as per Doc F. Patio doors to have night vents 8,000mm². All glazing to comply with BS 6206:1981 for safety glazing. All glazing to comply with Part N Building Regs. All windows to be draught stripped. Double glazed with a min. of 15mm argon filled gap, low E (min. value to be 1.8W/m²K).

Lintels
To be galvanised steel type as specified IG lintels or similar. Provide Hyloard dpc cavity tray over lintels in cavity wall. All steel cavity lintels to be insulated. All lintels to have min 150mm end bearing dense block or brickwork to be used for supporting piers.

Internal Finishes
To be 12.7mm plasterboard taped and jointed to proprietary metal stud partitions. Studwork between bathrooms and bedrooms to have 50mm compressed glass fibre quilt between studs and 12.7mm plasterboard to side finish as before. All ceilings and underside of stairs to be 12.7mm plasterboard prepared for skim finish.

Rainwater Goods
112mm diameter HR guttering in PVC to match existing to Building Regulations Document H3 Schedule 1. Downpipes to be 63mm internal diameter discharging into rod-able back inlet gullies fitted with baloon gratings.

Waste Pipes
Shower, bath and sink wastes to be 38mm diameter, wash hand basins to be 32mm diameter. All waste runs to have 75mm deep seal traps and to have min. 2 degrees gradient to gullies or SVP. waste pipes at ground floor to discharge into rod-able back inlet gullies.

Pipe Ventilation
SVP to terminate through roof with Code 4 lead apron and anti bird vent terminal. Branch pipes that exceed required lengths to have Hunter Anti Syphonage valve BBA 83/1066. All waste runs to comply with Building Regulations Document H1.

Drainage
All sewers or drain pipes for foul and surface water are to comply with Building Regulations Document H Schedule 1; BS65, BS40 and BS966. Drains passing within 1m of the building to be protected in accordance with Part H. Drains passing through walls to have concrete lintels built in and over and provide 50mm polystyrene sleeve and expansion joints within 150mm of wall. Inspection chambers to be preformed plastic. If chamber is to big form instu reinforced slab to reduce size of opening. All drain pipes to have flexible joints and laid on 100mm granular bed. Trench to be backfilled with selected material and compacted for least 300mm. Connect all drains to private sewers. If soakaways are used for surface water allow 1m³ of clean hardcore per down pipe. If actual size of soakaway is to be determined satisfaction percolation test BS8301 and BRE Digest 365 are to be used and approved by Building Inspector NHBC.

Boilers (Existing boiler to be replaced with new balanced flue condensing type)
Balanced flue boilers and fires to have stainless steel guard over pilot/over, if it is under 2m above ground level.

Ventilation
Ventilation of habitable rooms, WCs and cloaks to be in accordance with building regulation document F1 1. Background vents to be not less than 6000mm². Enroute to have extract fan with a rate of no less than 15 litres per second with 15 minute overrun on fan in accordance with F4.1. Bathroom and ensuite with no windows to have extract fan operated from light pull cord with a rate of no less than 30 litres per second and background vents in accordance with F2.1. Kitchen to have extract ventilation through cooker hood of no less than 30 litres per second and background vents in accordance with F2.1. Roof space ventilation to be in accordance with F2.

Main Roof
Tiles to match existing main roof on 38x25mm softwood battens on heavy duty breathable roofing felt on 38mm x 170mm roof joists (designed in compliance with BS5268 part 3) at 450c/c. All roof timbers to be treated soft wood. 120mm rigid kingspan insulation to be fixed between joists, 25mm to be fixed to face of joists. Truss vents to be Jablite Insulink 25mm continuous slim vent grill and insect screen placed in rear of soffit. All roof ventilation to comply with building regulations document F2. Ensure existing party wall is built up to underside of tiles and fire stopped to prevent spread of flame.

BUILDING REGULATIONS DOCUMENT P
Electrical works by a non competent person scheme member.
All wiring and electrical work will be designed, installed, inspected and tested in accordance with requirements of BS7671, IEE 18th edition wiring guidance and Building Regulations Part P (electrical safety). On completion of works a copy of an Installer Test Certificate compliant with BS7671 is to be provided to the client and local authority.
Prior to covering all wiring/cables, the installation is to be inspected by a 'Competent Person' and on completion of the work, in addition to the above certificate, an additional 'Competent Persons' Electrical Installation Test Certificate with BS7671 is to be provided to the client and Local Authority. (Competent Persons means a member of the OQPM Electrical Competent Persons Scheme).

Electrical works by a competent person scheme member.
All wiring and electrical work will be designed, installed, inspected and tested in accordance with requirements of BS7671 IEE 18th edition wiring guidance and Building Regulations Part P (electrical safety) by a member of the OQPM Competent Persons Scheme.
The competent person is to send the Local Authority a 'Self Certification Certificate' within 30 days of electrical works completion. The client must receive both a copy of the 'Self Certification Certificate' and a BS7671 Electrical Installation Test Certificate.

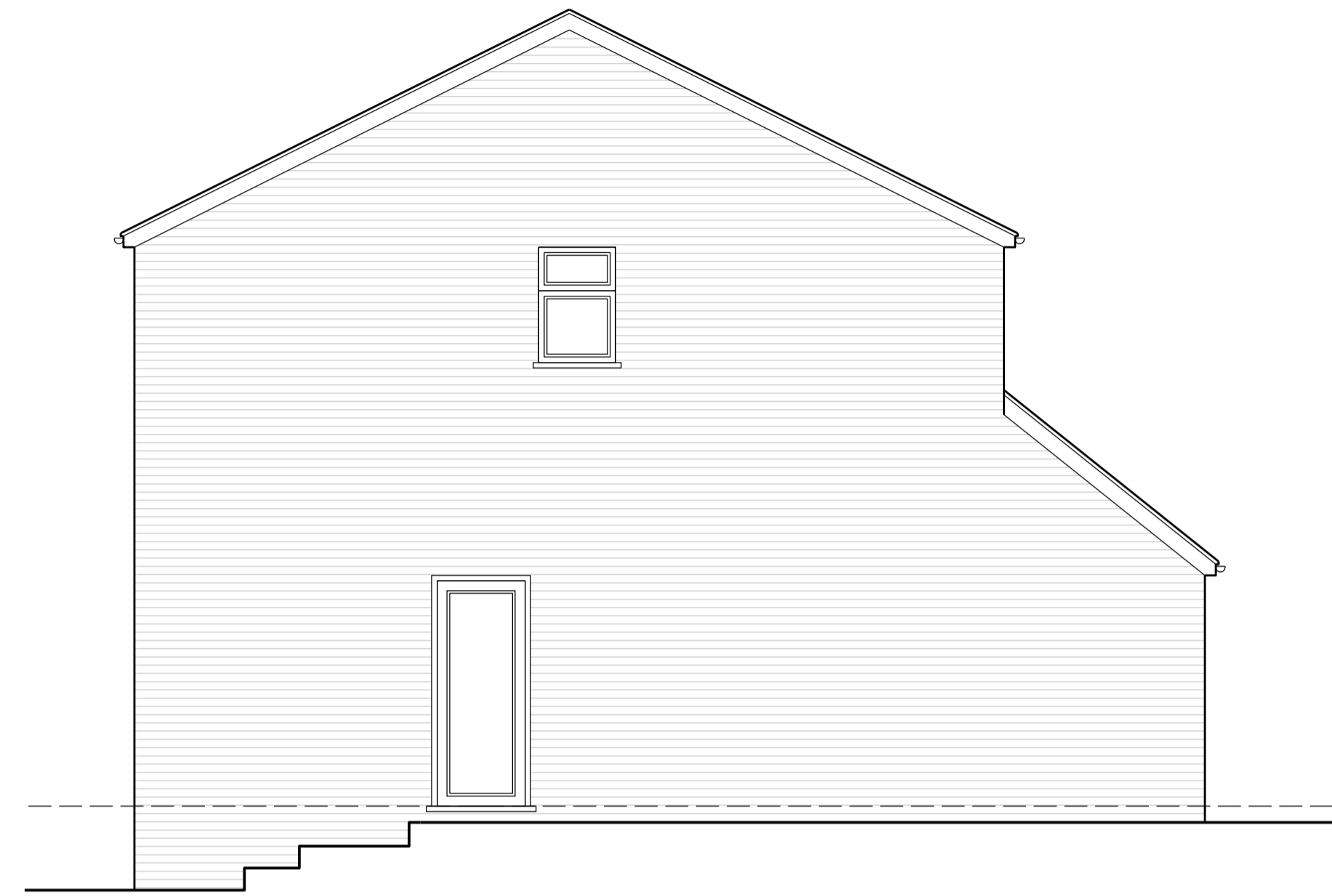
Energy Efficient Lighting
Provide fixed lighting of basic outlets or complete luminaires that only take lamps having a luminous efficiency greater than 40% per circuit watt e.g. fluorescent tubes or compact fluorescent lamps where can be expected to have most use. Provide to 33% of all rooms, no. - hall, stairs and landing count as one room. External lighting where fitted should automatically extinguish when there is daylight or when not required at night. Or have sockets that can only use lamps having a luminous efficiency greater than 40 lumens per circuit watt.

General
At roof to wall abutments form code 4 lead flashings, cavity trays and proprietary GRP secret gutter. Provide 150mm min. upstand to flashings. Smoke alarms as indicated on drawing to be mains operated with battery backup facility. First floor landing and hall detectors to be integrated all to comply with BS5446 part 1 1990. Loft hatch to be draft sealed. Maximum design wind speed equals 44m/s at height of 15m. Resistance to damp, exposure grading = moderate/severe. Maximum exposed snow load = 1.0kN/m². SAP to be submitted to LA prior to commencement of works. Hot water storage and space heating controls to be submitted to LA prior to commencement of works.

Note
The contractor is to check and verify all building and site dimensions, levels and sewer invert levels at connection points before work starts. The contractor is to comply in all aspects with current building legislation, building standards, specifications, building regulations etc, whether or not specifically stated on this drawing or the supporting documents. This specification must be read with and checked against any structural, geotechnical or other specialist documentation. This specification is not intended to show details of foundations, ground conditions or ground contaminants. Each area of ground relied upon to support any structure (including drainage) must be investigated by the contractor. A suitable method of foundation is to be inspected by building control allowing for existing ground conditions. Any suspect or fluid ground, contaminants on or within the ground should be further investigated by a suitable expert. Any earthwork construction shown on the planning drawings indicate typical slopes for guidance only and should be investigated by a suitable expert.

The client is to appoint an appropriate person in the role of principal designer to comply with new CDM/H&S 2015 regulations.

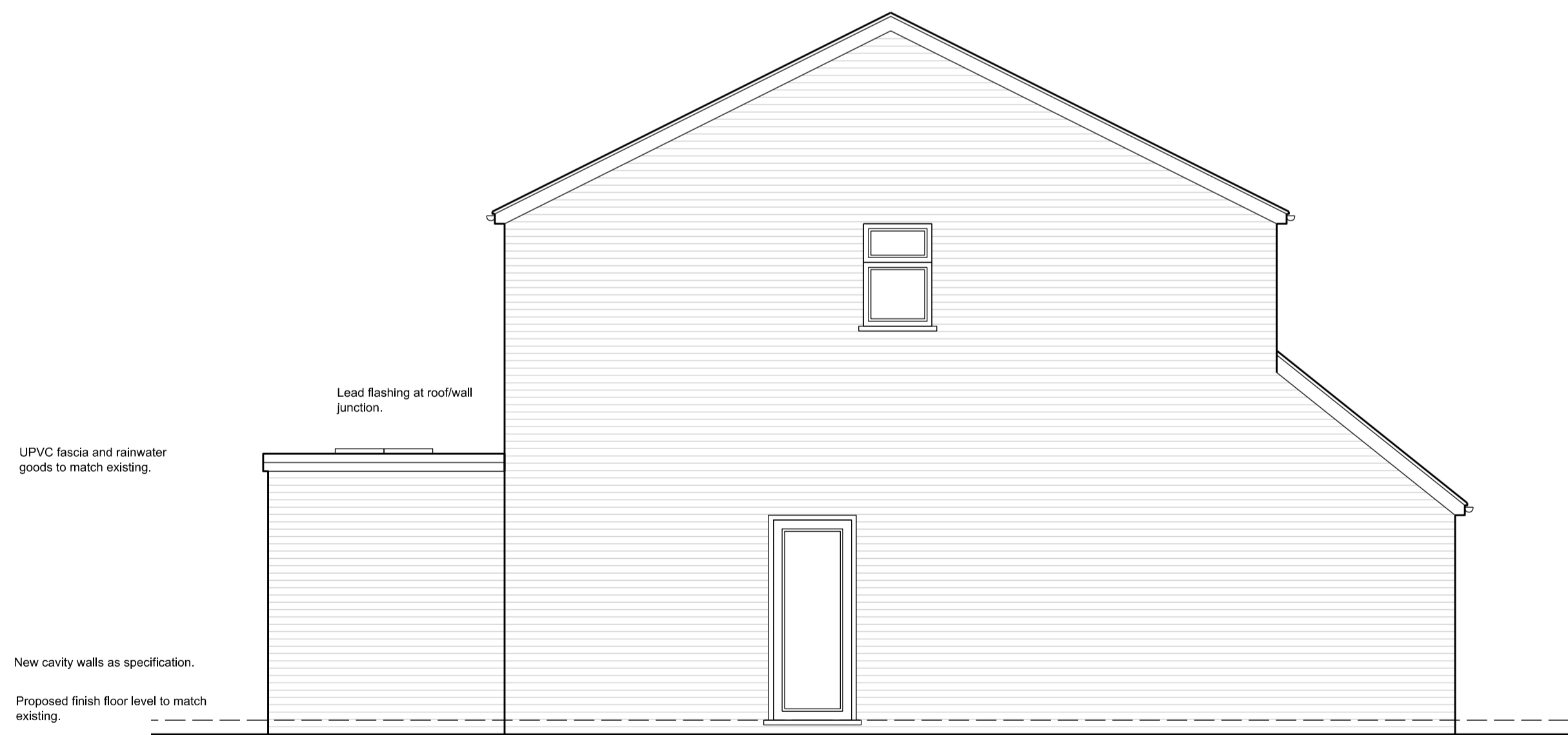




Existing Side Elevation



Existing Rear Elevation



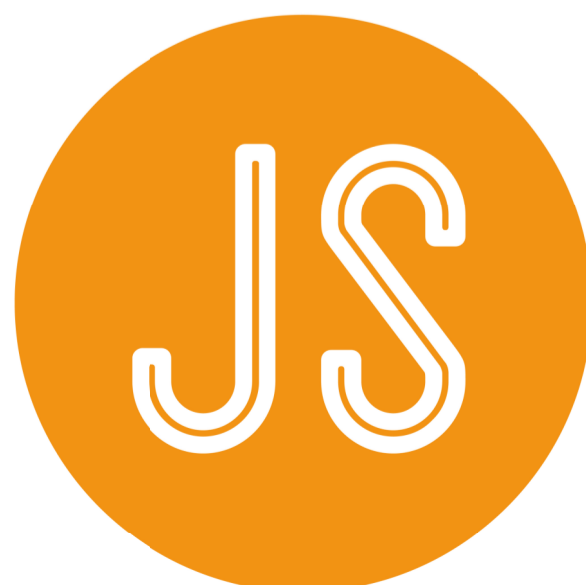
Proposed Side Elevation

All dims and setting out be checked by contractor prior to commencement.

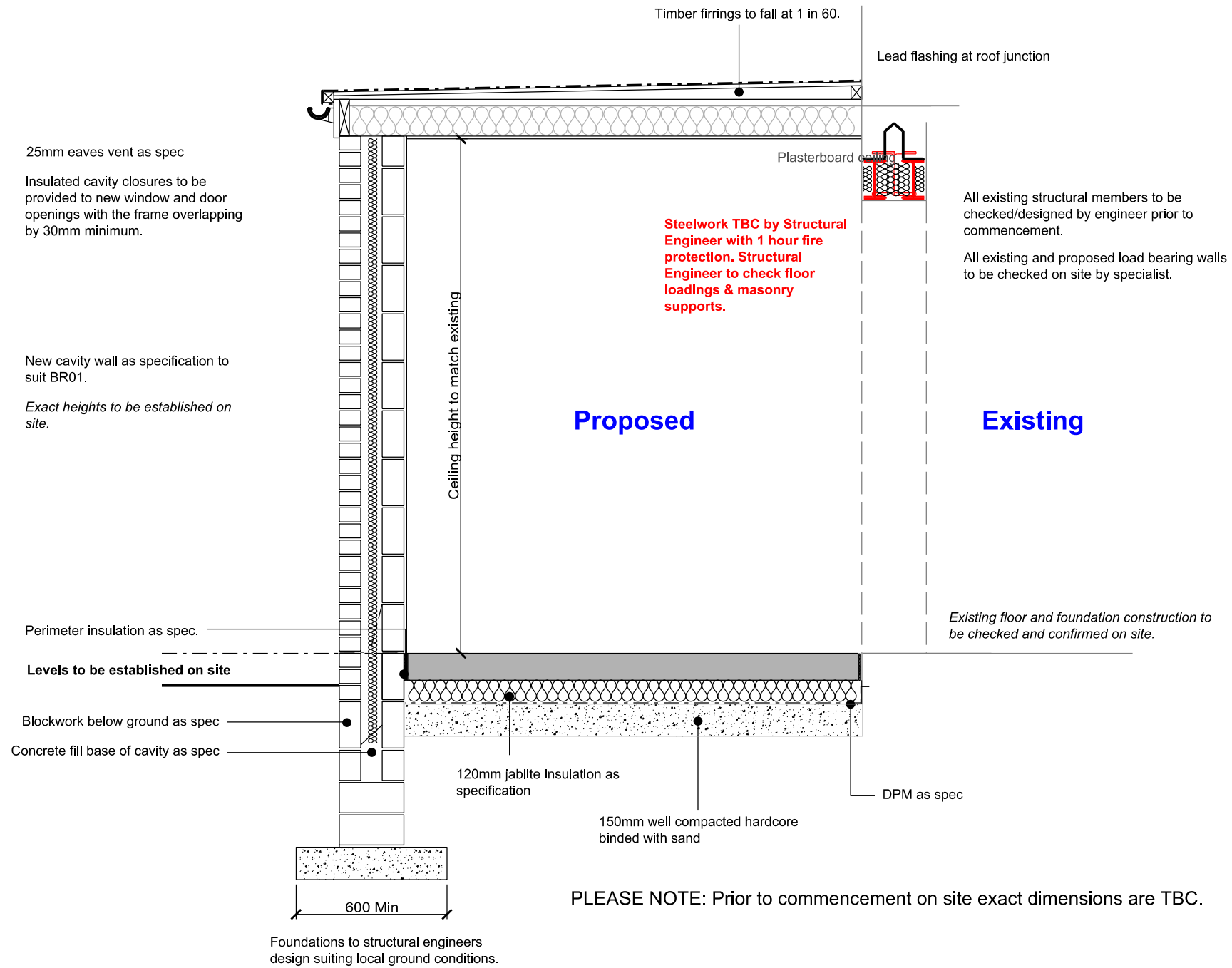


Proposed Rear Elevation

All dims and setting out be checked by contractor prior to commencement.



3 Layer hot bonded mineral felt. Applied as manufacturers recommendations and details. Plywood Roof deck on firing pieced and 140mm rigid insulation with thermal fixings. Alternatively rubber GRP may be used to manufacturers spec. Ventilation to comply with approved document F.



Proposed Typical Section

