

Householder Application for Planning Permission for works or extension to a dwelling

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x) Northing (y)

Description

Applicant Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

Secondary number

Fax number

Email address

Agent Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Contact Details

Primary number

Secondary number

Fax number

Email address

Description of Proposed Works

Please describe the proposed works

Has the work already been started without consent?

Yes

No

Materials

Does the proposed development require any materials to be used externally?

Yes

No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

Type:

Walls

Existing materials and finishes:

Blockwork with render finish

Proposed materials and finishes:

Render board with render finish and timber cladding

Type:

Roof

Existing materials and finishes:

Proposed materials and finishes:

EPDM single ply membrane roof

Type:

Windows

Existing materials and finishes:

Proposed materials and finishes:

UPVC Glazing

Type:

Doors

Existing materials and finishes:

Proposed materials and finishes:

UPVC glazed

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

Design and access statement

SM.FRS55A-01

SM.FRS55A-02

SM.FRS55A-03

SM.FRS55A-04

Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

Yes

No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

Yes

No

If Yes, please show on the plans, indicating the scale, which trees by giving them numbers (e.g. T1, T2 etc) and state the reference number of any plans or drawings

2 small conifer shrubs to be removed, see drawing reference number below:
SM.FRS55A-05

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

- Yes
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes
 No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

- Yes
 No

Parking

Will the proposed works affect existing car parking arrangements?

- Yes
 No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
 The applicant
 Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes
 No

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes
- No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes
- No

Is any of the land to which the application relates part of an Agricultural Holding?

- Yes
- No

Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

- The Applicant
- The Agent

Title

First Name

Surname

Declaration Date

13/09/2022

Declaration made

Declaration

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

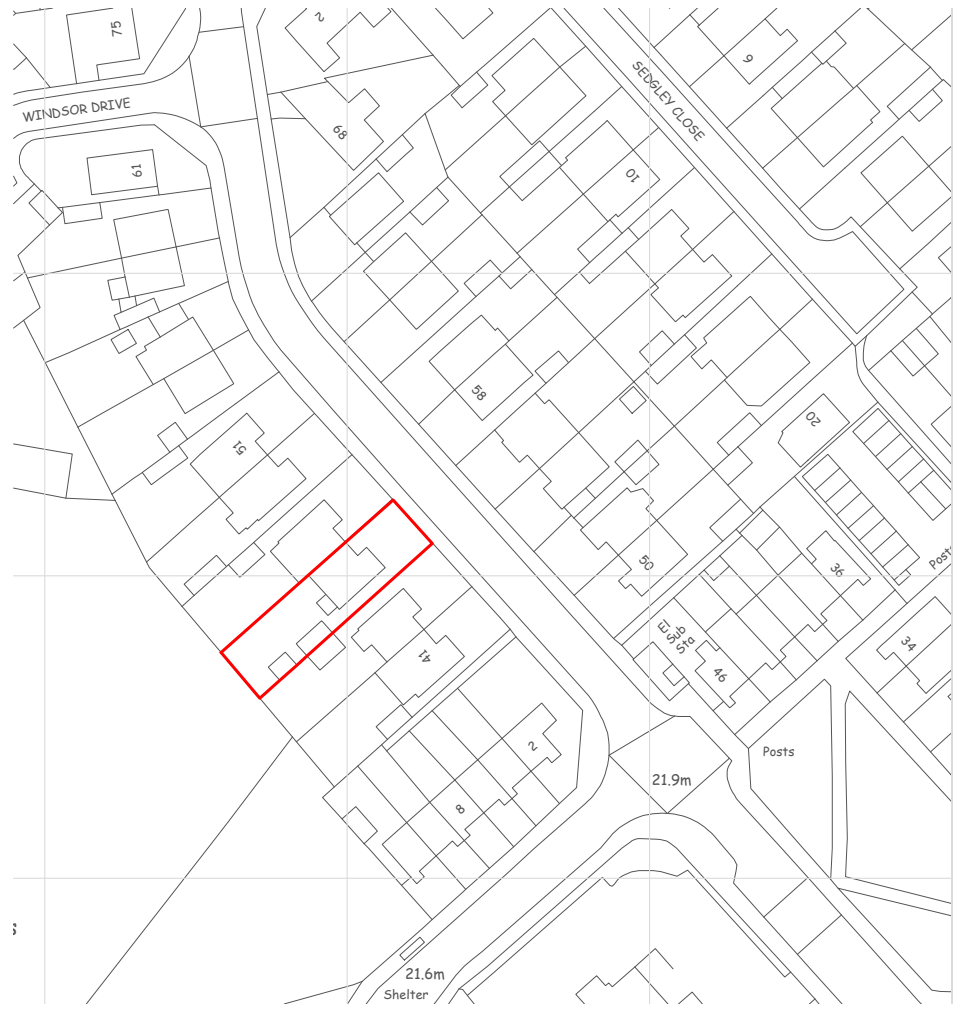
Signed

Sam Moore

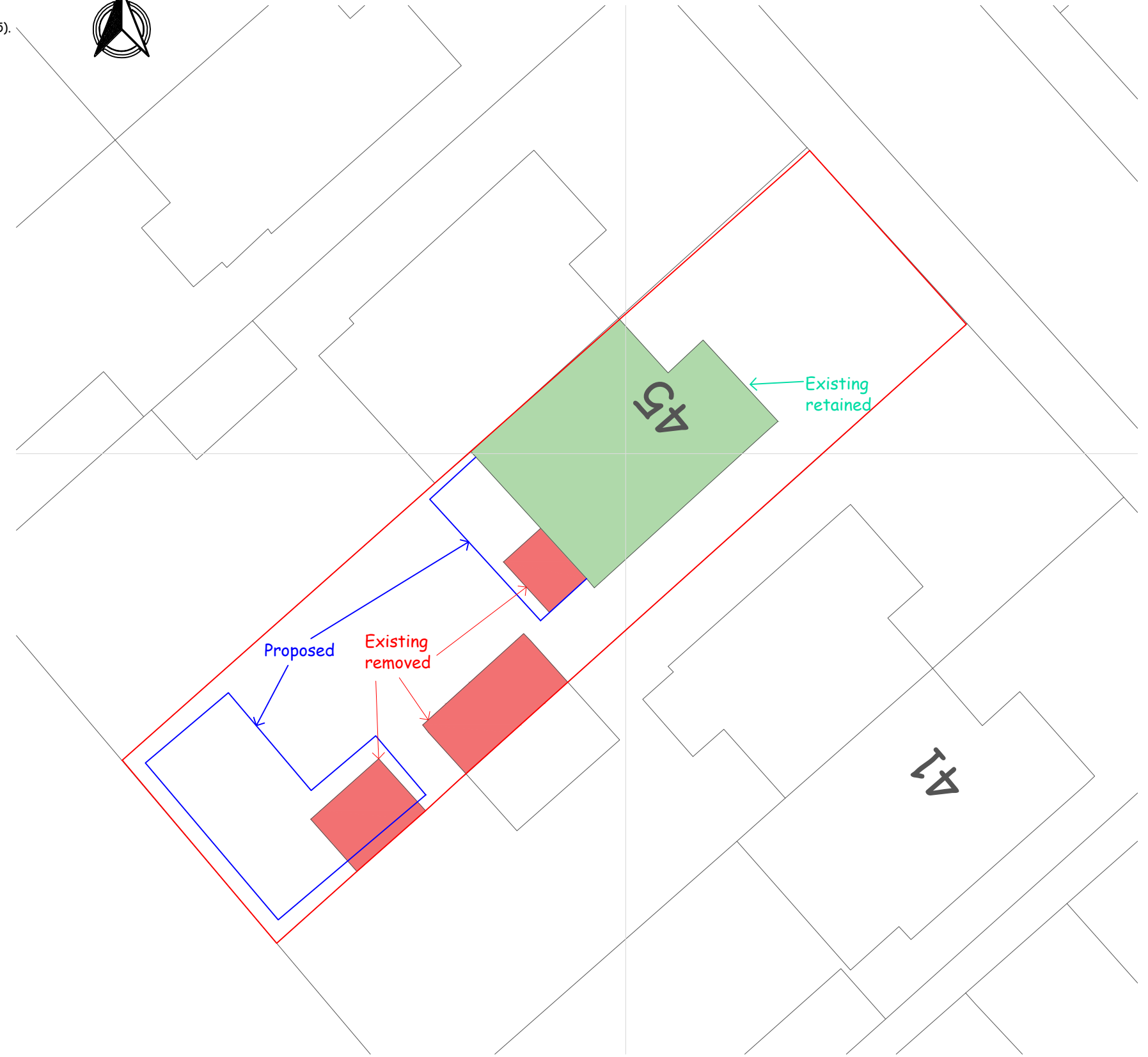
Date

14/09/2022


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Location plan
Scale 1:1250



Site plan
Scale 1:200

Drawing Title: Location Plan and Site Plan		Project: Extension and Garden Room		Purpose: Planning Permission	
Client: Mr. Lambert, 45 Windsor Drive, Tuffley, Gloucester, GL4 0QT		Scale: As above	Dwg No: FRS55A001	Rev:	
		Date: 12-09-22	Drawn By: SM		
				 Unit 27, Staunton Court Ledbury Road, Staunton GL19 3QS	

Design and Access Statement

For

45 Windsor Drive, Tuffley, Gloucester, GL4 0QT

Applicant:

This statement has been prepared by Future Rooms Ltd by instruction of the applicant, Mr. Andrew Lambert

Property Address:

45 Windsor Drive,
Tuffley,
Gloucester,
GL4 0QT

The Proposal:

This design and access statement is written in support of a householder planning application for a rear extension and garden annexe to provide additional space and ancillary accommodation for the occupants, who are now requiring full time live in care from family members.

Both the garden room and extension are to be hand crafted off site, using high quality, modern and environmentally friendly materials and MMC, minimising disruption to the site during construction phase.

Location

The new single storey extension and single storey garden room are both located in the rear garden of the property.



Design

The proposed design for the extension and the garden annexe utilise a single ply roofing membrane, allowing a flat roof of low height, minimising the visibility of the structures, and mitigating impact to the neighbouring gardens.

The extension will be rendered, in keeping with the existing rear elevation, and its scale has been aligned with that of existing extensions of neighbouring buildings.

The construction of the garden room (42sqm) will require the removal of two existing outbuildings totalling 30sqm, resulting in a marginal increase of occupied area by only 12sqm.

The garden room is to be timber clad, providing a soft and natural aesthetic, whilst looking subservient to the existing dwelling and neighbouring buildings.

The building construction is high quality but low impact.

The SIPs superstructure is of FSC certified timber construction and utilised enhanced XPS insulation, hand crafted by carpenters in a modern off site manufacturing facility, minimising time and disruption on site

The use of SIP panels offers a highly insulated but lightweight structure, requiring much less invasive footings to that of a traditional masonry build.

The result is a building of exceptionally low carbon footprint, in both its construction and use.

The proposed application aligns with the NPPF for achieving a sustainable development for environmental objectives.

Use

The extension and garden annexe are required as the occupants are now in need of care. Family members will be staying at the address to provide this care on a full time basis, and the existing property doesn't have the space to accommodate these needs.

The extension will provide much needed space for a larger kitchen/diner to cater to the additional family members, while the garden annexe will provide a separate living and sleeping area, so the occupants can retain as high a level of independence as possible.

There will be an assisted access W/C near the sleeping accommodation, and a small kitchenette. Services will be connected via the main property.

Access

Access will be by foot in the established garden, to the proposed location, therefore no impact will be made on any existing access or the highway. There are existing car parking spaces to the front of the property, which are sufficient for the needs of the building.

Water Management

The additional water runoff created by the new roof areas will be collected in guttering and rain water pipes, which will in turn fill a water butt before being discharged to site drainage in the form of a soak away in the middle of the site.

Conclusion

This statement has outlined the key considerations as to why this application is being sought and how this has informed the proposed design.

The proposed buildings are of sensitive and sustainable design and construction.

Although modest in scale, their high quality finish will enhance the aesthetic of the property and grounds. The proposal will offer the opportunity for the occupants to be supported by family members while maintaining a level of independence, and staying in the area which they have strong ties to.

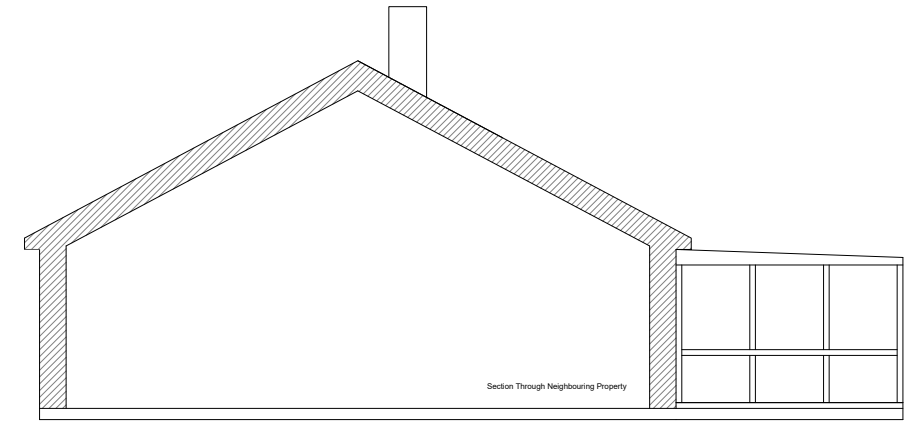
Statement prepared on behalf by Future Rooms, 2022



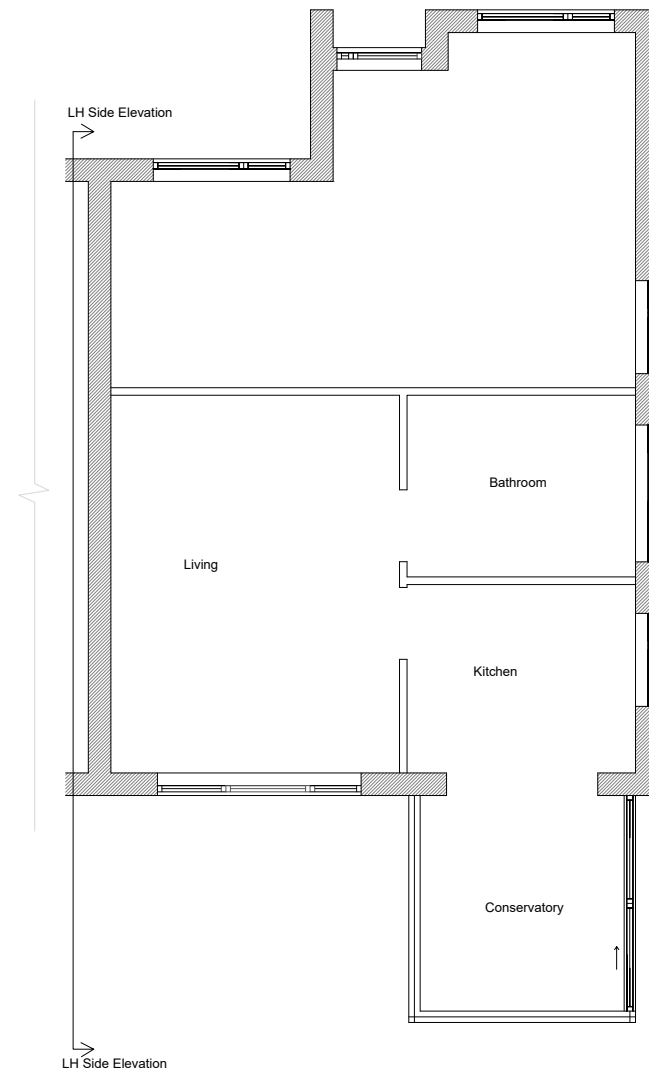
Existing Rear Elevation



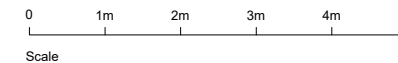
Existing RH Side Elevation




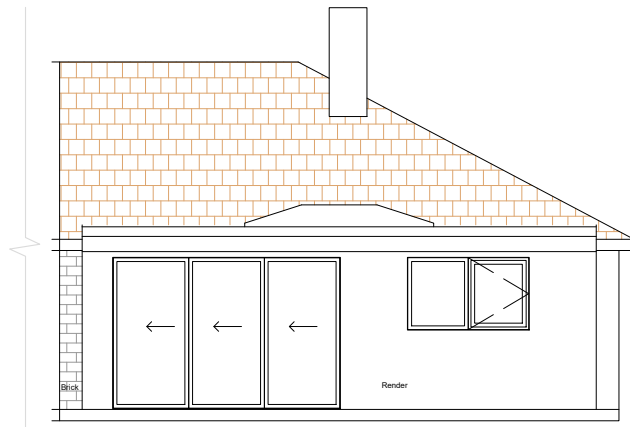
Existing LH Side Elevation



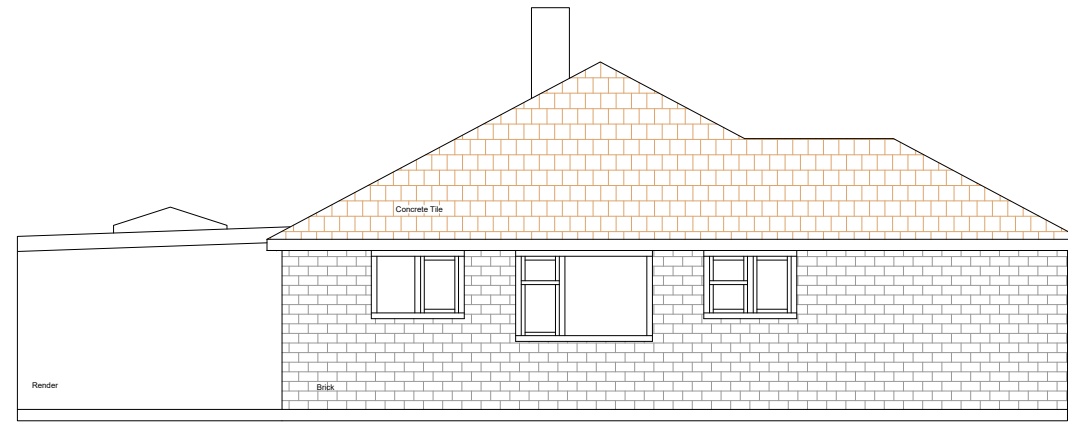
Existing Ground Floor Plan



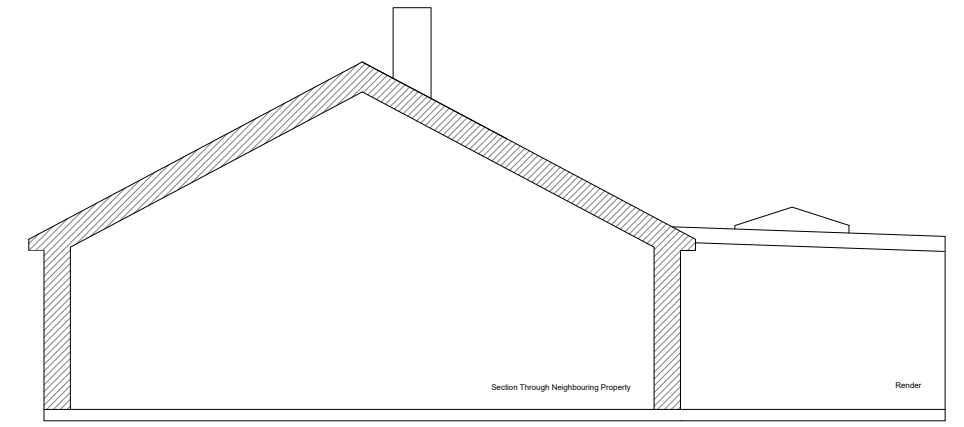
Drawing Title: Existing Ground Floor Plan and Elevations		Project: Extension and Garden Room		Purpose: Planning Permission	
Client: Mr. Lambert, 45 Windsor Drive, Tuffley, Gloucester, GL4 0QT		Scale: 1:100 @ A3 1:50 @ A1	Dwg No: FRS55A 002	Rev: A	 Unit 27, Staunton Court Ladbury Road, Staunton GL19 3QS
		Date: 12-09-22	Drawn By: SM		



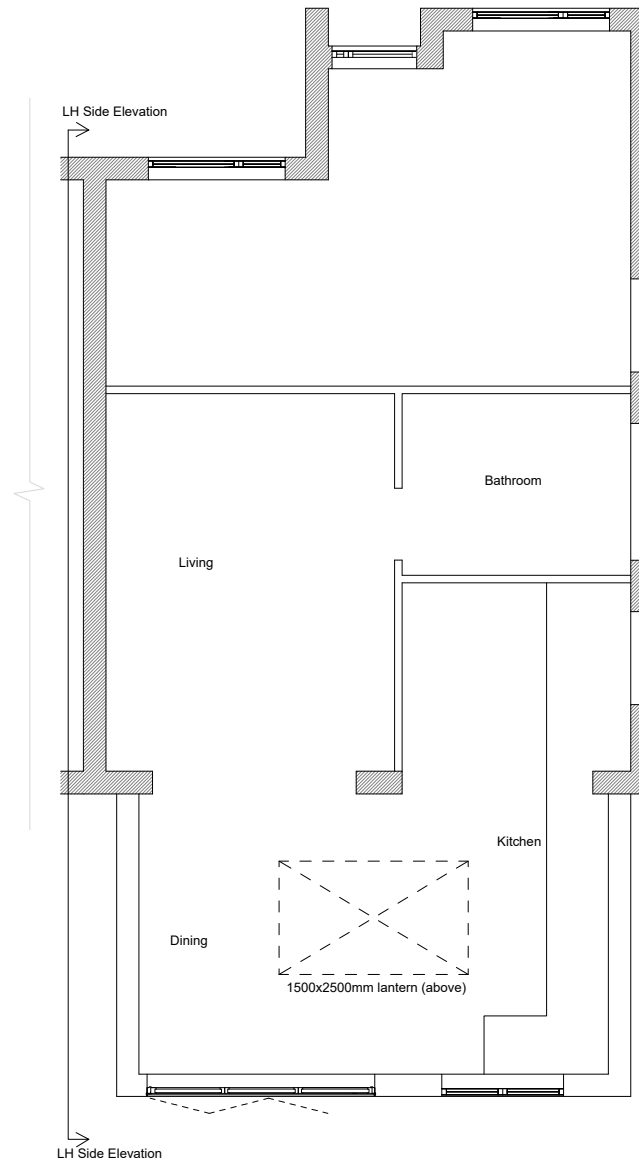
Proposed Rear Elevation



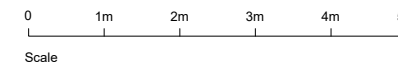
Proposed RH Side Elevation



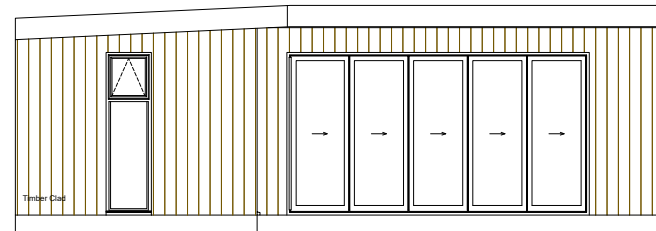
Proposed LH Side Elevation



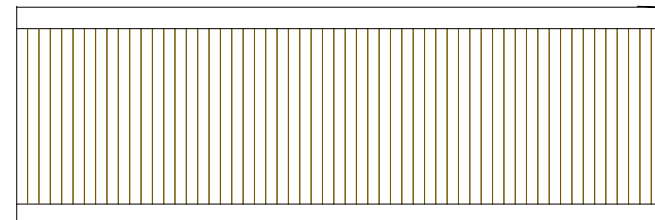
Proposed Ground Floor Plan



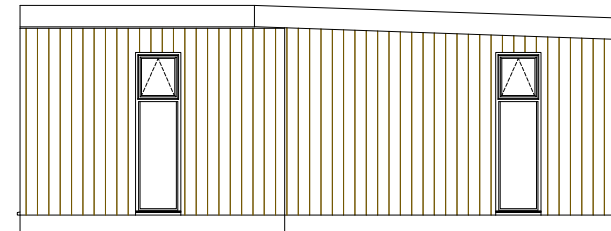
Drawing Title: Proposed Ground Floor Plan and Elevations		Project: Extension and Garden Room		Purpose: Planning Permission	
Client: Mr. Lambert, 45 Windsor Drive, Tuffley, Gloucester, GL4 0QT		Scale: 1:100 @ A3 1:50 @ A1	Dwg No: FRS55A 003	Rev: A	Unit 27, Staunton Court Ladbury Road, Staunton GL19 3QS
		Date: 12-09-22	Drawn By: SM		



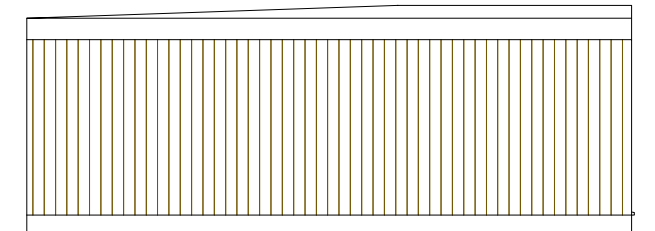
Front Elevation



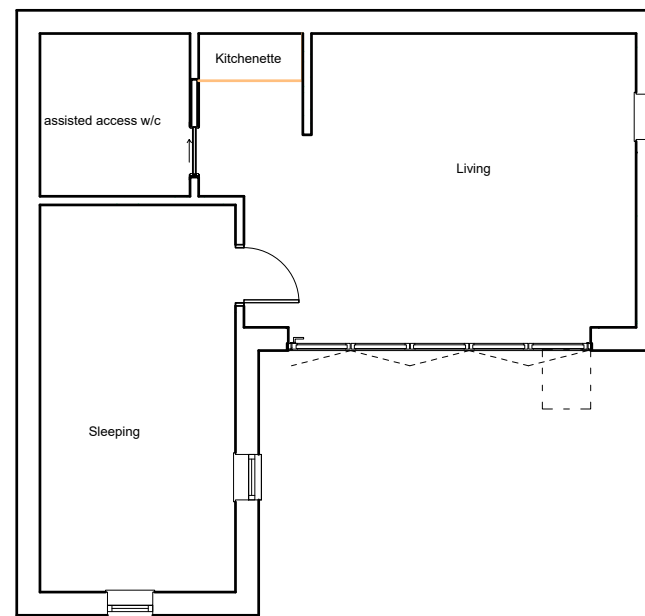
Rear Elevation



RH Elevation



LH Elevation



Drawing Title: Proposed Garden Annexe

Project: Extension and Garden Room

Purpose: Planning Permission

**Client: Mr. Lambert,
45 Windsor Drive, Tuffley,
Gloucester, GL4 0QT**

**Scale: 1:100 @ A3
1:50 @ A1**

**Dwg No:
FRS55A 004**

Rev:

Date: 12-09-22

Drawn By: SM

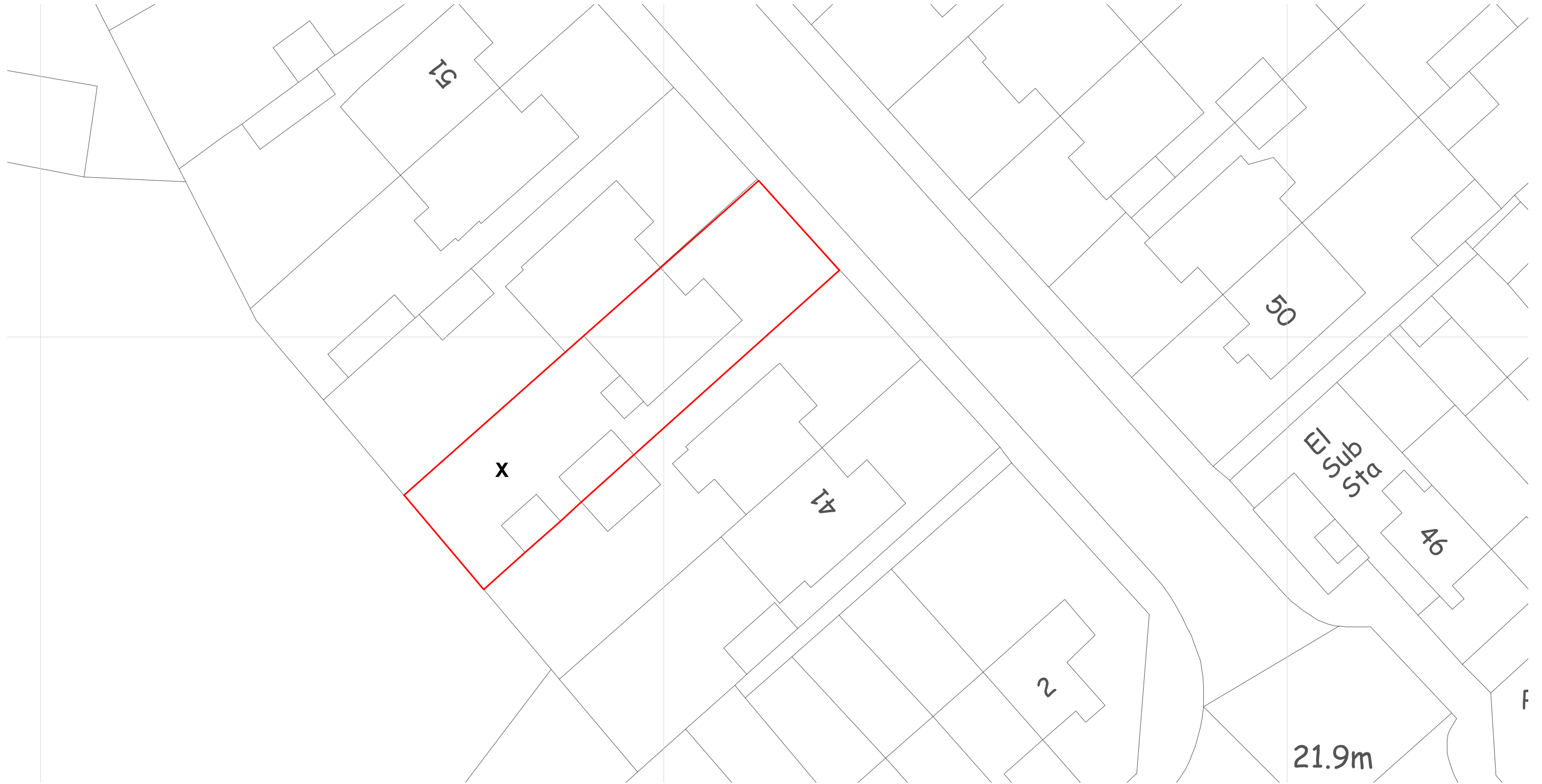
Garden Rooms
By Future Rooms

Unit 27, Staunton Court
Ledbury Road, Staunton
GL19 3QS


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Revision A: North arrow added as requested. 27.09.22



X = position of two small feature shrubs to be removed from the garden

Drawing Title: Small feature shrubs		Project: Extension and Garden Room		Purpose: Planning Permission	
Client: Mr. Lambert, 45 Windsor Drive, Tuffley, Gloucester, GL4 0QT		Scale: NTS	Dwg No: FRS55A005	Rev: A	 <small>Unit 27, Staunton Court Ledbury Road, Staunton GL19 3QS</small>
		Date: 12-09-22	Drawn By: SM		