

Householder Application for Planning Permission for works or extension to a dwelling.
Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Site Address

Number	<input type="text" value="33"/>
Suffix	<input type="text"/>
Property name	<input type="text"/>
Address line 1	<input type="text" value="Bodiam Avenue"/>
Address line 2	<input type="text"/>
Address line 3	<input type="text"/>
Town/city	<input type="text" value="Gloucester"/>
Postcode	<input type="text" value="GL4 0TJ"/>

Description of site location must be completed if postcode is not known:

Easting (x)	<input type="text" value="382072"/>
Northing (y)	<input type="text" value="214095"/>

Description

2. Applicant Details

Title	<input type="text" value="Mr"/>
First name	<input type="text" value="Terry"/>
Surname	<input type="text" value="Townsend"/>
Company name	<input type="text"/>
Address line 1	<input type="text" value="33, Bodiam Avenue"/>
Address line 2	<input type="text"/>
Address line 3	<input type="text"/>
Town/city	<input type="text" value="Gloucester"/>
Country	<input type="text"/>

2. Applicant Details

Postcode

Are you an agent acting on behalf of the applicant? Yes No

Primary number

Secondary number

Fax number

Email address

3. Agent Details

Title

First name

Surname

Company name

Address line 1

Address line 2

Address line 3

Town/city

Country

Postcode

Primary number

Secondary number

Fax number

Email

4. Description of Proposed Works

Please describe the proposed works:

Has the work already been started without consent? Yes No

5. Materials

Does the proposed development require any materials to be used externally? Yes No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material):

Walls	
Description of existing materials and finishes (optional):	Facing Brickwork & Render
Description of proposed materials and finishes:	Facing Brickwork to match existing

5. Materials

Roof	
Description of existing materials and finishes (optional):	Concrete Interlocking Tiles
Description of proposed materials and finishes:	Concrete Interlocking Tiles to match existing

Windows	
Description of existing materials and finishes (optional):	Upvc double glazed
Description of proposed materials and finishes:	Upvc double glazed & velux roof windows

Doors	
Description of existing materials and finishes (optional):	Upvc Double Glazed
Description of proposed materials and finishes:	Upvc Double Glazed

Are you supplying additional information on submitted plans, drawings or a design and access statement? Yes No

6. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your proposed development? Yes No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal? Yes No

7. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? Yes No

Is a new or altered pedestrian access proposed to or from the public highway? Yes No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way? Yes No

8. Parking

Will the proposed works affect existing car parking arrangements? Yes No

9. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
- The applicant
- Other person

10. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? Yes No

11. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

Yes No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

12. Ownership Certificates and Agricultural Land Declaration

CERTIFICATE OF OWNERSHIP - CERTIFICATE A - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run. ** 'agricultural holding' has the meaning given by reference to the definition of 'agricultural tenant' in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person role

- The applicant
- The agent

Title

First name

Surname

Declaration date (DD/MM/YYYY)

Declaration made

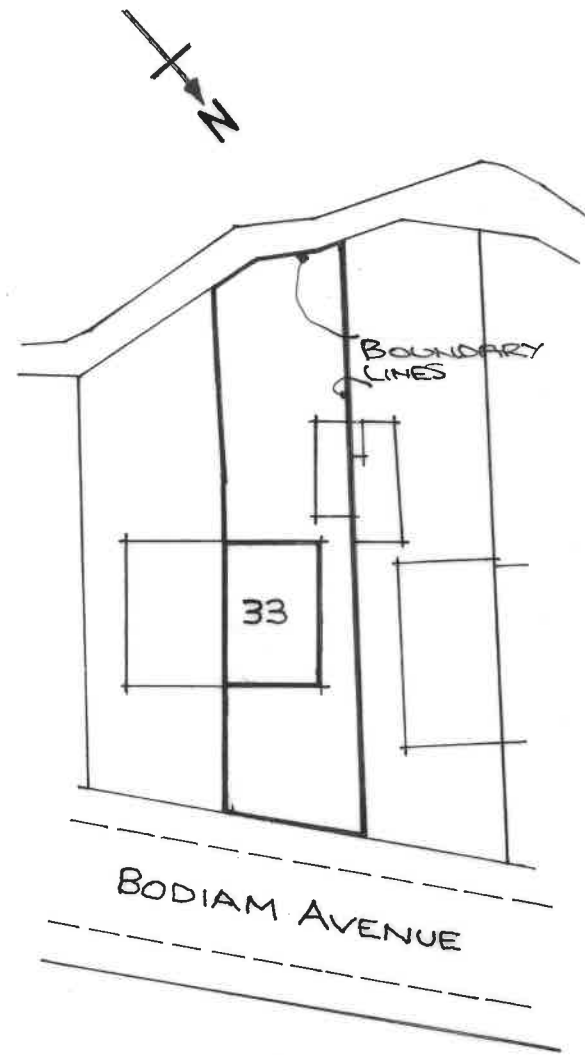
13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

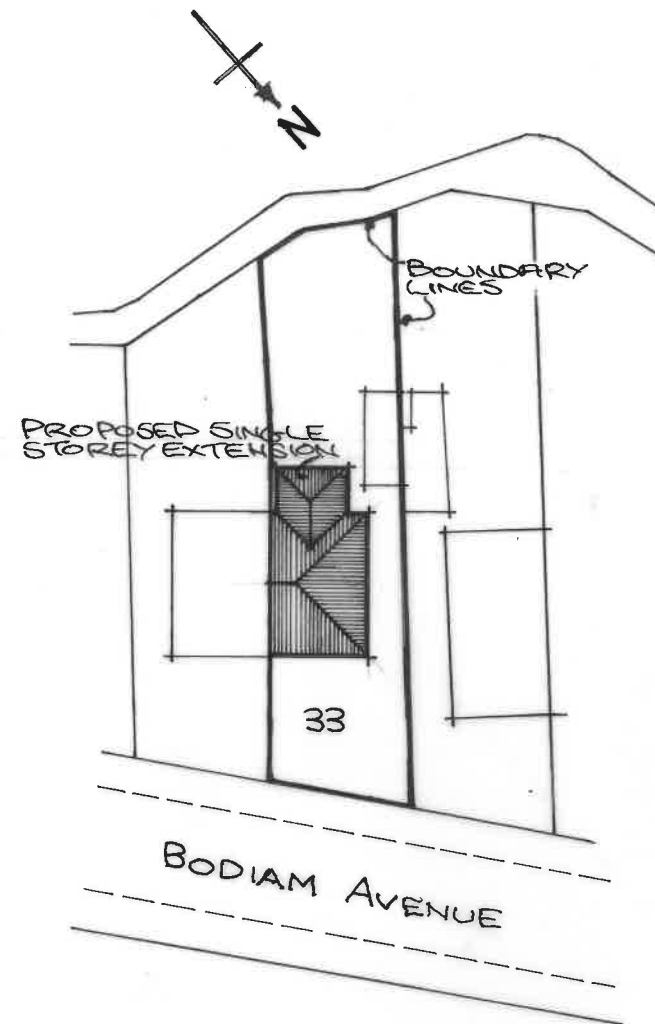
Date (cannot be pre-application)

33 Bodiam Avenue, Tuffley, Gloucester, GL4 0TJ





Existing Block Plan



Proposed Block Plan

PROPOSED SINGLE STOREY EXTENSION AT REAR
 OF 33 BODIAM AVENUE TUFFLEY GLOUCESTER
 FOR MR & MRS T. TOWNSEND

DATE NOV 2021 SCALE 1:500 DRG NO 21/02

33 Bodiam Avenue Tuffley Gloucester

Flood Risk Assessment

Introduction

A planning application is being made to Gloucester City Council for a single storey extension to the rear of the dwelling, to improve the living accommodation. Examination of the Environment Agency Flood Map indicates that the property lies within Flood Zone 2 (Environment Agency Flood map for planning attached) and a Flood Risk Assessment is required as part of the planning application. The property was flooded in 2007. The published guidance indicates that for minor developments of this nature the information provided in the Flood Risk Assessment should be at a level commensurate with the potential for damage.

Flood Zone 2 is described as a 1 in 1000 year event which, for this site, would occur in the event of the overflow of the River Severn.

Therefore, the proposals require to achieve a flood resilient construction using building materials that are suitable for a water entry strategy and this will comprise of facing bricks, concrete blocks and sacrificial or easily removable internal linings.

Foundations

Durable materials are to be provided that will not be affected by water and construction methods and materials are to be used that promote easy draining and drying.

Standard methods and good quality building materials will generally comply with these requirements, but good workmanship is essential.

Floor

Minimum 100mm thick concrete ground -supported floor to be provided as it will retain its integrity and properties when subjected to flood water. Hardcore and blinding to be well compacted to reduce the risk of settlement and consequential cracking. 1200 gauge impermeable polythene damp proof membranes to be provided to minimise the passage of water through the ground floor. Membranes to be joined with an overlap of 300mm or tape with an overlap of 50mm minimum. Floor insulation to be of the closed – cell type to minimize the impact of flood water. Insulation to be placed above the floor slab and underneath the floor finish to minimize the effect of flood water on the insulation properties and, if needed be more easily replaced.

The proposed extension floor level will be set no lower than the existing dwelling floor level which is 170mm above existing ground level.

Walls

Good quality facing bricks to be provided for the external face of cavity wall. Internal leaf to be constructed using concrete blocks as they dry more quickly than aircrete blocks. Cavity insulation to incorporate rigid closed cell materials as these retain integrity and have low

moisture take up. Walls to be lined internally using standard gypsum plasterboard up to the predicted flood level (plus freeboard of 50mm) as a sacrificial material.

Windows & Doors

Window and door external frames to be sealed PVCu. Special care to be taken to ensure adequate sealing of windows and doors to the fabric of the extension. New external door openings to have moveable Stormguard flood barrier system installed.

Services

Electrical power sockets will be located at 600mm above the finish floor level and the electricity supply cables will be fed from above.

The new guttering to the extension which be connected to the existing guttering which will discharge into the existing downpipe on the side elevation which is connected to the existing drainage system.

External Impermeable & Permeable Areas

Please refer to drawings No 21/03 & 21/04 detailing the external surfaces of the site.

The total area of the impermeable surfaces is 180.97 sqm this includes the floor area of the main dwelling and the detached garage. The existing timber shed floor level is raised above existing ground level and the area under and around the shed is finished with gravel.

The total area of the permeable external surfaces is 136.03 sqm.

Regarding the proposed extension the total area of the impermeable surface is 15 sqm, there will be no overhaul total increase in the impermeable area of the site as the existing external finish where the proposed extension will be located is currently a concrete surface.

Conclusion

The potential for flooding is considered to be extremely low and the design incorporates measures which are sufficient to reduce or prevent damage which might result from any future flooding of the site. The only additional storm water from the proposal would be the discharge from the new roof area to both side elevations of the new extension with an additional guttering length of 6 liner meters which will be connected to the existing guttering. Which would have only minimal impact on the existing drainage system.

Householder and other minor extensions in Flood Zones 2 and 3

Applications for planning permission should be accompanied by a completed form. An electronic version can be submitted by 'printing' it to a PDF writer.

This guidance is for domestic extensions and non-domestic extensions where the additional footprint created by the development does not exceed 250 sq. metres. It should NOT be applied if an additional dwelling is being created, e.g. a self contained annex.

We recommend that:

Planning Authorities:

- 1) Refer the applicant to the standing advice pages on the Environment Agency website or provide them with a copy of this page for them to include as part of the planning application submission.
- 2) Check the planning application to ensure that one or other of the mitigation measures from the table below has been incorporated.

Applicants:

Complete the table below and include it with the planning application submission. The table, together with the supporting evidence, will form the Flood Risk Assessment (FRA) and will act as an assurance to the Local Planning Authority (LPA) that flood risk issues have been adequately addressed.

Applicant to choose one or other of the flood mitigation measures below	Applicant to provide the LPA with the supporting information detailed below as part of their FRA	Applicant to indicate their choice in the box below. Enter 'yes' or 'no'
Either ; Floor levels within the proposed development will be set no lower than existing levels AND, flood proofing of the proposed development has been incorporated where appropriate.	Details of any flood proofing / resilience and resistance techniques, to be included in accordance with 'Improving the flood performance of new buildings' CLG (2007)	Yes
Or; Floor levels within the extension will be set 300mm above the known or modelled 1 in 100 annual probability river flood (1%) or 1 in 200 annual probability sea flood (0.5%) in any year. This flood level is the extent of the Flood Zones	This must be demonstrated by a plan that shows finished floor levels relative to the known or modelled flood level. All levels should be stated in relation to Ordnance Datum ¹	No

Subterranean/basement extensions

Due to the risk of rapid inundation by floodwater basements should be avoided in areas at risk of flooding. The LPA may hold additional guidance for basement extensions.

Self-contained basement dwellings are 'highly vulnerable' development and should not be permitted in Flood Zone 3. We are opposed to these developments.

Continued...

¹ Ordnance Datum or the abbreviation 'OD' is the mean level of the sea at Newlyn in Cornwall from which heights above sea level are taken. The contour lines on Ordnance Survey maps measure heights above OD for example, though these are not accurate enough for a flood risk assessment.

Cumulative impact of minor extensions and the removal of Permitted Development rights.

There is potential for the cumulative impact of minor extensions to have a significant effect on flood risk. Where local knowledge (Strategic Flood Risk Assessment held by the LPA/information provided by the parish council) suggests this is the case the guidance contained in FRA guidance note 2 should be applied. FRA guidance note 2 can also be applied where permitted development rights have been removed for flood risk reasons. The Environment Agency does not usually comment on minor development in this category.

Permeable paving and changes to permitted development rights for householders

On the 1st October 2008 the General Permitted Development Order (GPDO) in England was amended by the Government (Statutory Instrument 2008 No. 2362).

One of the changes introduced by the GPDO amendment is the removal of permitted development rights for householders wishing to install hard surfacing in front gardens which exceeds 5sq. metres (i.e. 1m x 5 m) without making provision to ensure permeability. This means that use of traditional materials, such as impermeable concrete, where there is no facility in place to ensure permeability, requires an application for planning permission.

In order to help and advise householders of the options for achieving permeability and meeting the condition for permitted development status the Department for Communities and Local Government (CLG) has produced guidance on permeable paving which can be found on the following link <http://www.communities.gov.uk/publications/planningandbuilding/pavingfrontgardens>

The Environment Agency supports the GPDO amendment as it is in line with the recommendations of the Pitt Report regarding the need to better tackle the impact of surface water flooding. However, Local Planning Authorities should determine these applications in accordance with the CLG guidance without consulting the Environment Agency.

End of comment

Flood map for planning

Your reference
33 Bodiam Ave

Location (easting/northing)
382081/214103

Created
2 Dec 2021 18:58

Your selected location is in flood zone 2, an area with a medium probability of flooding.

This means:

- you must complete a flood risk assessment for development in this area
- you should follow the Environment Agency's standing advice for carrying out a flood risk assessment (see www.gov.uk/guidance/flood-risk-assessment-standing-advice)

Notes

The flood map for planning shows river and sea flooding data only. It doesn't include other sources of flooding. It is for use in development planning and flood risk assessments.

This information relates to the selected location and is not specific to any property within it. The map is updated regularly and is correct at the time of printing.

Flood risk data is covered by the Open Government Licence which sets out the terms and conditions for using government data. <https://www.nationalarchives.gov.uk/doc/open-government-licence/version/3/>

Use of the address and mapping data is subject to Ordnance Survey public viewing terms under Crown copyright and database rights 2021 OS 100024198. <https://flood-map-for-planning.service.gov.uk/os-terms>




Flood map for planning

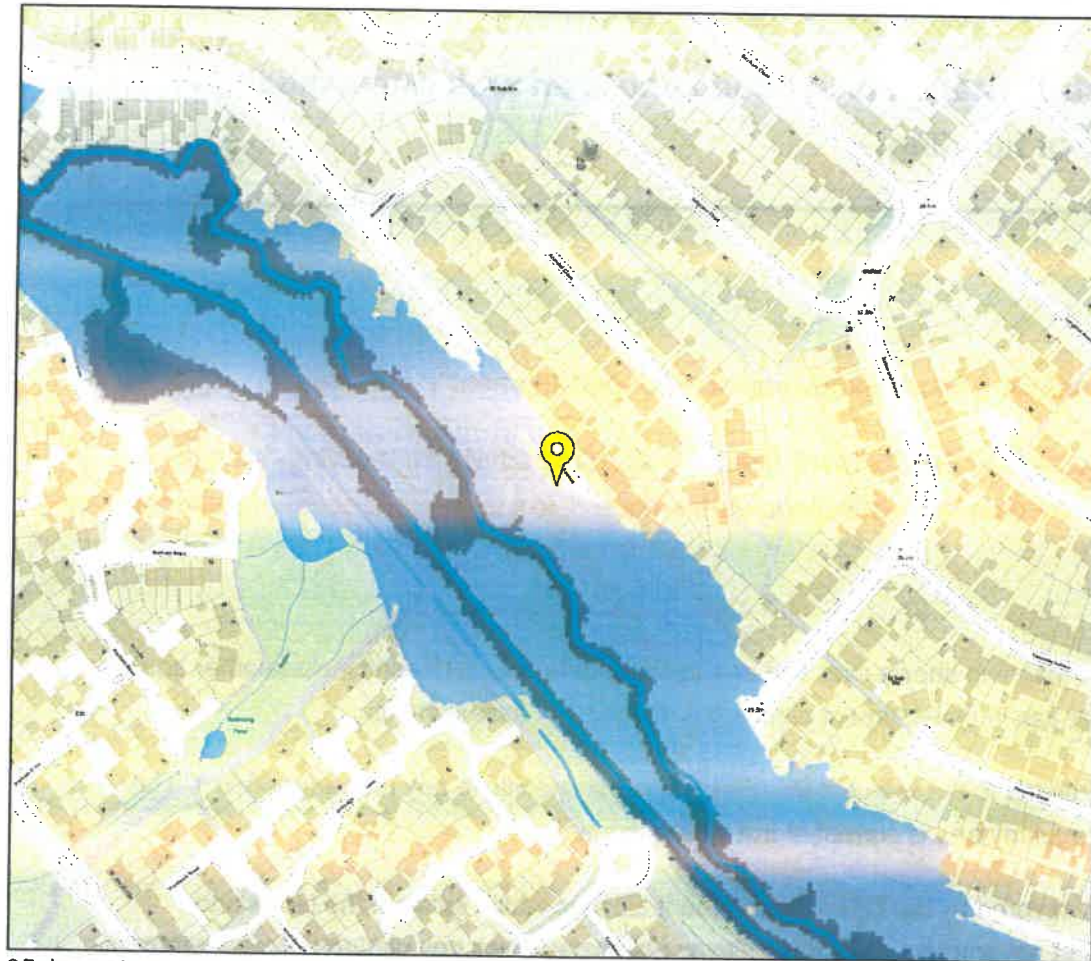
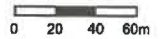
Your reference
33 Bodiam Ave

Location (easting/northing)
382081/214103

Scale
1:2500

Created
2 Dec 2021 18:58

-  Selected point
-  Flood zone 3
-  Flood zone 3: areas benefitting from flood defences
-  Flood zone 2
-  Flood zone 1
-  Flood defence
-  Main river
-  Flood storage area









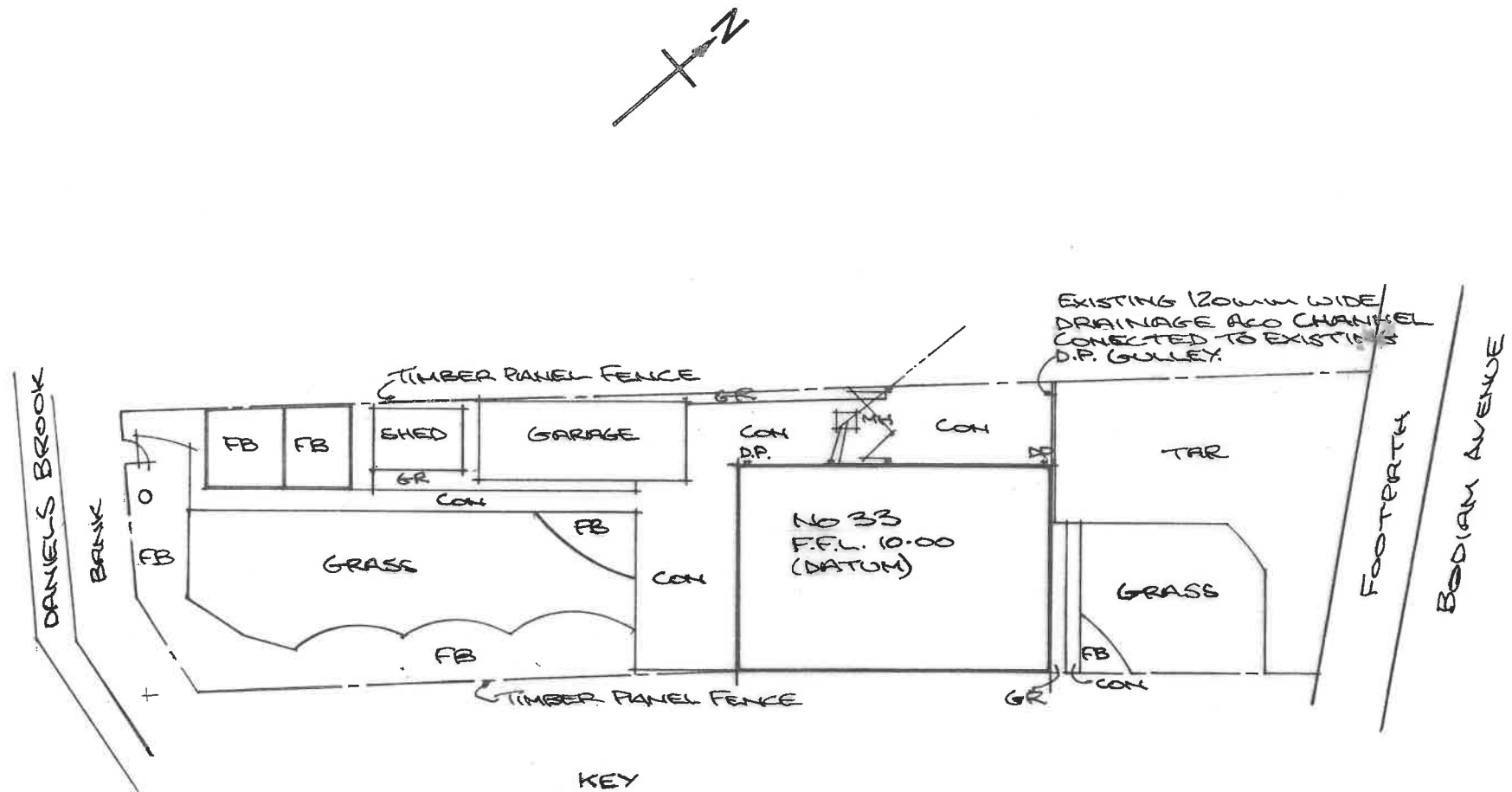


33

33



OW67 BXN



KEY

- CON - CONCRETE AREAS
- GR - GRAVEL SURFACES
- FB - FLOWER BEDS
- TAR - TARMAC AREA
- D.P - EXISTING RAINWATER DOWNPIPES & GULLEY

SITE AREA 317m²

TOTAL AREA OF IMPERMEABLE SURFACES 180.97m²

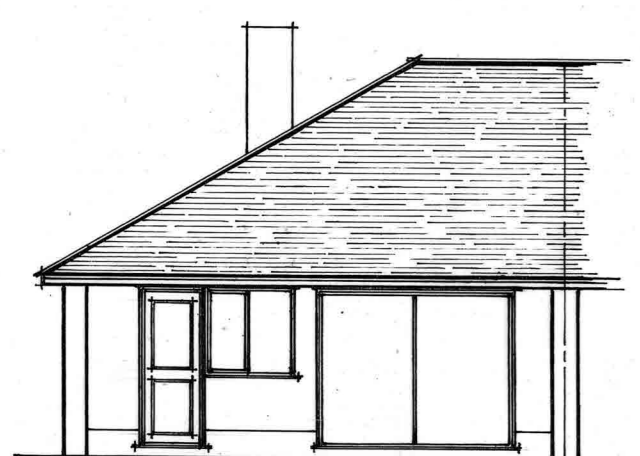
TOTAL AREA OF PERMEABLE SURFACES 136.03m²

PROPOSED SINGLE STOREY EXTENSION AT REAR OF
33 BODIAM AVENUE TUFFLEY GLOUCESTER
FOR MR & MRS T. TOWNSEND

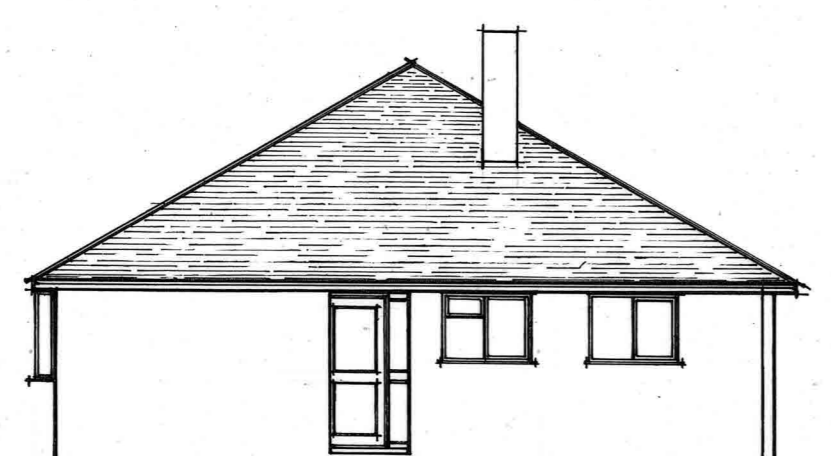
EXISTING EXTERNAL SURFACES LAYOUT PLAN

DATE NOV 2021 SCALE 1:200 DRG NO 21/03

NOTES
All dimensions must be checked on site and not scaled from this drawing.



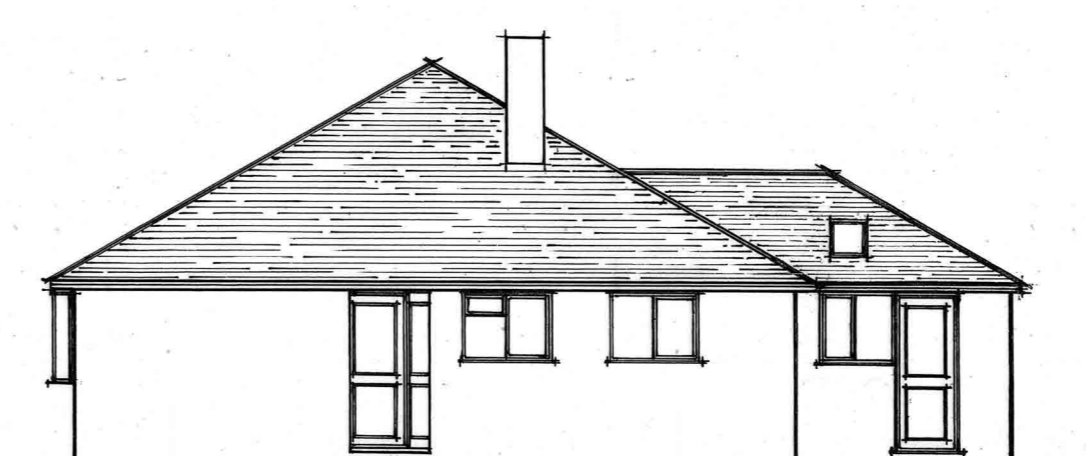
Existing Rear Elevation



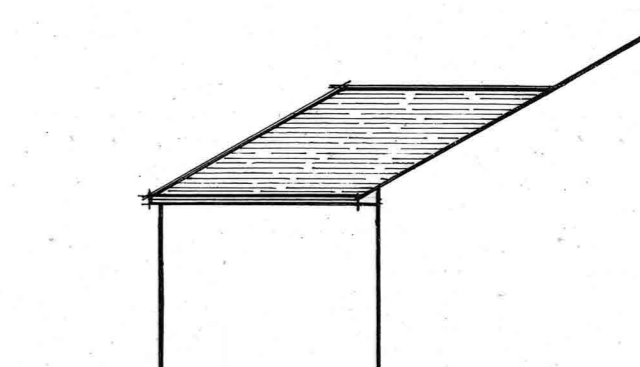
Existing Side Elevation



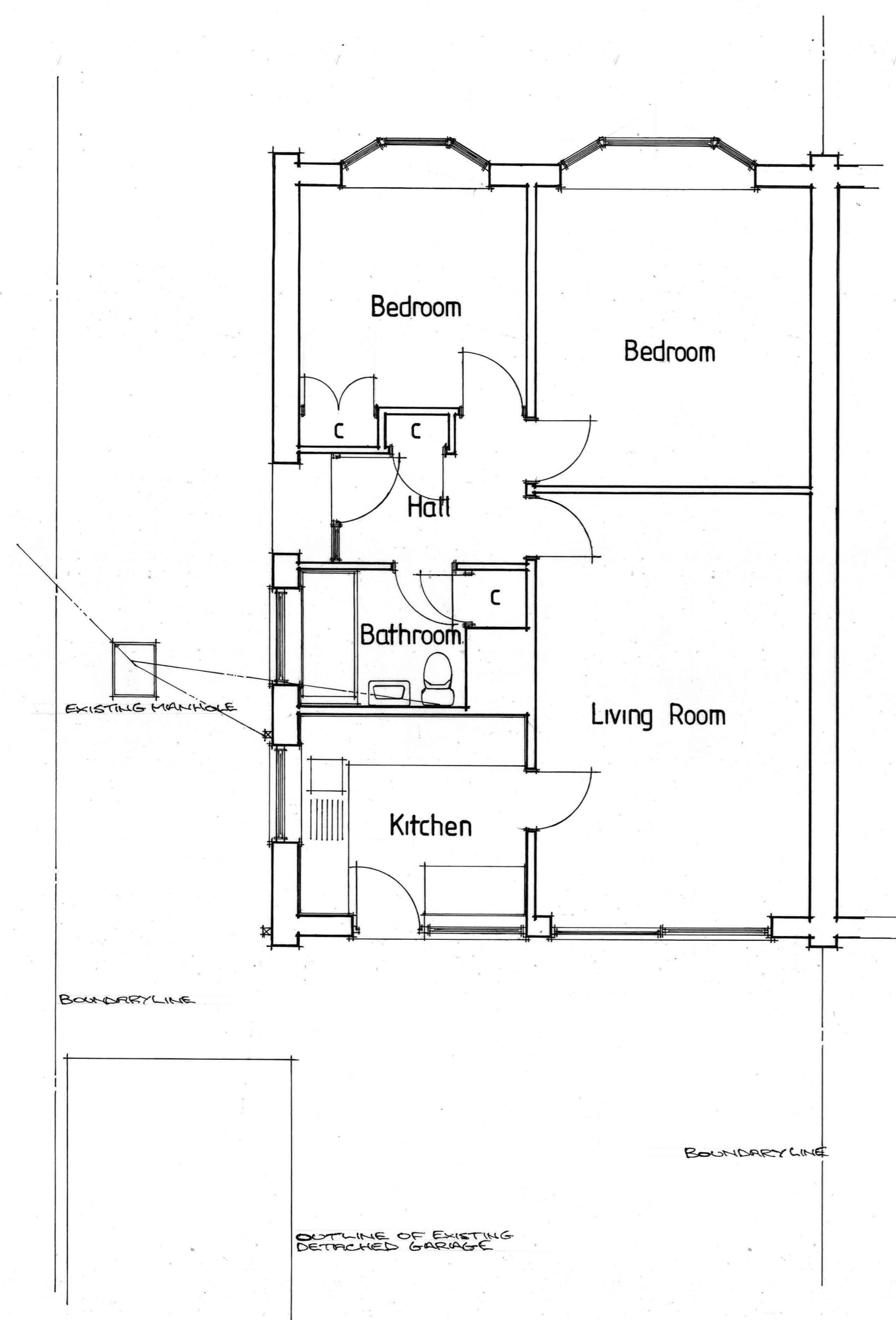
Proposed Rear Elevation



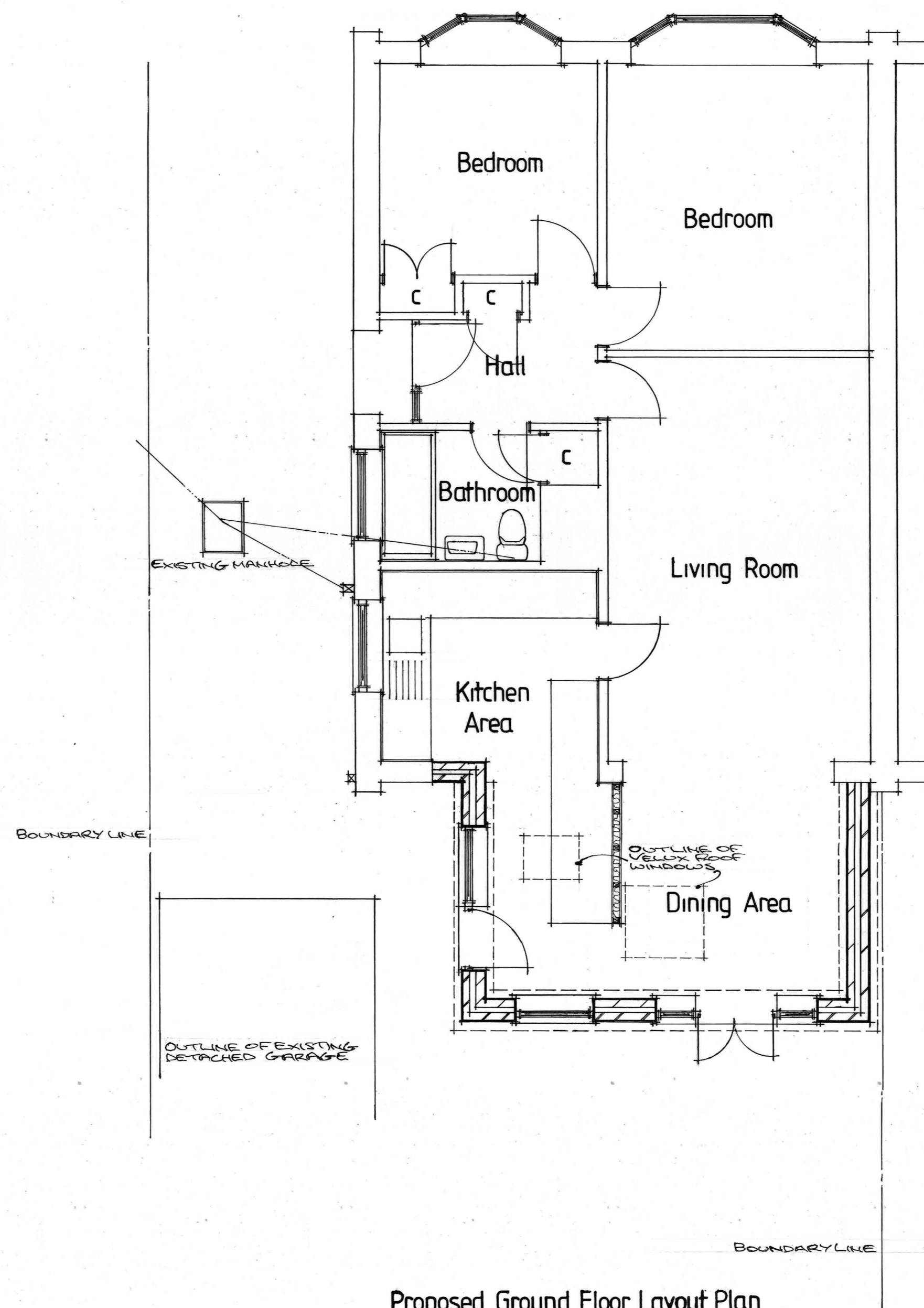
Proposed Side Elevation



Proposed Side Elevation



Existing Ground Floor Layout Plan



Proposed Ground Floor Layout Plan

E		
D		
C		
B		
A		
	Date	Revisions

© copyright

Client
Mr & Mrs T. Townsend

Job Title
**Proposed Single Storey
Extension at Rear of
33 Bodiam Avenue
Tuffley
Gloucester**

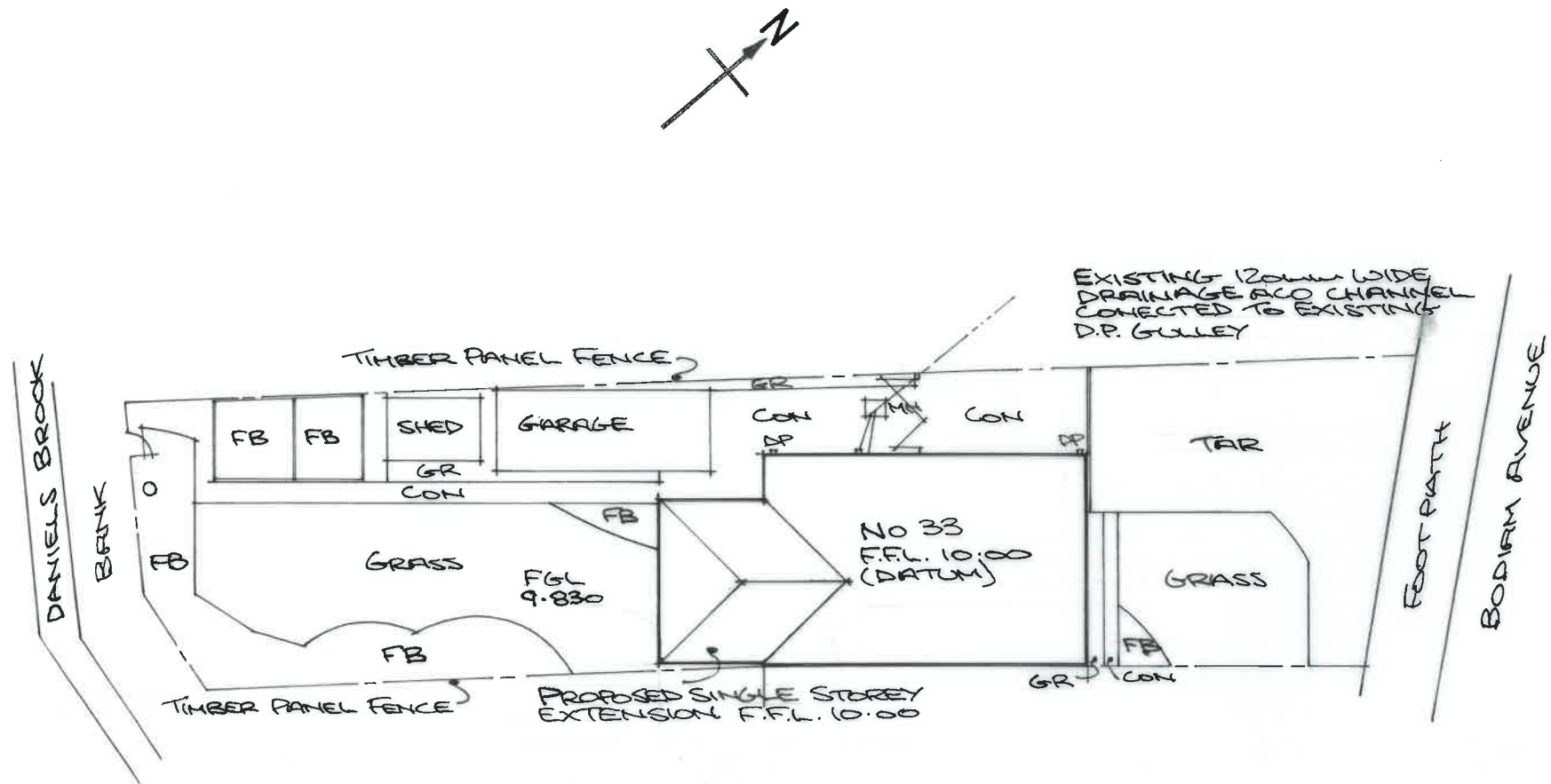
Drawing Title
**Existing & Proposed Elevations
& Layout Plans**

Scale 1:100 1:50

Date **Nov 2021** Drawn by

Drg. No. **21/01**

Rev.



KEY

- CON - CONCRETE AREAS
- GR - GRAVEL SURFACES
- FB - FLOWER BEDS
- TAR - TARMAC AREA
- D.P. - EXISTING RAINWATER DOWNPIPES & GULLEY.

SITE AREA 317m²

TOTAL AREA OF IMPERMEABLE SURFACES 180.97m²
 TOTAL AREA OF PERMEABLE SURFACES 136.03m²

PROPOSED SINGLE STOREY EXTENSION AT REAR OF
 33 BODIAM AVENUE TUFFLEY GLOUCESTER
 FOR MR & MRS T. TOWNSEND.

PROPOSED EXTERNAL SURFACES LAYOUT PLAN.

DATE NOV 2021 SCALE 1:200 DRG NO 21/04