



**Householder Application for Planning Permission for works or extension to a dwelling.
Town and Country Planning Act 1990**

Publication of planning applications on council websites

Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.

If you have provided any other information as part of your application which falls within the definition of personal data under the Data Protection Act which you do not wish to be published on the council's website, please contact the council's planning department.

Please complete using block capitals and black ink.

It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application.

1. Applicant Name and Address

Title: First name:

Last name:

Company (optional):

Unit: House number: House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Country:

Postcode:

2. Agent Name and Address

Title: First name:

Last name:

Company (optional):

Unit: House number: House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Country:

Postcode:

3. Description of Proposed Works

Please describe the proposed works:

Ground and first floor extension to side elevation. Providing a Hallway on ground floor and Shower Room on first floor

3. Description of Proposed Works (continued)

Has the work already started? Yes No

If Yes, please state when the work was started (DD/MM/YYYY):

(date must be pre-application submission)

Has the work already been completed? Yes No

If Yes, please state when the work was completed (DD/MM/YYYY):

(date must be pre-application submission)

4. Site Address Details

Please provide the full postal address of the application site.

Unit: House number: House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Postcode (optional):

5. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? Yes No

Is a new or altered pedestrian access proposed to or from the public highway? Yes No

Do the proposals require any diversions, extinguishments and/or creation of public rights of way? Yes No

If Yes to any questions, please show details on your plans or drawings and state the reference number(s) of the plan(s)/drawing(s):

6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? Yes No

If Yes, please complete the following information about the advice you were given. (This will help the authority to deal with this application more efficiently).

Please tick if the full contact details are not known, and then complete as much possible:

Officer name:

Reference:

Date (DD MM YYYY):
(must be pre-application submission)

Details of the pre-application advice received:

7. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your boundary? Yes No

If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings:

Will any trees or hedges need to be removed or pruned in order to carry out your proposal? Yes No

If Yes, please show on your plans which trees by giving them numbers e.g. T1, T2 etc, state the reference number of the plan(s)/drawing(s) and indicate the scale.

8. Parking

Will the proposed works affect existing car parking arrangements? Yes No

If Yes, please describe:

9. Council Employee / Member

Is the applicant or agent related to any member of staff or elected member of the council? Yes No

If Yes, please provide details:

10. Materials

If applicable, please state what materials are to be used externally. Include type, colour and name for each material:

	Existing (where applicable)	Proposed	Not applicable	Don't Know	Drawing references If applicable
Walls	Render & Facing Brickwork	Render	<input type="checkbox"/>	<input type="checkbox"/>	
Roof	Slate & Flat Roofing	Flat Roofing	<input type="checkbox"/>	<input type="checkbox"/>	
Windows	Upvc	Upvc	<input type="checkbox"/>	<input type="checkbox"/>	
Doors	Upvc	Upvc	<input type="checkbox"/>	<input type="checkbox"/>	
Boundary treatments (e.g. fences, walls)	Facing brickwork and Render	Facing brickwork and Render	<input type="checkbox"/>	<input type="checkbox"/>	
Vehicle access and hard-standing			<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Lighting			<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Others (please specify)			<input type="checkbox"/>	<input type="checkbox"/>	

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

Yes

No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

Proposed scheme drawing

11. Certificates

One Certificate A, B, C, or D, must be completed, together with the Agricultural Holdings Certificate with this application form
CERTIFICATE OF OWNERSHIP - CERTIFICATE A

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land or building to which the application relates.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

CERTIFICATE OF OWNERSHIP - CERTIFICATE B

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/ The applicant certifies that I have/the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land or building to which this application relates.

Name of Owner	Address	Date Notice Served

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

CERTIFICATE OF OWNERSHIP - CERTIFICATE C

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/ The applicant certifies that:

- Neither Certificate A or B can be issued for this application
- All reasonable steps have been taken to find out the names and addresses of the other owners (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of the land or building, or of a part of it, but I have/ the applicant has been unable to do so.

The steps taken were:

Name of Owner	Address	Date Notice Served

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

11. Certificates (continued)

CERTIFICATE OF OWNERSHIP - CERTIFICATE D

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/ The applicant certifies that:

- Certificate A cannot be issued for this application
- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so.

The steps taken were:

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

AGRICULTURAL HOLDINGS CERTIFICATE

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

Agricultural Land Declaration - You Must Complete Either A or B

(A) None of the land to which the application relates is, or is part of, an agricultural holding.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

15-8-2022

B) I have/ The applicant has given the requisite notice to every person other than myself/ the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

Name of Tenant	Address	Date Notice Served

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

12. Planning Application Requirements - Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted.

- | | | |
|--|---|--|
| 3 copies of a completed and dated application form: <input checked="" type="checkbox"/> | 3 copies of a design and access statement where proposed works fall within one of the following designated areas: <input type="checkbox"/> <ul style="list-style-type: none"> • National Park • Site of special scientific interest • Conservation area • Area of outstanding natural beauty • World Heritage Site • The Broads | The correct fee: <input checked="" type="checkbox"/> |
| 3 copies of a plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North: <input checked="" type="checkbox"/> | | 3 copies of the completed, dated Article 7 Certificate (Agricultural Holdings): <input checked="" type="checkbox"/> |
| 3 copies of other plans and drawings or information necessary to describe the subject of the application: <input checked="" type="checkbox"/> | | 3 copies of the completed, dated Ownership Certificate (A, B, C or D - as applicable): <input checked="" type="checkbox"/> |

13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

15-8-2022 (date cannot be pre-application)

14. Applicant Contact Details

Telephone numbers

Country code:	National number:	Extension number:
<input type="text"/>	<input type="text"/>	<input type="text"/>
Country code:	Mobile number (optional):	
<input type="text"/>	<input type="text"/>	
Country code:	Fax number (optional):	
<input type="text"/>	<input type="text"/>	
Email address (optional):		
<input type="text"/>		

15. Agent Contact Details

Telephone numbers

Country code:	National number:	Extension number:
<input type="text"/>	<input type="text"/>	<input type="text"/>
Country code:	Mobile number (optional):	
<input type="text"/>	<input type="text"/>	
Country code:	Fax number (optional):	
<input type="text"/>	<input type="text"/>	
Email address (optional):		
<input type="text"/>		

16. Site Visit

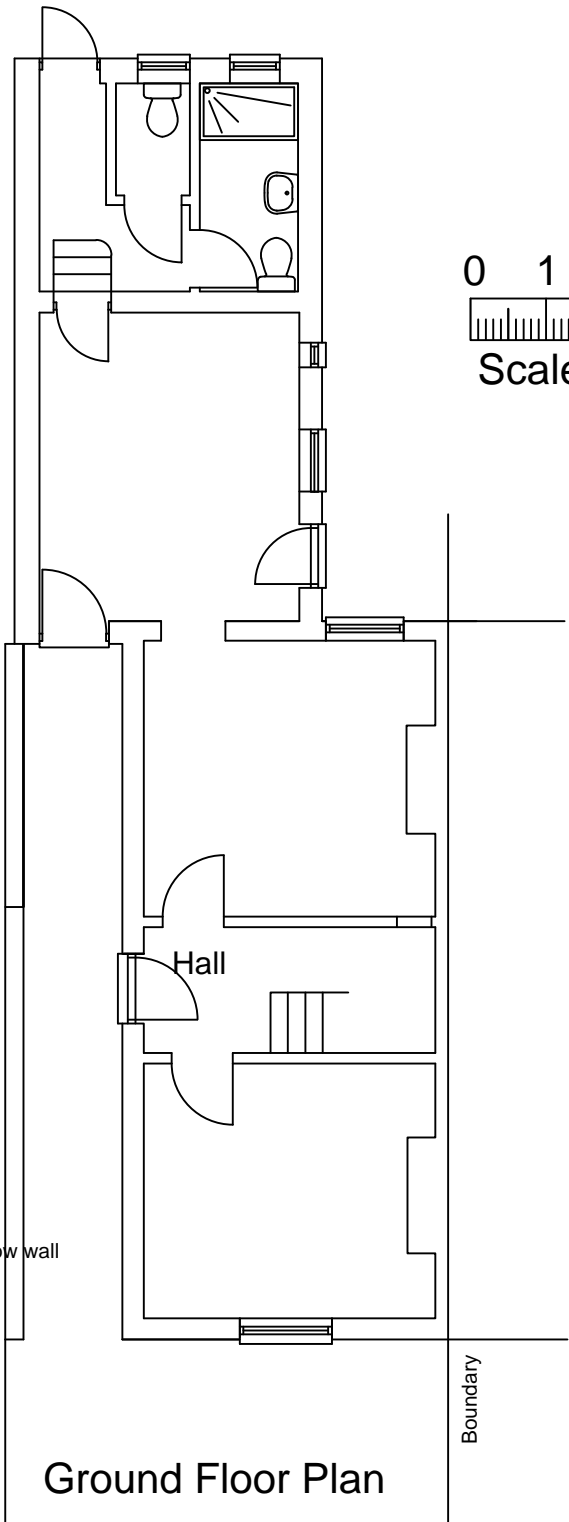
Can the site be seen from a public road, public footpath, bridleway or other public land? Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? *(Please select only one)* Agent Applicant Other (if different from the agent/applicant's details)

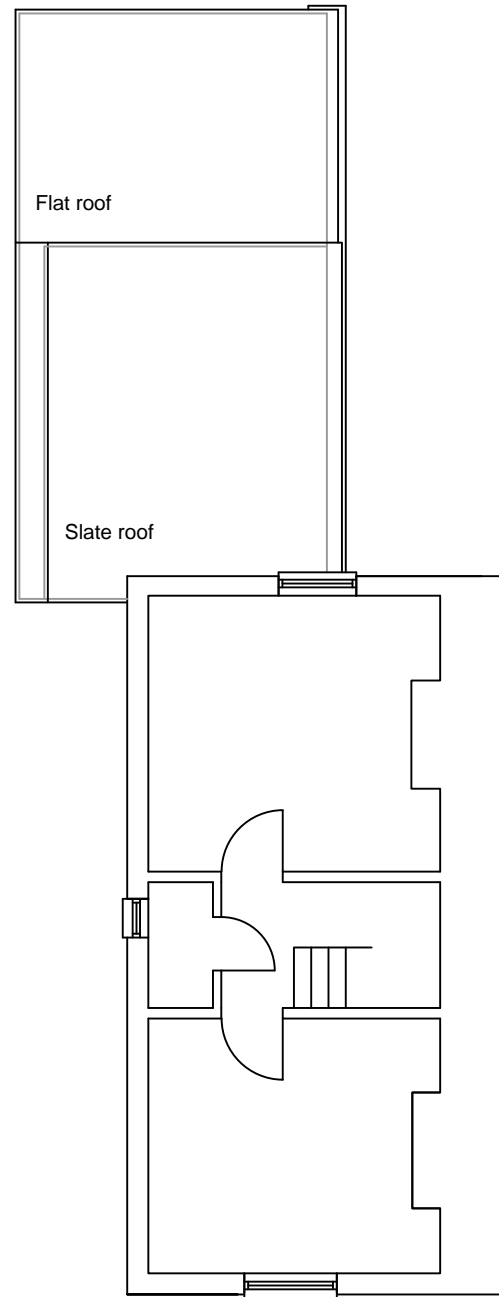
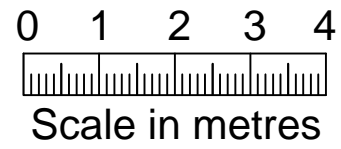
If Other has been selected, please provide:

Contact name: Telephone number:

Email address:



Ground Floor Plan



First Floor Plan



Existing Block Plan - scale 1:500



Location Plan - scale 1:1250



All figured dimensions to be checked on site before commencing work
No dimensions scaled from this drawing
This drawing is to be used for Planning Permission only
A3 drawing size

Project

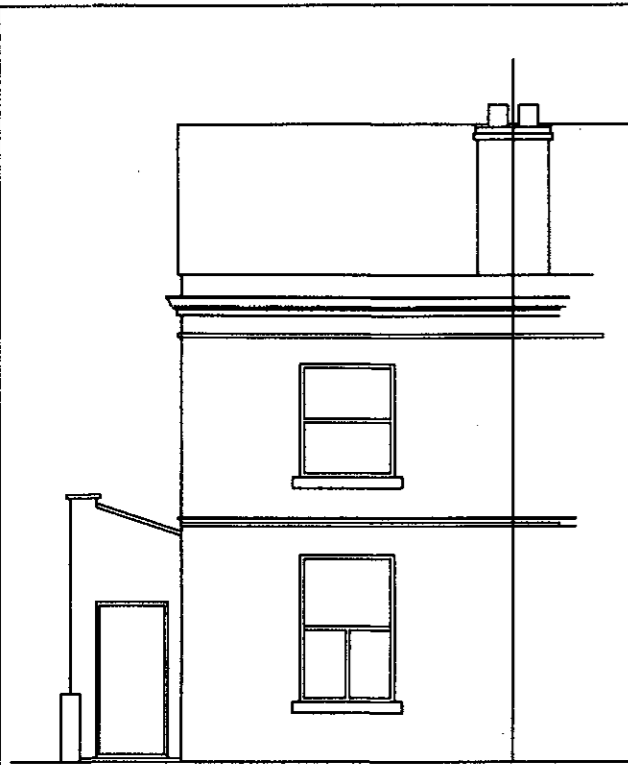
Survey of 16 Regent Street, Gloucester, Gloucestershire, GL1 4UJ

Date
Aug 2022

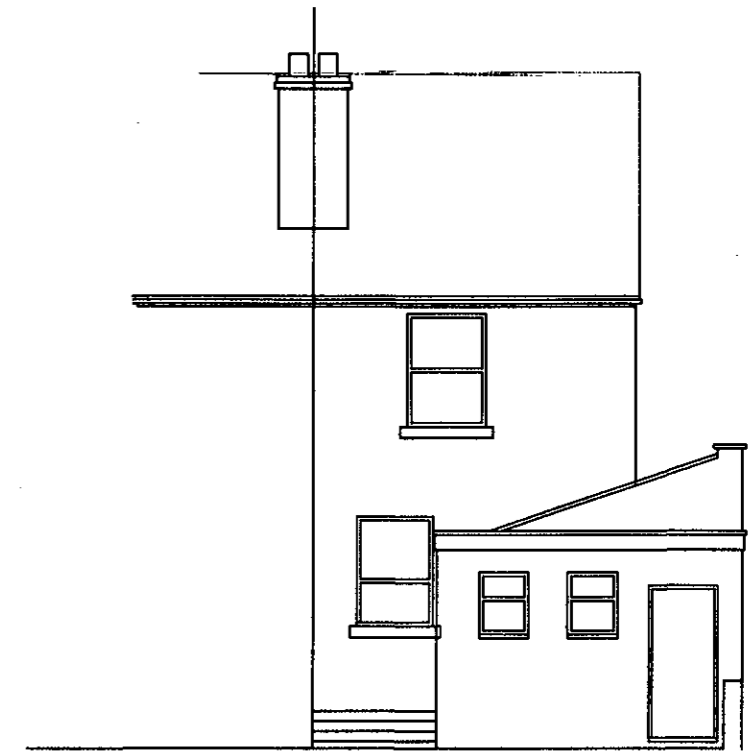
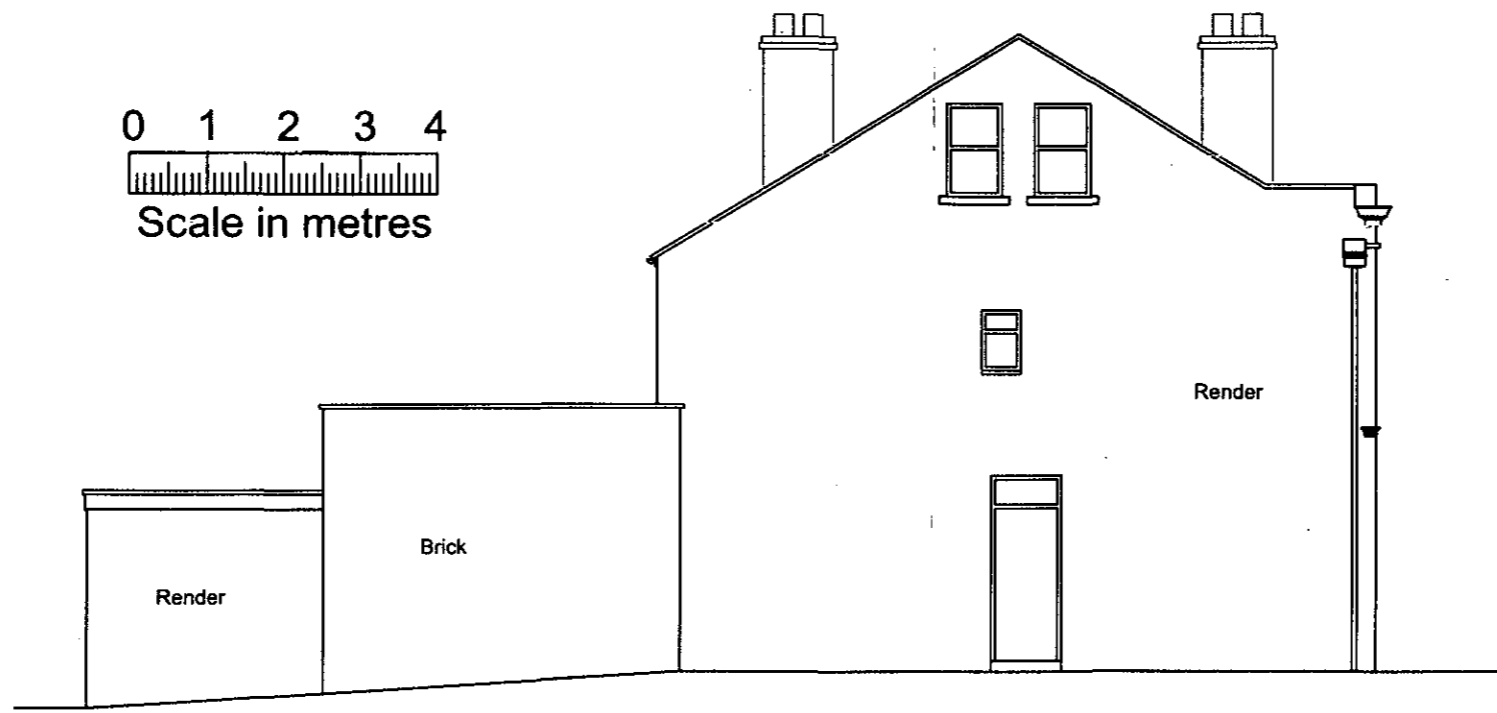
Scale
1:100

Drawing No.

22.08.01



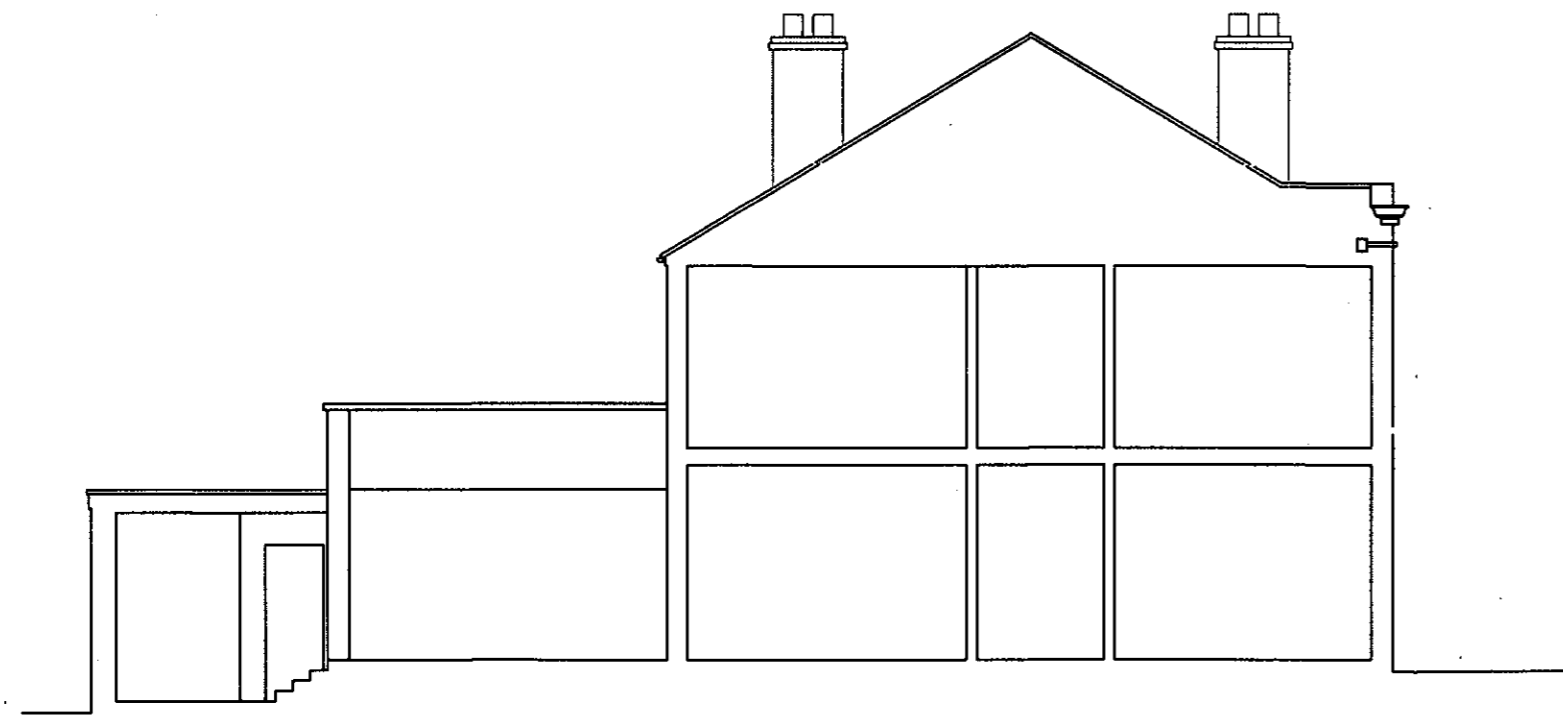
0 1 2 3 4
 Scale in metres



Front Elevation
 Elevations - scale 1:100

Side Elevation

Rear Elevation



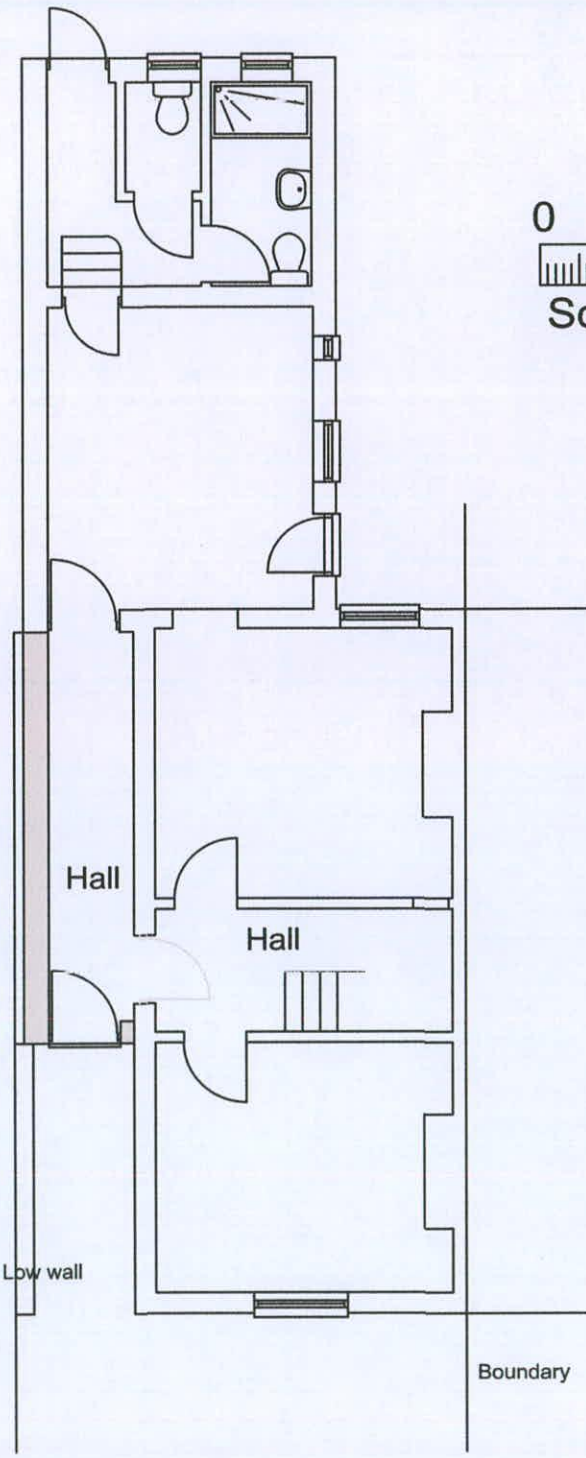
Existing Section
 Section - scale 1:100

All figured dimensions to be checked on site before commencing work
 No dimensions scaled from this drawing
 This drawing is to be used for Planning Permission only
 A3 drawing size

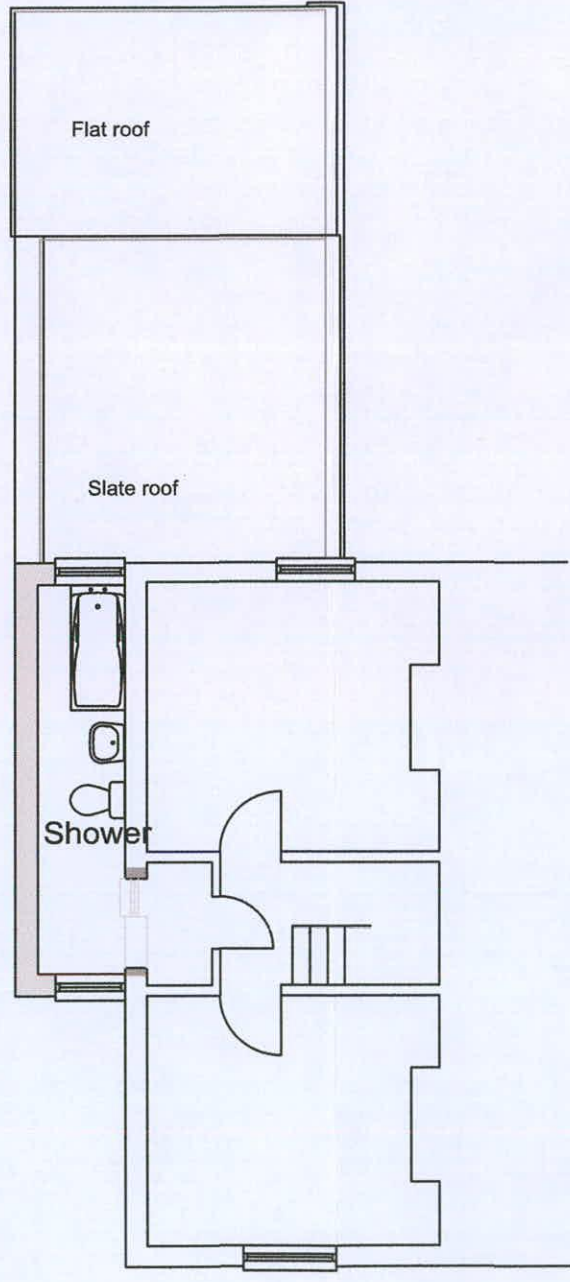
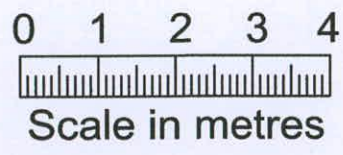
Project

Survey of 16 Regent Street, Gloucester, Gloucestershire, GL1 4UJ

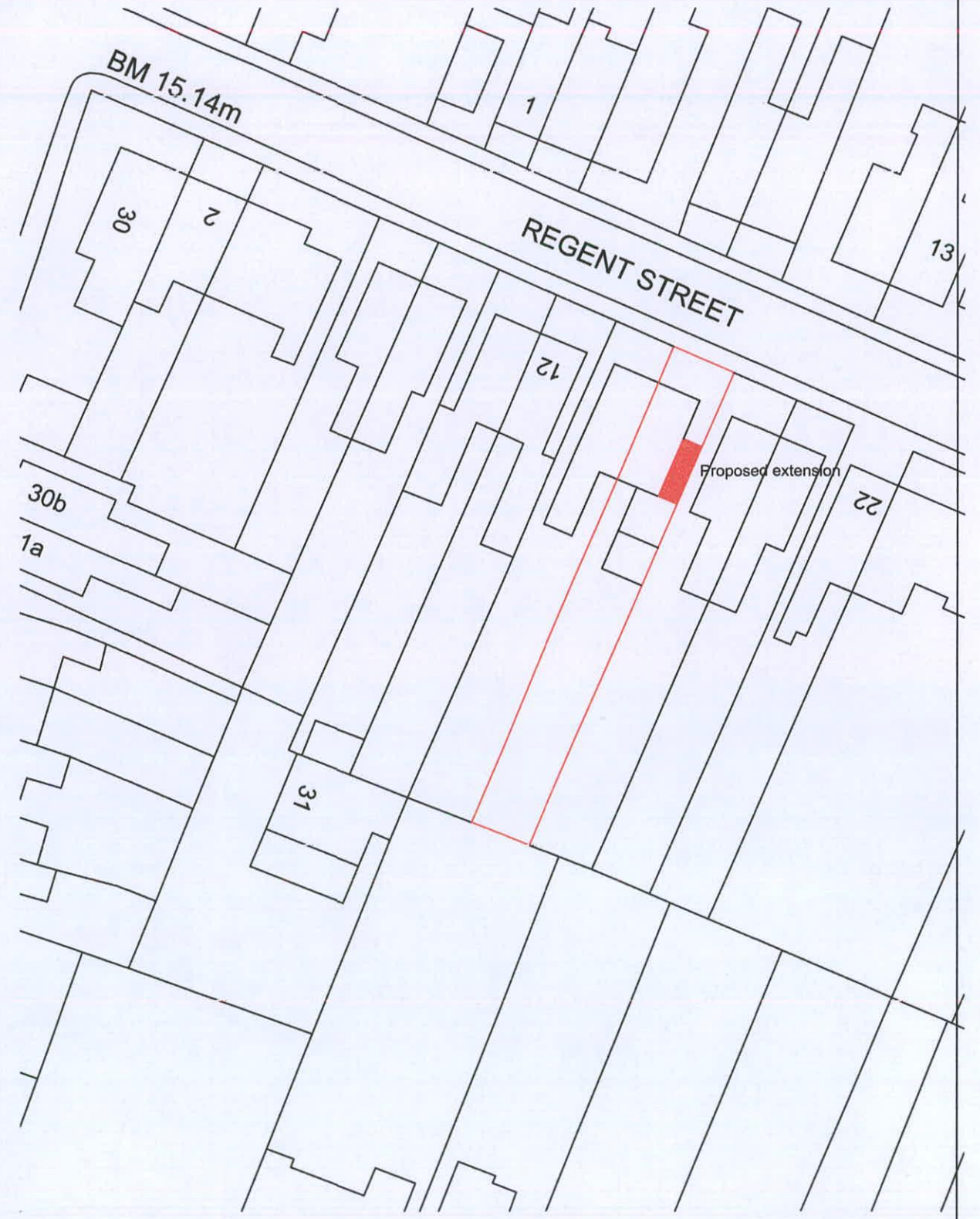
Date	Scale
Aug 2022	1:100
Drawing No.	
22.08.02	



Ground Floor Plan



First Floor Plan



Proposed Block Plan - scale 1:500



All figured dimensions to be checked on site before commencing work
No dimensions scaled from this drawing
This drawing is to be used for Planning Permission only
A3 drawing size

Project

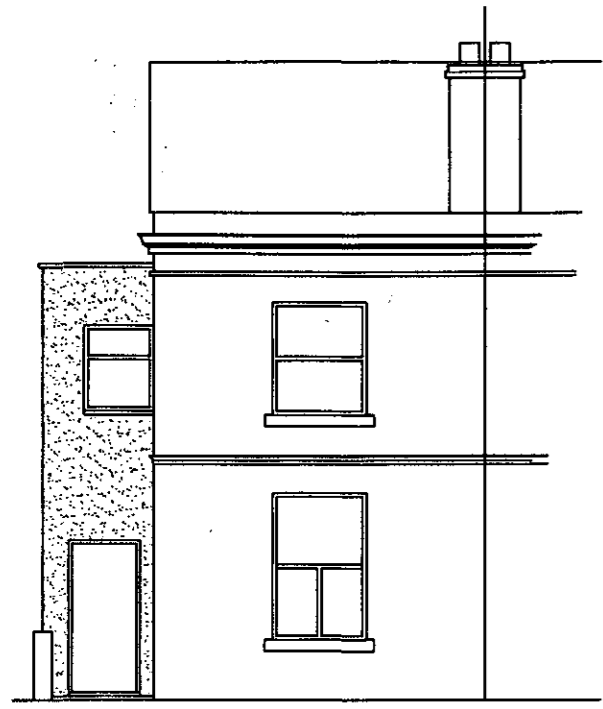
Proposed Extension at 16 Regent Street, Gloucester, Gloucestershire, GL1 4UJ

Date
Aug 2022

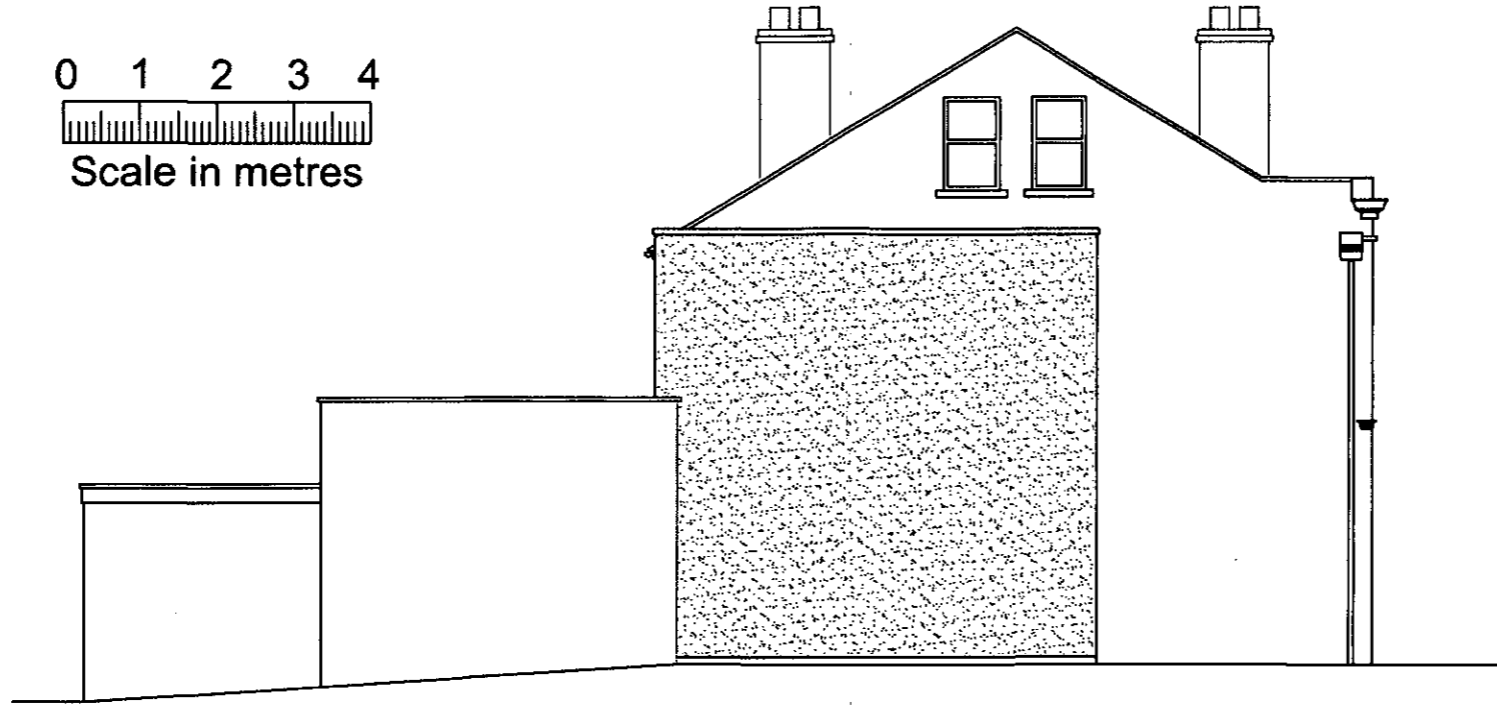
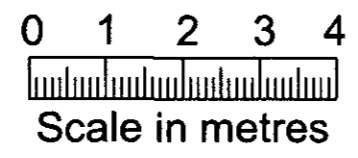
Scale
1:100

Drawing No.

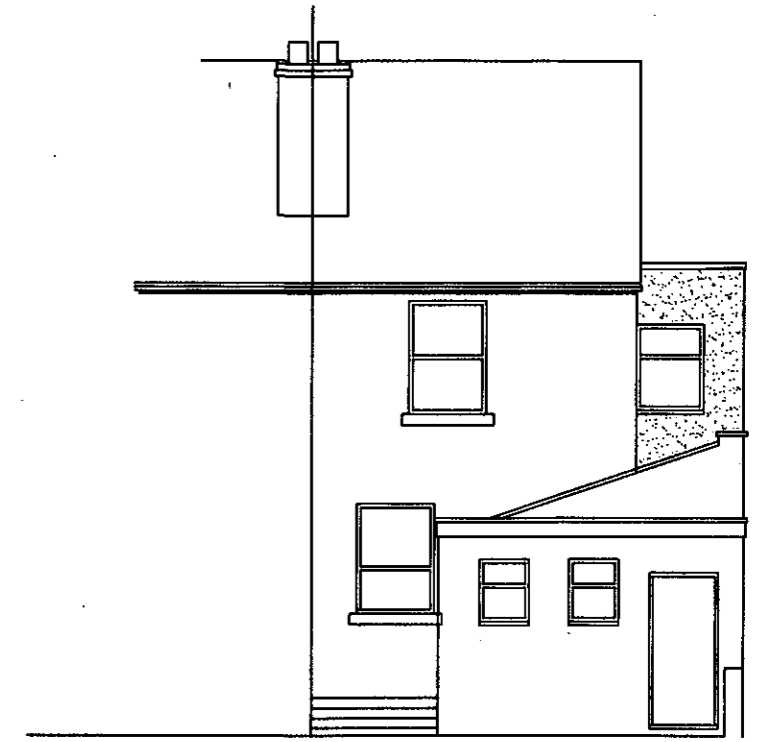
22.08.03



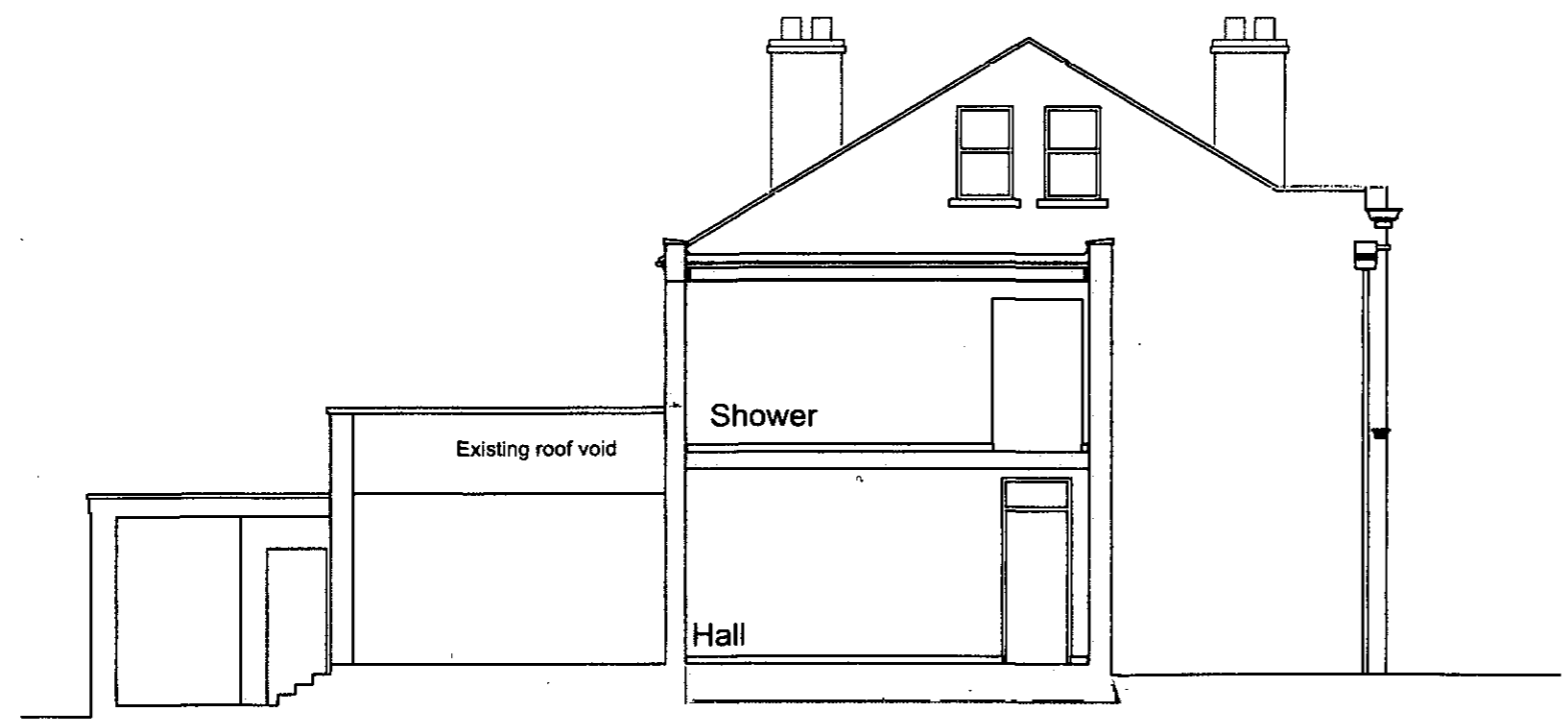
Front Elevation
Elevation - scale 1:100



Front Elevation



Front Elevation



Proposed Section - scale 1:100

NOTES
Walls -Render finish to match
Roof - Single ply roof membrane
Doors and windows - Pvcu
Rainwater goods - Pvcu

All figured dimensions to be checked on site before commencing work
No dimensions scaled from this drawing
This drawing is to be used for Planning Permission only
A3 drawing size

Project

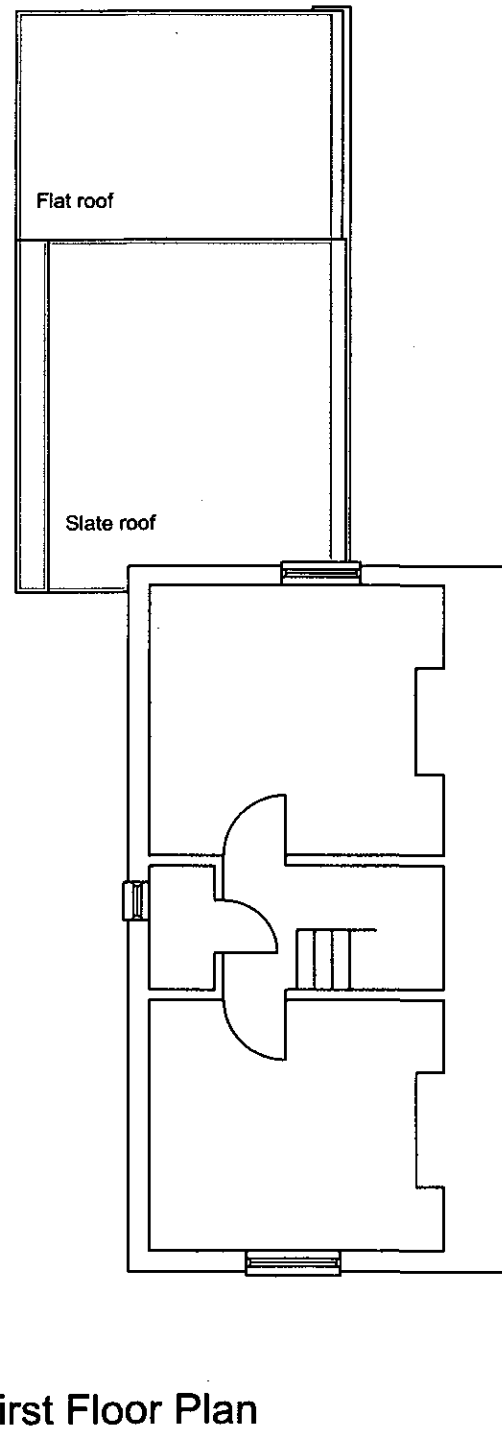
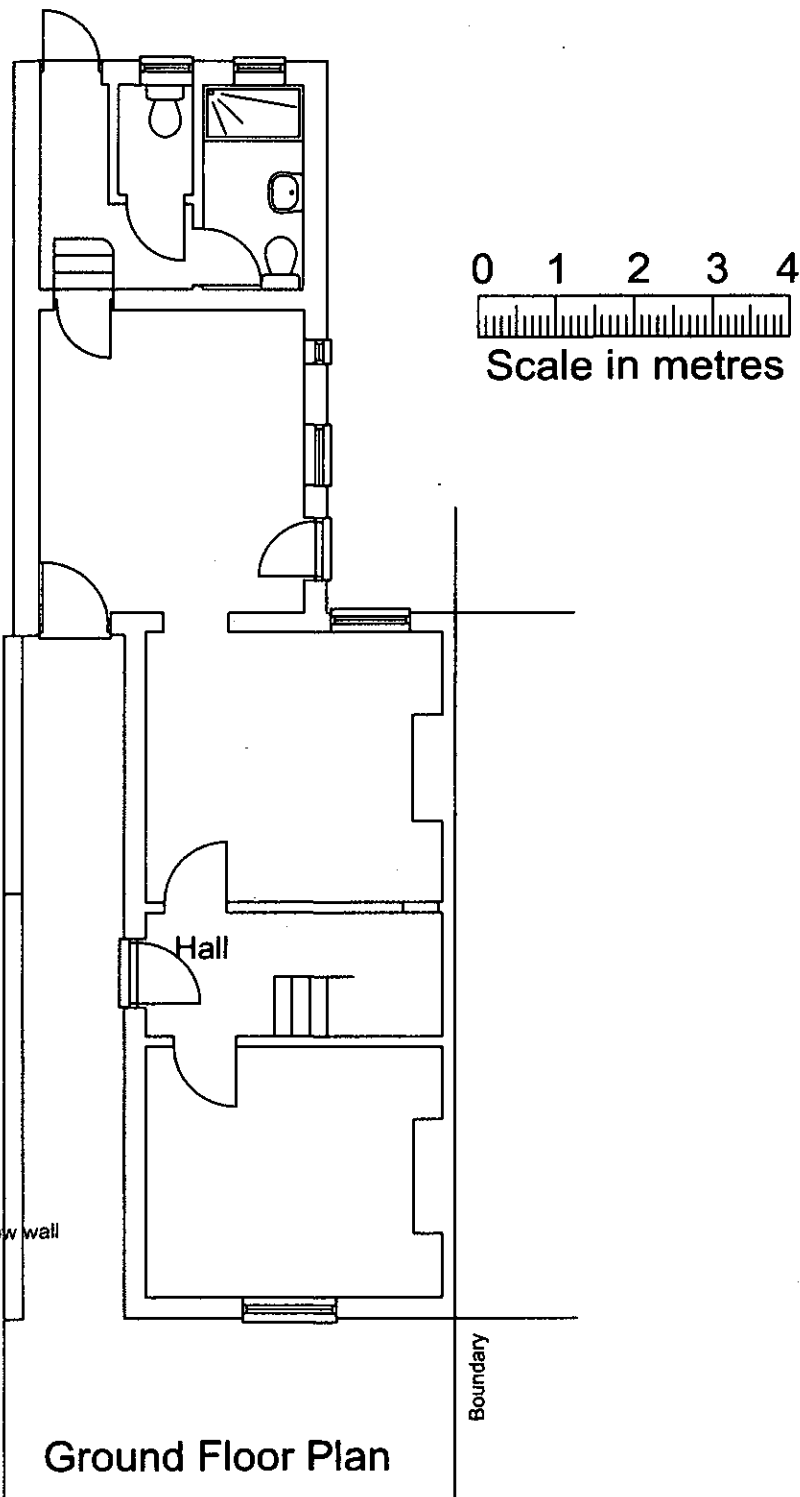
Proposed Extension at 16 Regent Street, Gloucester, Gloucestershire, GL1 4UJ

Date
Aug 2022

Scale
1:100

Drawing No.

22.08.04



All figured dimensions to be checked on site before commencing work
 No dimensions scaled from this drawing
 This drawing is to be used for Planning Permission only
 A3 drawing size

Project

Survey of 16 Regent Street, Gloucester, Gloucestershire, GL1 4UJ

Date	Aug 2022	Scale	1:100
Drawing No.	22.08.01		

Flood Risk Assessment for 16 Regent Street, Gloucester

Introduction

A Planning Application has been submitted to enable the construction of two storey domestic extension to form an entrance hall and first floor shower room. Upon examination of the current Flood maps that indicate the site of the dwelling lies within a potential Flood Zone, and as a result this flood risk assessment has become a necessary part of the Planning Application. Guidance published by the Environment Agency, indicates that in the case of minor developments of this nature the level of information should be reduced to a level sufficient to match the potential for damage. This Flood Risk Assessment has been prepared in accordance with that guidance.

Description of Development

The works comprise of the provision of a two storey pitched roof extension to provide a entrance hall and first floor shower room to an existing semi detached dwelling. The extension will be linked into the existing house by an existing ground floor entrance and side kitchen door and removal of a window at first floor level. The new finished floor level will be the same as existing dwelling. Surface water from the roof will be connected into existing drainage system.

Flooding Considerations

The proposal is to include the following:

The floor level of the ground floor extension will be at the same level as the main house.

Any power sockets will be located at a height to reflect any potential flooding at the site 1.00m above finished floor level.

Floor coverings are to be of a type which will not be damaged by flooding or removable in an emergency e.g. rugs or similar.

Conclusion

The potential for flooding within the site of the proposal is considered to be extremely small, but the design is sufficient to reduce or prevent damage which might result from the indicated level of flooding at the site.