

Application for Planning Permission

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x) Northing (y)

Description

Applicant Details

Name/Company

Title

Mr

First name

Surname

Martin

Company Name

Address

Address line 1

unit 6

Address line 2

merretts mill

Address line 3

Bath road

Town/City

stroud

Country

Postcode

GL5 5EX

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

Secondary number

Fax number

Email address

Agent Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Contact Details

Primary number

Secondary number

Fax number

Email address

Site Area

What is the measurement of the site area? (numeric characters only).

Unit

Description of the Proposal

Please note in regard to:

- **Fire Statements** - From 1 August 2021, planning applications for buildings of over 18 metres (or 7 stories) tall containing more than one dwelling will require a 'Fire Statement' for the application to be considered valid. There are some exemptions. [View government planning guidance on fire statements](#) or [access the fire statement template and guidance](#).
- **Permission In Principle** - If you are applying for Technical Details Consent on a site that has been granted Permission In Principle, please include the relevant details in the description below.
- **Public Service Infrastructure** - From 1 August 2021, applications for certain public service infrastructure developments will be eligible for faster determination timeframes. See help for further details or [view government planning guidance on determination periods](#).

Description

Please describe details of the proposed development or works including any change of use

Has the work or change of use already started?

- Yes
 No

Existing Use

Please describe the current use of the site

Is the site currently vacant?

- Yes
 No

Does the proposal involve any of the following? If Yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated

- Yes
 No

Land where contamination is suspected for all or part of the site

- Yes
 No

A proposed use that would be particularly vulnerable to the presence of contamination

- Yes
 No

Materials

Does the proposed development require any materials to be used externally?

- Yes
 No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

Type:

Roof

Existing materials and finishes:

flat roof

Proposed materials and finishes:

flat roof single ply membrane

Type:

Windows

Existing materials and finishes:

na

Proposed materials and finishes:

grey upvc

Type:

Walls

Existing materials and finishes:

pre fab dash

Proposed materials and finishes:

render and cladding

Are you supplying additional information on submitted plans, drawings or a design and access statement?

- Yes
 No

If Yes, please state references for the plans, drawings and/or design and access statement

drawings

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicular access proposed to or from the public highway?

- Yes
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes
 No

Are there any new public roads to be provided within the site?

- Yes
 No

Are there any new public rights of way to be provided within or adjacent to the site?

- Yes
 No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

- Yes
 No

Vehicle Parking

Does the site have any existing vehicle/cycle parking spaces or will the proposed development add/remove any parking spaces?

- Yes
 No

Please provide information on the existing and proposed number of on-site parking spaces

Vehicle Type:

Cars

Existing number of spaces:

6

Total proposed (including spaces retained):

2

Difference in spaces:

-4

Trees and Hedges

Are there trees or hedges on the proposed development site?

- Yes
 No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

- Yes
 No

If Yes to either or both of the above, you may need to provide a full tree survey, at the discretion of the local planning authority. If a tree survey is required, this and the accompanying plan should be submitted alongside the application. The local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

Assessment of Flood Risk

Is the site within an area at risk of flooding? (Check the location on the Government's [Flood map for planning](#). You should also refer to national [standing advice](#) and your local planning authority requirements for information as necessary.)

- Yes
 No

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

- Yes
 No

Will the proposal increase the flood risk elsewhere?

- Yes
 No

How will surface water be disposed of?

- Sustainable drainage system
 Existing water course
 Soakaway
 Main sewer
 Pond/lake

Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

To assist in answering this question correctly, please refer to the help text which provides guidance on determining if any important biodiversity or geological conservation features may be present or nearby; and whether they are likely to be affected by the proposals.

a) Protected and priority species

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

b) Designated sites, important habitats or other biodiversity features

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

c) Features of geological conservation importance

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

Supporting information requirements

Where a development proposal is likely to affect features of biodiversity or geological conservation interest, you will need to submit, with the application, sufficient information and assessments to allow the local planning authority to determine the proposal.

Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the local planning authority has been submitted.

Your local planning authority will be able to advise on the content of any assessments that may be required.

Foul Sewage

Please state how foul sewage is to be disposed of:

- Mains sewer
- Septic tank
- Package treatment plant
- Cess pit
- Other
- Unknown

Are you proposing to connect to the existing drainage system?

- Yes
- No
- Unknown

Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

- Yes
- No

Have arrangements been made for the separate storage and collection of recyclable waste?

- Yes
- No

Trade Effluent

Does the proposal involve the need to dispose of trade effluents or trade waste?

- Yes
- No

Residential/Dwelling Units

Does your proposal include the gain, loss or change of use of residential units?

- Yes
- No

Please note: This question is based on the current housing categories and types specified by government.

If your application was started before 23 May 2020, the categories and types shown in this question will now have changed. We recommend that you review any information provided to ensure it is correct before the application is submitted.

Proposed

Please select the housing categories that are relevant to the proposed units

- Market Housing
 - Social, Affordable or Intermediate Rent
 - Affordable Home Ownership
 - Starter Homes
 - Self-build and Custom Build
-

Existing

Please select the housing categories for any existing units on the site

- Market Housing
 - Social, Affordable or Intermediate Rent
 - Affordable Home Ownership
 - Starter Homes
 - Self-build and Custom Build
-

Totals

Total proposed residential units	<input type="text" value="2"/>
Total existing residential units	<input type="text" value="0"/>
Total net gain or loss of residential units	<input type="text" value="2"/>

All Types of Development: Non-Residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

Note that 'non-residential' in this context covers all uses except Use Class C3 Dwellinghouses.

- Yes
- No

Employment

Are there any existing employees on the site or will the proposed development increase or decrease the number of employees?

- Yes
- No

Hours of Opening

Are Hours of Opening relevant to this proposal?

- Yes
- No

Industrial or Commercial Processes and Machinery

Does this proposal involve the carrying out of industrial or commercial activities and processes?

- Yes
- No

Is the proposal for a waste management development?

- Yes
- No

Hazardous Substances

Does the proposal involve the use or storage of Hazardous Substances?

- Yes
 No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
 The applicant
 Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes
 No

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
(b) an elected member
(c) related to a member of staff
(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes
 No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes
 No

Is any of the land to which the application relates part of an Agricultural Holding?

Yes

No

Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

The Applicant

The Agent

Title

Mr

First Name

simon

Surname

littlewood

Declaration Date

12/01/2022

Declaration made

Declaration

I / We hereby apply for Full planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

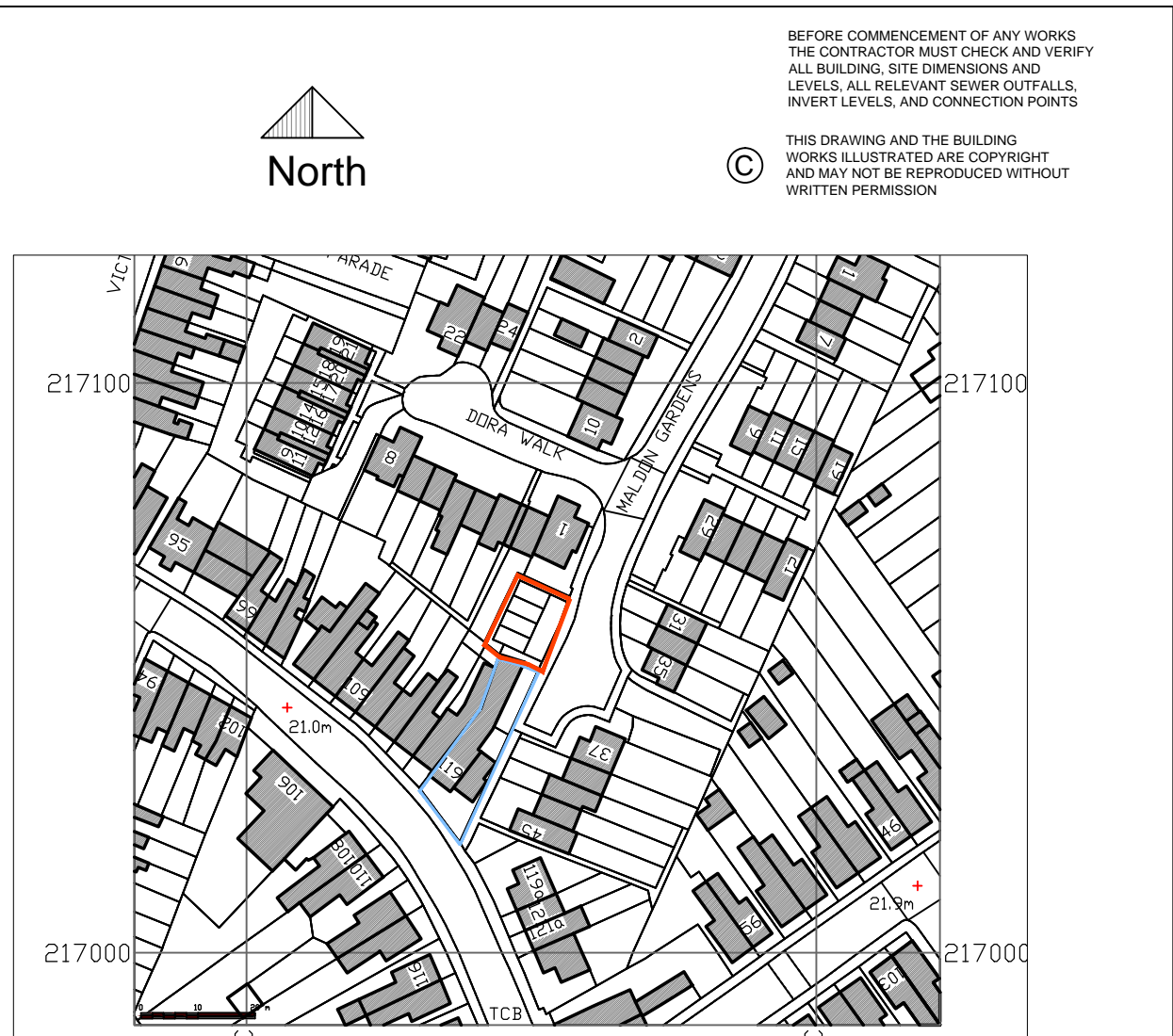
I / We agree to the outlined declaration

Signed


Simon Littlewood

Date

07/10/2022



Existing garage block to be demolished



ELEVATION ONE
BUILDING DESIGN LTD

Project:-
Proposed Development at
Land behind 119 Tredworth
Gardens, Gloucester
Drawing Title:-
Site Plan
Scale:-
1:500, 1250 @ A3
Client:-
Dave Martin

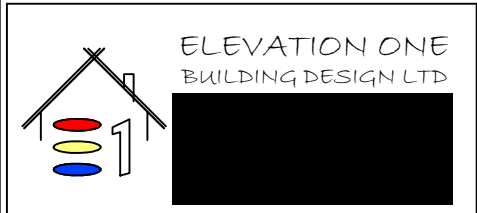
Project No:- DM-010	Drawing No: - 01
Date:- Sept 21	Revision:-

Existing Block Plan Sc 1:500



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Project:-
Proposed Development at
Land behind 119 Tredworth
Gardens, Gloucester
Drawing Title:-
Block Plan
Scale:-
1:200 @ A3
Client:-
Dave Martin

Project No:- DM-010	Drawing No:- 02
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Date:- Oct 21	Revision:- -
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Block Plan Sc 1:200

Planning Application

Proposed Apartments to replace Garage Block

At Land behind 119
Tredworth Road,
Gloucester

Design and Access Statement

By

Elevation One
Building Design Ltd
25 Uley Road
Dursley
Glos
GL11 4NJ
[REDACTED]



*Elevation One
Building Design Ltd*

for

Mr Martin

January 22

Introduction

This statement has been prepared by **Elevation One Building Design Ltd** on behalf of Mr Martin to support proposals for a 2 x apartment dwellings at the above address. This statement demonstrates that the proposal is compliant with the Development Plan and Government Guidance and explains the key design and access principles that will be used to develop future details of the scheme.

This report should be read in conjunction with the drawings submitted as part of this planning application.



1.0 Reserved matters

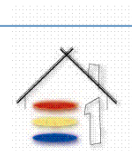
The application seeks approval for full planning permission.

Planning Policy

It is contended that the Gloucester City Local Plan is out-of-date. Paragraph 215 of the NPPF clearly states:

'..due weight should be given to relevant policies in existing plans to their degree of consistency with this framework (the closer the policy in the plan to the policies in the Framework, the greater the weight that may be given,'

Paragraph 47 of the NPPF encourages Council's to significantly boost the supply of housing. Local Authorities should use their evidence base to ensure that their Local Plan meets the 'fully objectively assessed need' for housing.
Local Planning Policy



Gloucester City Council is in the process of preparing a Joint Local Development Plan with Cheltenham and Tewkesbury Council's. In the interim period, the Council are reliant upon their Saved Local Plan. The Saved Local Plan is considered to be out of date; however Gloucester can demonstrate a 5 year supply of housing with a 20% buffer and have an excellent historic completion rate. The relevant design policies within the Local Plan are considered to be compliant with the principles of the NPPF

Planning policy BE.21 of the Local Plan states:

'Planning permission will not be granted for any new building, extension or change of use that would unreasonably affect the amenity of existing residents or adjoining occupiers.'

Policy H13 is concerned with the subdivision of plots for infill development, the applicant would state that the scheme does not have an unacceptable effect on the character of the area and actually positively contributes to the street scene. Adequate off street parking has been provided and also retained for the existing dwelling.

Policy H7 is concerned with housing density and layout. We consider three plots to be acceptable on the site and the orientation of the site is thought to be the most appropriate allowing access from Maldon Road. Smaller dwellings are popular within the immediate area and there is an identified need for smaller more affordable family dwellings with private amenity space.

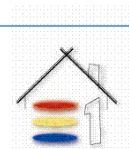
The National Planning Policy Framework

The National Planning Policy Framework is at the forefront of driving sustainable development in the country, and states that there should be an automatic **presumption in favour of sustainable development**. Paragraph 14 (Copy below) of the Framework sets out the context within which this presumption should be applied.

(14) At the heart of the National Planning Policy Framework is a **presumption in favour of sustainable development**, which should be seen as a golden thread running through both plan-making and decision-taking.

For **plan-making** this means that:

- local planning authorities should positively seek opportunities to meet the development needs of their area;
- Local Plans should meet objectively assessed needs, with sufficient flexibility to adapt to rapid change, unless:
 - any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this as a whole; or
 - specific policies in this Framework indicate development should be restricted.



For **decision-taking** this means:

- approving development proposals that accord with the development plan without delay; and

- where the development plan is absent, silent or relevant policies are out-of-date, granting permission unless:

- any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole; or

- specific policies in this Framework indicate development should be restricted

The NPPF puts great weight on considering local needs, and approving sustainable proposals without delay.

There are three dimensions to sustainable development: economic, social and environmental. These dimensions give rise to the need for the planning system to perform a number of roles,

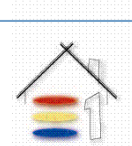
an economic role – contributing to building a strong, responsive and competitive economy, by ensuring that sufficient land of the right type is available in the right places and at the right time to support growth and innovation; and by identifying and coordinating development requirements, including the provision of infrastructure;

a social role – supporting strong, vibrant and healthy communities, by providing the supply of housing required to meet the needs of present and future generations; and by creating a high quality built environment, with accessible local services that reflect the community's needs and support its health, social and cultural well-being; and

an environmental role – contributing to protecting and enhancing our natural, built and historic environment; and, as part of this, helping to improve biodiversity, use natural resources prudently, minimise waste and pollution, and mitigate and adapt to climate change including moving to a low carbon economy.

These roles should not be undertaken in isolation, because they are mutually dependent. Economic growth can secure higher social and environmental standards, and well-designed buildings and places can improve the lives of people and communities. Therefore, to achieve sustainable development, economic, social and environmental gains should be sought jointly and simultaneously through the planning system. The planning system should play an active role in guiding development to sustainable solutions.

Plans and decisions need to take local circumstances into account, so that they respond to the different opportunities for achieving sustainable development in different areas.



Policies in Local Plans should follow the approach of the presumption in favour of sustainable development so that it is clear that development which is sustainable can be approved without delay. All plans should be based upon and reflect the presumption in favour of sustainable development, with clear policies that will guide how the presumption should be applied locally.

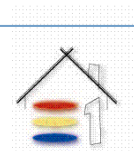
The application of the presumption will have implications for how communities engage in neighbourhood planning. Critically, it will mean that neighbourhoods should develop plans that support the strategic development needs set out in Local Plans, including policies for housing and economic development.

Local planning authorities should seek opportunities to achieve each of the economic, social and environmental dimensions of sustainable development, and net gains across all three. Significant adverse impacts on any of these dimensions should be avoided and, wherever possible, alternative options which reduce or eliminate such impacts should be pursued. Where adverse impacts are unavoidable, measures to mitigate the impact should be considered. Where adequate mitigation measures are not possible, compensatory measures may be appropriate.

To boost significantly the supply of housing, local planning authorities should use their evidence base to ensure that their Local Plan meets the full, objectively assessed needs for market and affordable housing in the housing market area.

2.0 Description of site

The application site is located in a residential part of Maldon Gardens. The area is wholly residential in character, with dwellings of various sizes, ages and styles occupying Maldon Gardens. The existing garage block has seen better days and is in need of refurbishment or demolition.



3.0 Design and access

- **Amount of development**

The proposed development will make good and efficient use of the space where the garage block is currently situated. It is a dense scheme but it will allow for much needed smaller dwellings in an urban area.

The new buildings are situated with a new pedestrian access from the highway so that emergency vehicles can gain access to the property without any difficulty. Internally, appropriate means of escape routes will be incorporated into the scheme as necessary.

- **Layout**

The proposed layout will give generous living accommodation and space for the resident and has been worked out in detail to allow for free movement around each floor.

- **Scale**

The apartments will be set over two storeys high but the overall height kept as low as possible with step backs and the second floor being smaller and further away from the boundary than the ground floor. This will not affect neighbouring views or light. The height, width and proportions of the proposal have been directed by the need for the development to safeguard the amenity of the neighbouring property. The dwelling is designed to reflect the most attractive built forms in the locality,

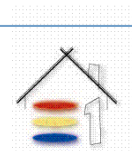
The window facing the new apartment block will be moved to the front of the property and be bricked up. So for over looking it will improve the current situation.

- **Appearance**

The appearance will be a reflection of the existing houses in the area, but will have its own identity. It will try to match the existing colours, brick details and roof colour. It will have details to create interest and would not dominate the site. The design and arrangement of the openings are appropriate to the building itself and its context.

- **Access**

The application site benefits from close proximity to local services and with regular bus services into and out of Gloucester Centre from this part of the City. The apartments are small and so the residence will rely on sustainable transport rather than the car usage in this area. The existing dwelling and apartments in No. 119



There will be no adverse impact on highway safety as result of this development such that the application is also in accordance with Policy TR31.

Summary

The site is within a defined and approved settlement boundary. It is at a highly sustainable location forming part of the urban area of central Gloucester.

The development meets the main aims of PPS1 and PPS3 and Local Plan Policy H7 (with the majority of Policy H7 being primarily relevant to larger residential schemes).

The design respects the character of the locality and the amenity of surrounding residents thereby also complying with Policies H4, H7, H13, BE1, BE 21 and TR31 of the City of Gloucester Second Deposit Local Plan 2002.

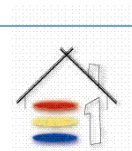
It is felt that the proposal gives enough information to allow for new dwellings here to be looked upon favourably.

The proposed dwellings will be built to a high standard with all materials being matched to the existing properties in the area.. It will allow for a high standard of living accommodation for the new resident

The proposal would be confined to the existing residential curtilage, therefore the ecological impact of the development would be minimal.

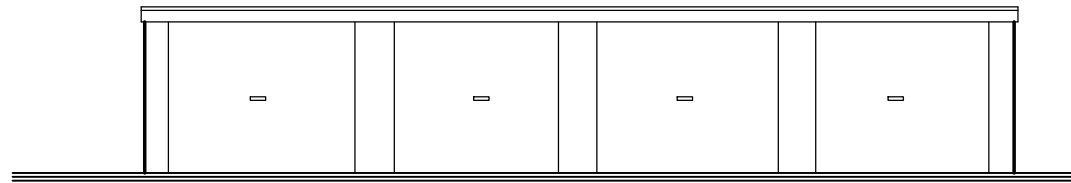
We consider that the resulting building will be proportionate to the other properties in the area, and will not be detrimental to the rights of light or privacy of the adjacent properties.

For the reasons given in this statement, we consider that the proposal conforms fully to Local Plan Policies, Submission Draft Delivery Policies outlined, Structure Plan Policy and Government Guidance set out in the NPPF. Together with other material considerations, we consider that this application should be positively received.

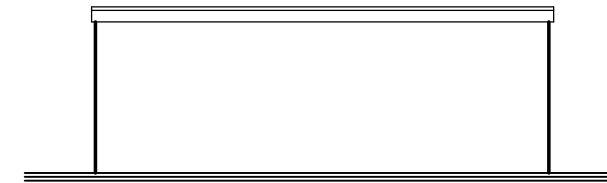


BEFORE COMMENCEMENT OF ANY WORKS
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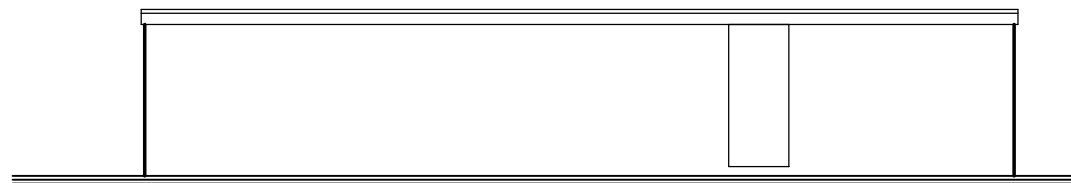
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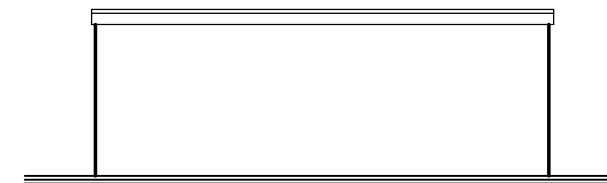
FRONT ELEVATIONS



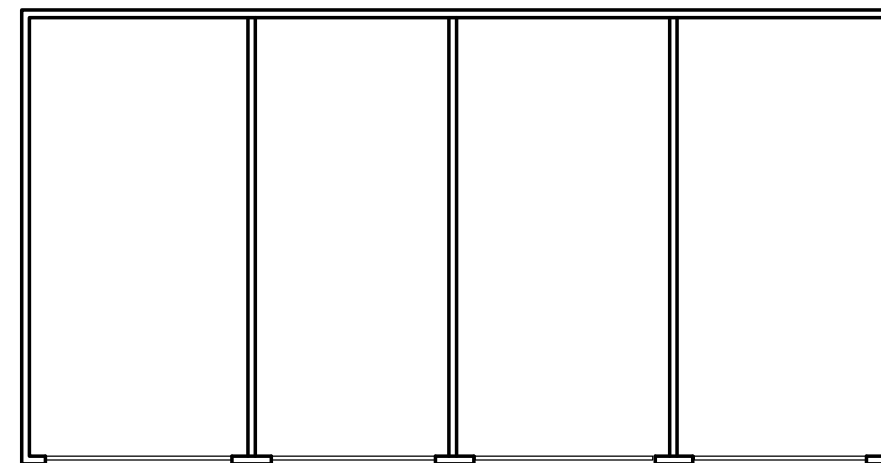
SIDE ELEVATIONS



REAR ELEVATIONS



SIDE ELEVATIONS



EXISTING
FLOOR PLAN

Existing Garage

Project:-
Proposed Development at
Land behind 119 Tredworth
Gardens, Gloucester
Drawing Title:-
Existing Garage
Scale:-
1:100 @ A3
Client:-
Dave Martin



Project No:-
DM-010

Drawing No: -
03

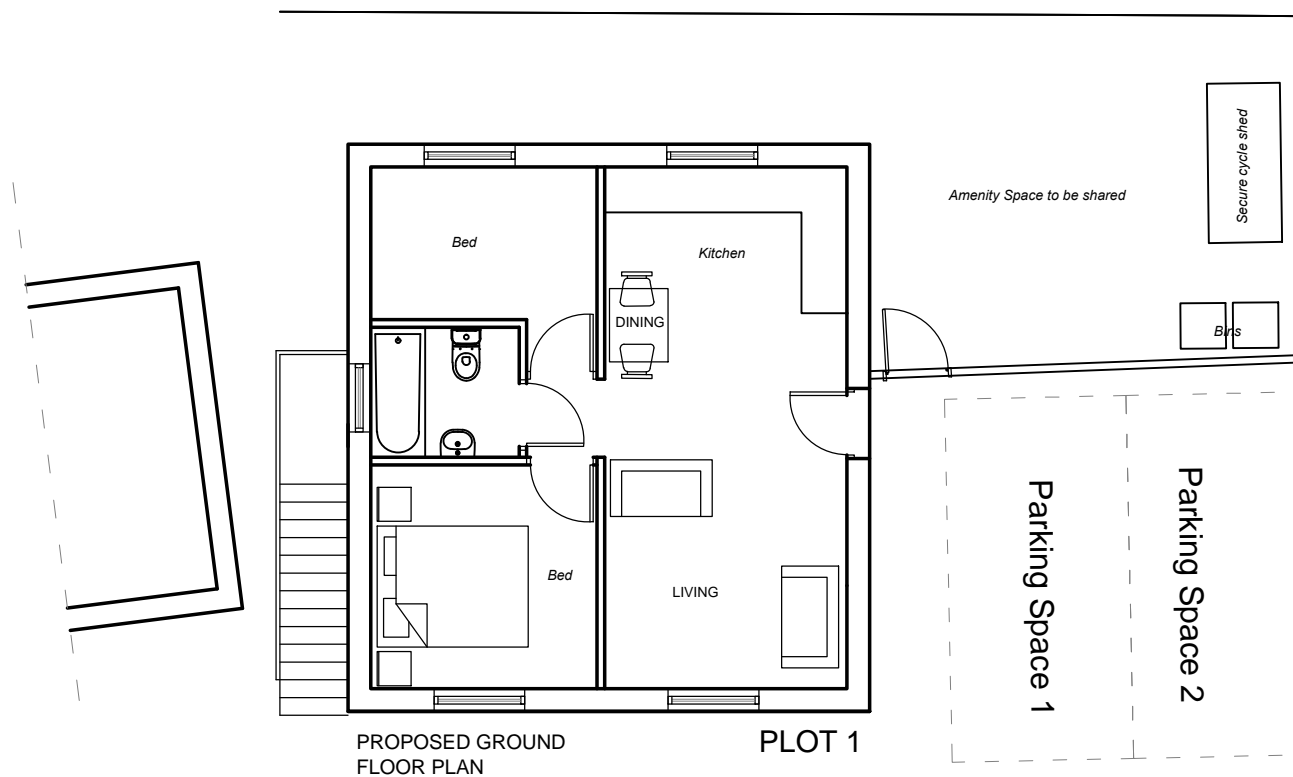
Date:-
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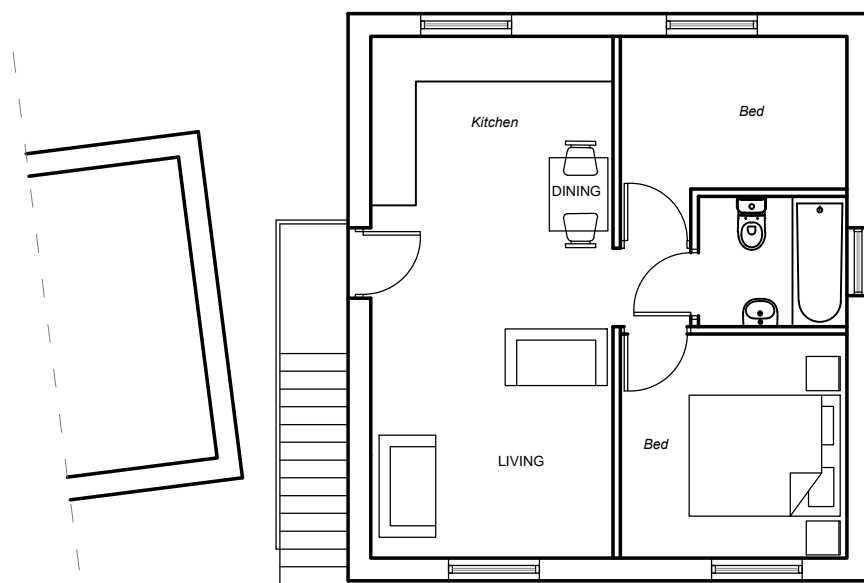
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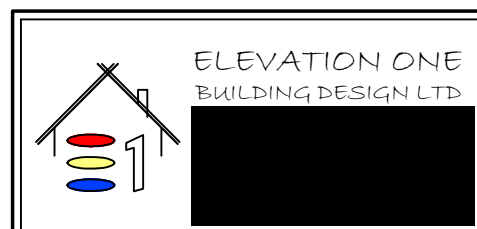
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PROPOSED GROUND FLOOR PLAN PLOT 1



PROPOSED FIRST FLOOR PLAN PLOT 2



Project:-
Proposed Development at
Land behind 119 Tredworth
Gardens, Gloucester
Drawing Title:-
Proposed Floors Plans
Scale:-
1:100 @ A3
Client:-
Dave Martin

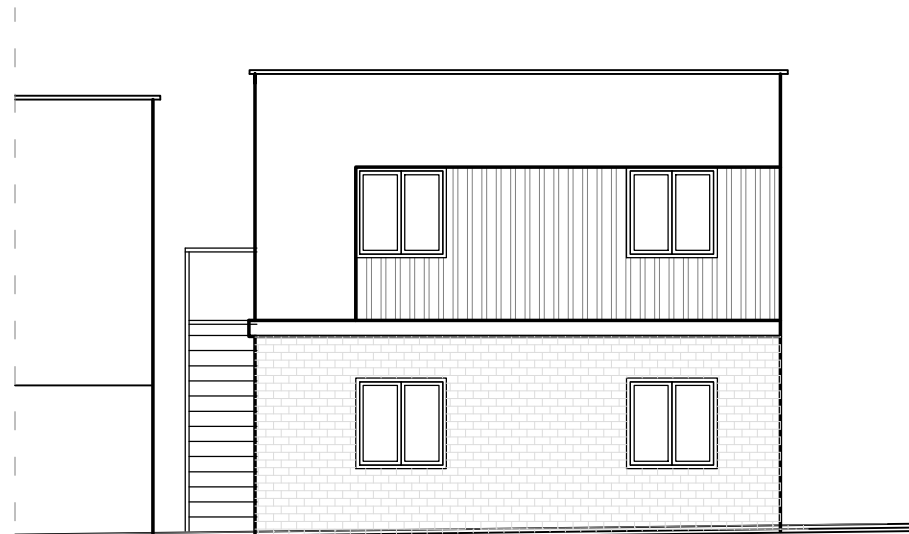
Project No:- DM-010	Drawing No: - 05
Date:- Sept 21	Revision:-

Proposed Plans

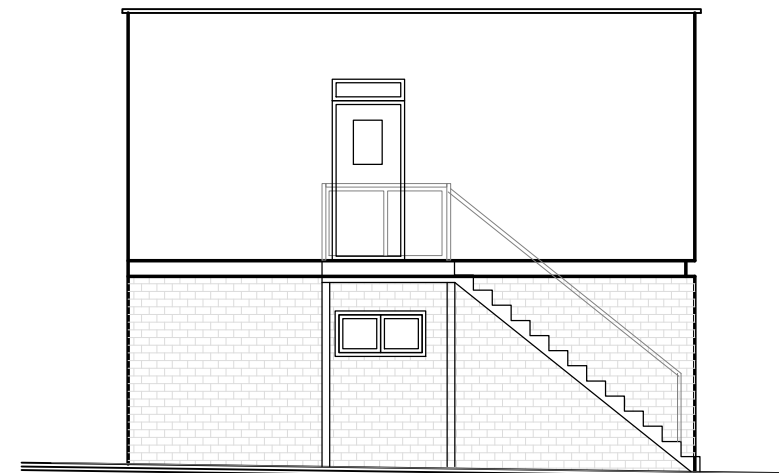
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FRONT ELEVATIONS



SIDE ELEVATIONS

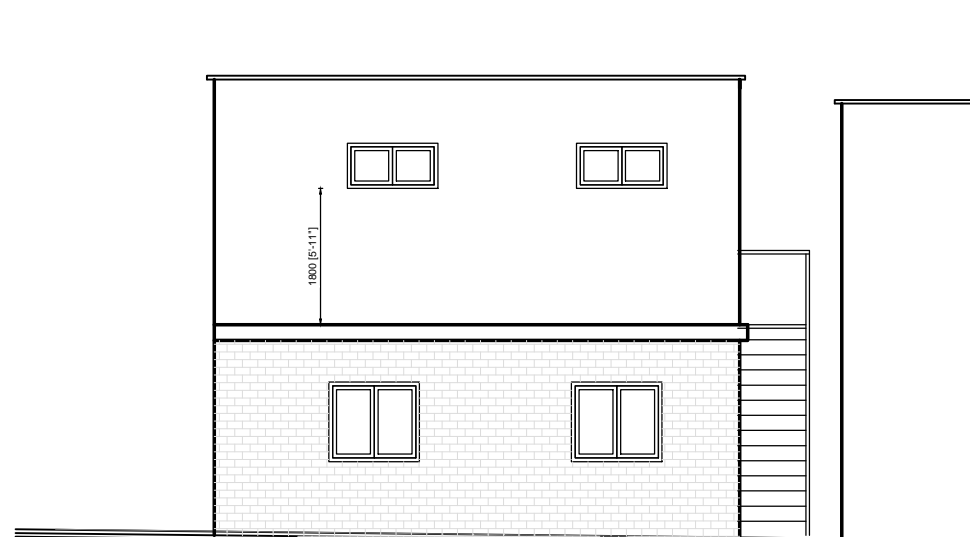
Materials-

Walls to be brick, render and timber
cladding to match existing properties
each side

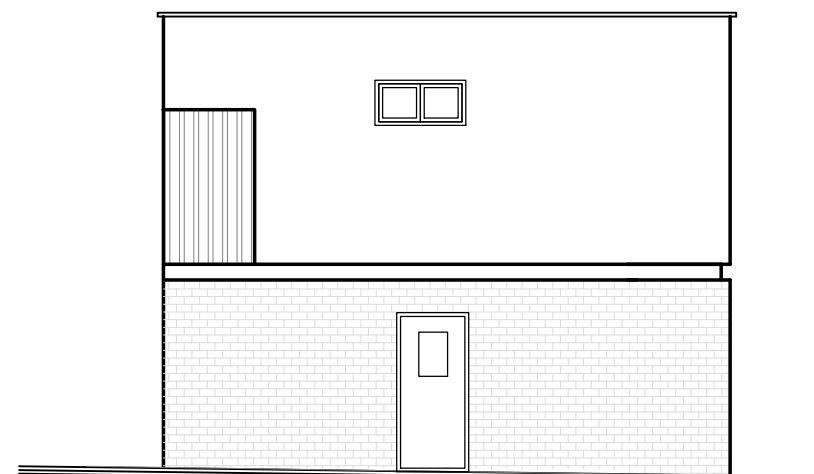
Roof to be flat metal or membrane

Guttering to be upvc

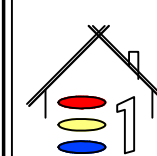
Windows to be grey upvc with
matching cover panels



REAR ELEVATIONS



SIDE ELEVATIONS



ELEVATION ONE
BUILDING DESIGN LTD

Project:-
Proposed Development at
Land behind 119 Tredworth
Gardens, Gloucester
Drawing Title:-
Proposed Elevations
Scale:-
1:100 @ A3
Client:-
Dave Martin

Project No:-
DM-010

Drawing No: -
06

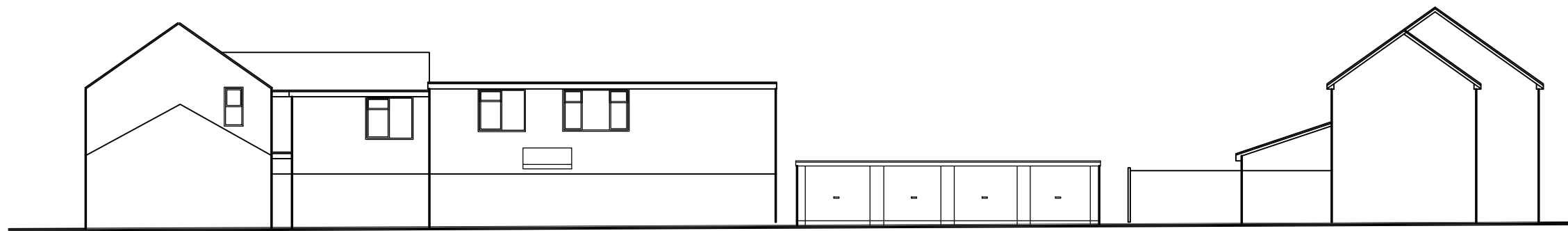
Date:-
Sept 21

Revision:-

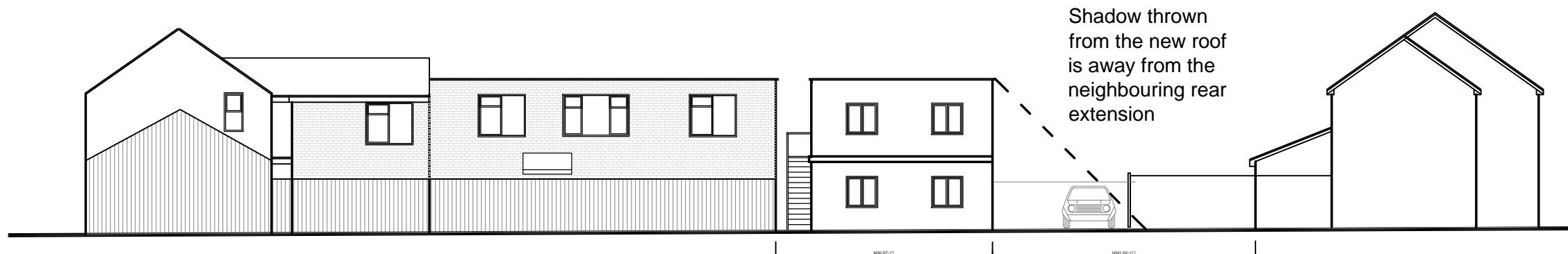
Proposed Elevations

BEFORE COMMENCEMENT OF ANY WORKS THE CONTRACTOR MUST CHECK AND VERIFY ALL BUILDING, SITE DIMENSIONS AND LEVELS, ALL RELEVANT SEWER OUTFALLS, INVERT LEVELS, AND CONNECTION POINTS

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EXISTING STREET SCENE



PROPOSED STREET SCENE



Garage to be demolished and new block to be erected as shown in hatched grey set back from the neighbors

Project:-
Proposed Development at
Land behind 119 Tredworth
Gardens, Gloucester
Drawing Title:-
Street Scenes
Scale:-
1: 200 @ A3
Client:-
Dave Martin

ELEVATION ONE
BUILDING DESIGN LTD

Project No:- DM-010	Drawing No: - 05
Date:- Sept 21	Revision:- -