

Householder Application for Planning Permission for works or extension to a dwelling.
Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Site Address

Number	<input type="text" value="2"/>
Suffix	<input type="text"/>
Property name	<input type="text"/>
Address line 1	<input type="text" value="Dainty Street"/>
Address line 2	<input type="text"/>
Address line 3	<input type="text"/>
Town/city	<input type="text" value="Gloucester"/>
Postcode	<input type="text" value="GL1 4UY"/>

Description of site location must be completed if postcode is not known:

Easting (x)	<input type="text" value="383697"/>
Northing (y)	<input type="text" value="217492"/>

Description

2. Applicant Details

Title	<input type="text" value="MR"/>
First name	<input type="text" value="David"/>
Surname	<input type="text" value="Rider"/>
Company name	<input type="text"/>
Address line 1	<input type="text" value="2, Dainty Street,"/>
Address line 2	<input type="text" value="Tredworth"/>
Address line 3	<input type="text"/>
Town/city	<input type="text" value="Gloucester"/>
Country	<input type="text" value="United Kingdom"/>

2. Applicant Details

Postcode

Are you an agent acting on behalf of the applicant? Yes No

Primary number

Secondary number

Fax number

Email address

3. Agent Details

No Agent details were submitted for this application

4. Description of Proposed Works

Please describe the proposed works:

A proposed double storey extension to 2,Dainty Street for domestic use only incorporating an existing single storey extension added in 1984. I would like to extend the existing single storey extension by adding a 1st floor and pitched roof to form a double storey extension to the side/rear of the stated property as laid out in the attached plans. The proposed extension will match the appearance (red brick) of the main property. The ground floor will be a kitchen / dining room with rear access via a bifold door. The upper floor will be a bedroom with a single window facing the rear of the property. The bathroom will be moved from its current position in the existing extension to the 1st floor room at the rear of the main property which is currently used as a bedroom. An inspection of the exiting extensions foundations will be carried out prior to any new building work commencing. Should they be found to be inadequate, the existing extension will be demolished and proper foundations laid to current regulations in order to support the proposed double storey extension.

Has the work already been started without consent? Yes No

5. Materials

Does the proposed development require any materials to be used externally? Yes No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material):

Walls	
Description of existing materials and finishes (optional):	Red brick.
Description of proposed materials and finishes:	Red brick to match existing.

Roof	
Description of existing materials and finishes (optional):	Fibre cement tiles.
Description of proposed materials and finishes:	Fibre cement tiles to match existing.

Windows	
Description of existing materials and finishes (optional):	White UPVC double glazed.
Description of proposed materials and finishes:	White UPVC double glazed to match existing.

Doors	
Description of existing materials and finishes (optional):	Rear of property only - White UPVC double glazed external door.
Description of proposed materials and finishes:	UPVC double glazed bifold external door.

5. Materials

Boundary treatments (e.g. fences, walls)	
Description of existing materials and finishes (optional):	Original Victorian red brick boundary wall with Staffordshire blue coping stones.
Description of proposed materials and finishes:	To match existing with red brick and coping reclaimed, where possible, from existing wall.

Vehicle access and hard standing	
Description of existing materials and finishes (optional):	Not applicable.
Description of proposed materials and finishes:	Not applicable.

Lighting	
Description of existing materials and finishes (optional):	Not applicable.
Description of proposed materials and finishes:	Not applicable.

Other Not applicable.	
Description of existing materials and finishes (optional):	Not applicable.
Description of proposed materials and finishes:	Not applicable.

Are you supplying additional information on submitted plans, drawings or a design and access statement? Yes No

6. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your proposed development? Yes No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal? Yes No

7. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? Yes No

Is a new or altered pedestrian access proposed to or from the public highway? Yes No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way? Yes No

8. Parking

Will the proposed works affect existing car parking arrangements? Yes No

9. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

9. Site Visit

- The agent
 The applicant
 Other person

10. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes No

11. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
(b) an elected member
(c) related to a member of staff
(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

Yes No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

12. Ownership Certificates and Agricultural Land Declaration

CERTIFICATE OF OWNERSHIP - CERTIFICATE A - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run. ** 'agricultural holding' has the meaning given by reference to the definition of 'agricultural tenant' in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person role

- The applicant
 The agent

Title

First name

Surname

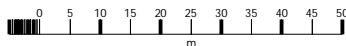
Declaration date (DD/MM/YYYY)

Declaration made

13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

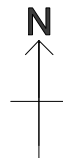
Date (cannot be pre-application)

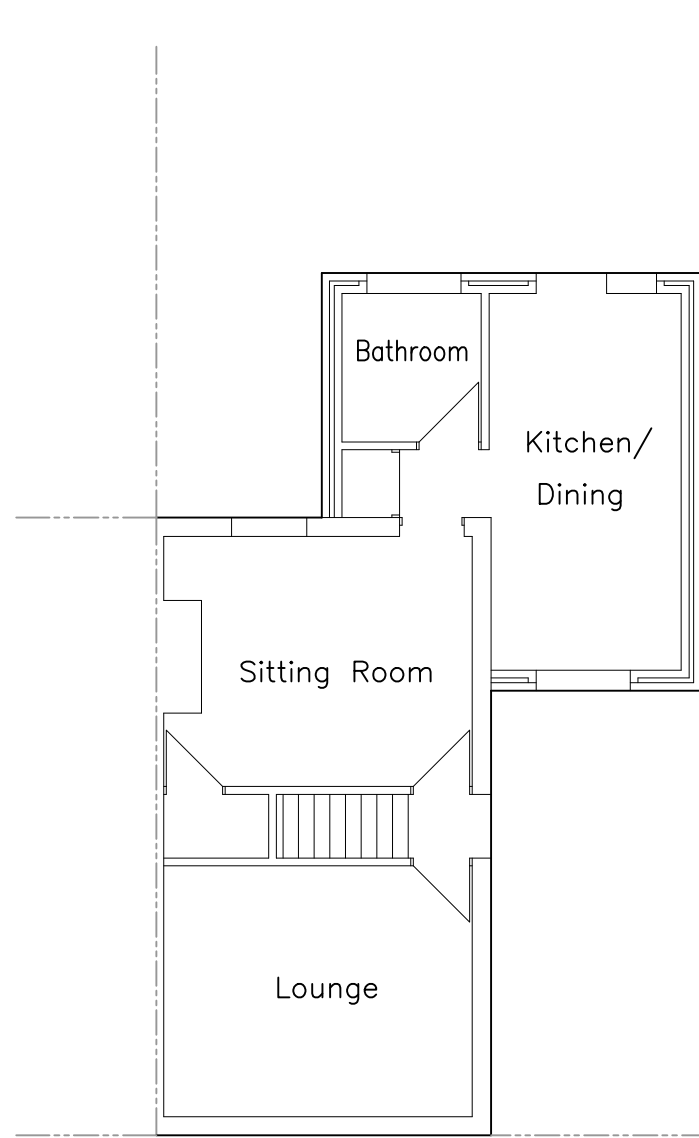


OS MasterMap 1250/2500/10000 scale
 Thursday, September 9, 2021, ID: HMC-00989322
 www.themapcentre.com

1:1250 scale print at A4, Centre: 383697 E, 217492 N

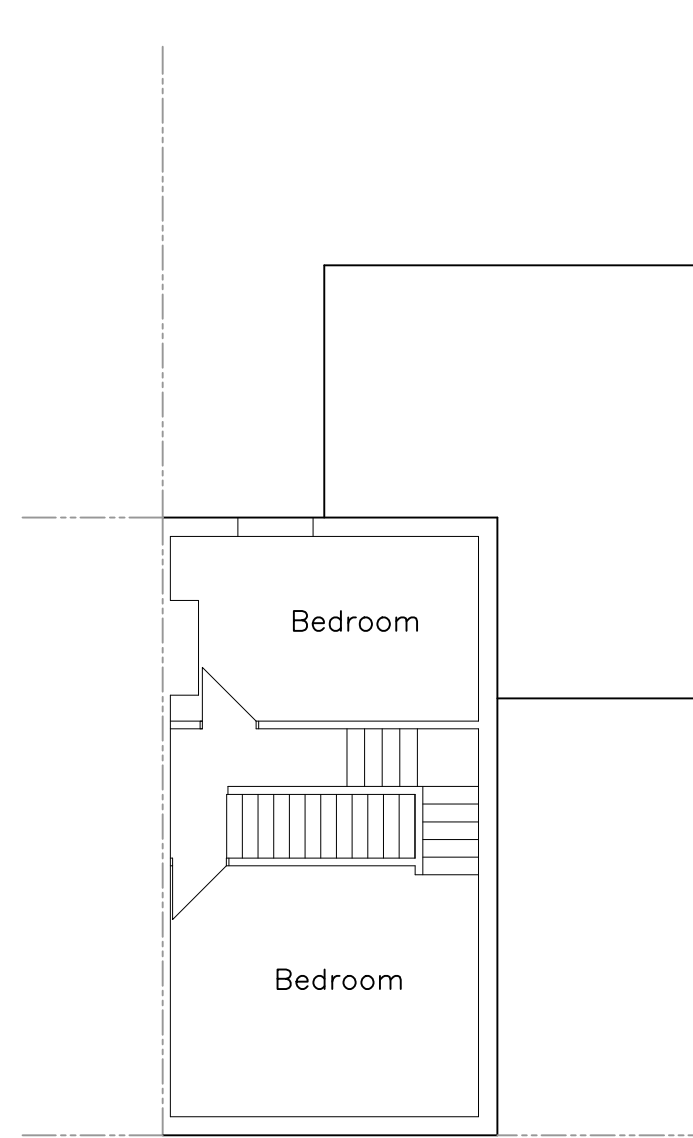
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FRONT

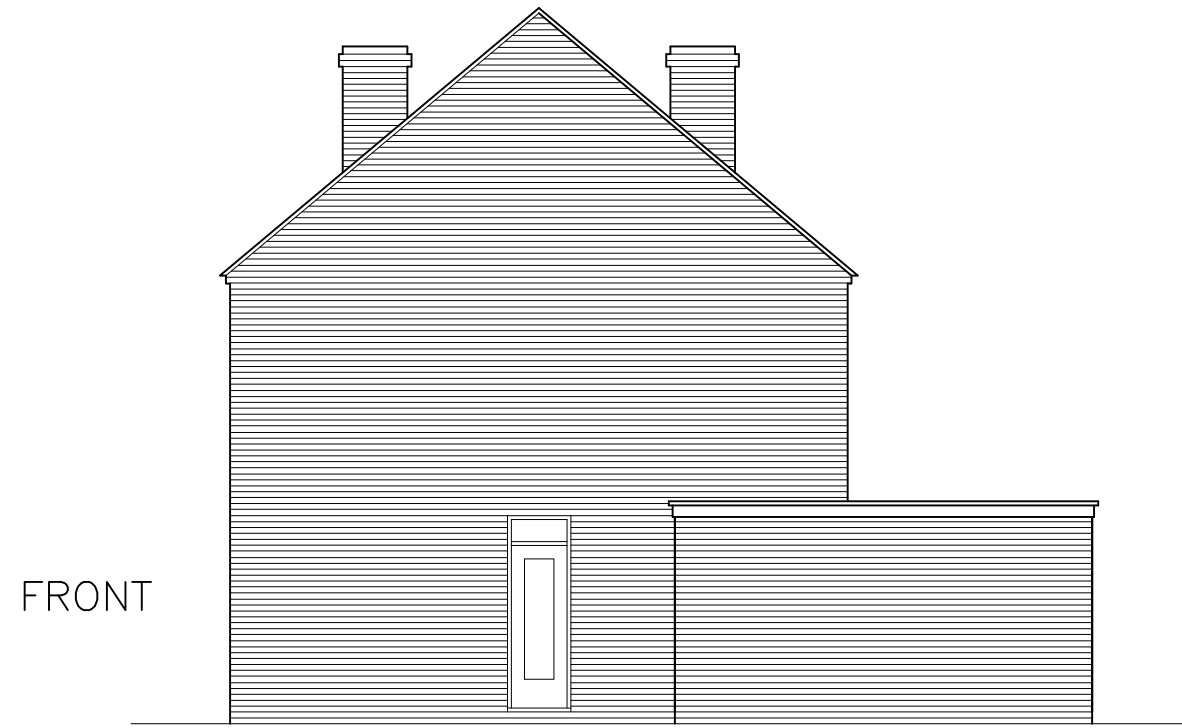
GROUND FLOOR PLAN



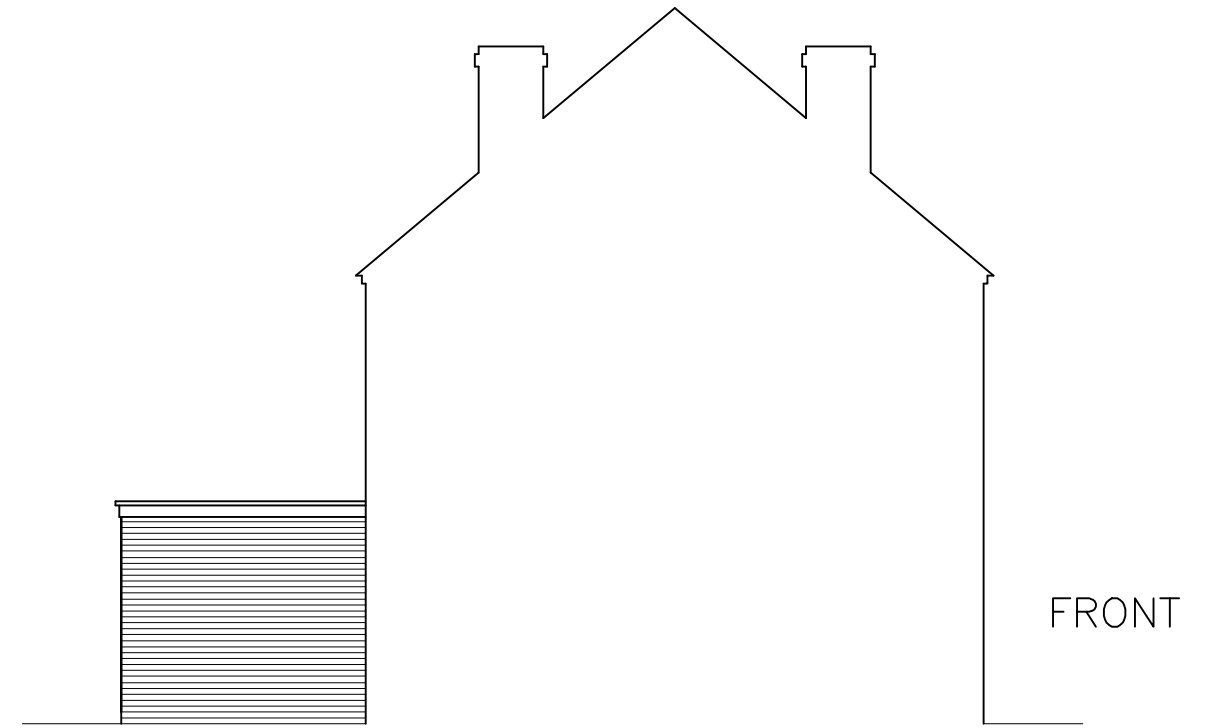
FIRST FLOOR PLAN

EXISTING FLOOR PLANS

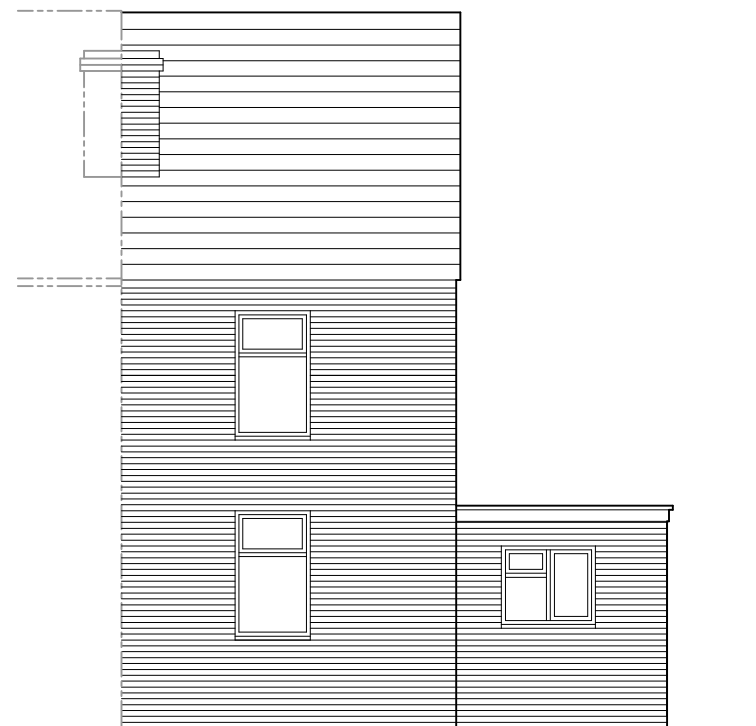
Client:-		Dave Rider 2 Dainty Street, Tredworth Gloucester GL1 4UY
Site address:-		As Above
Description:-		DOUBLE STOREY KITCHEN/BEDROOM EXTENSION.
Scale:- 1cm.= 1 Metre	Date:- 20/07/21	A3
David Taylor Architectural Design		



SIDE ELEVATION



SIDE ELEVATION



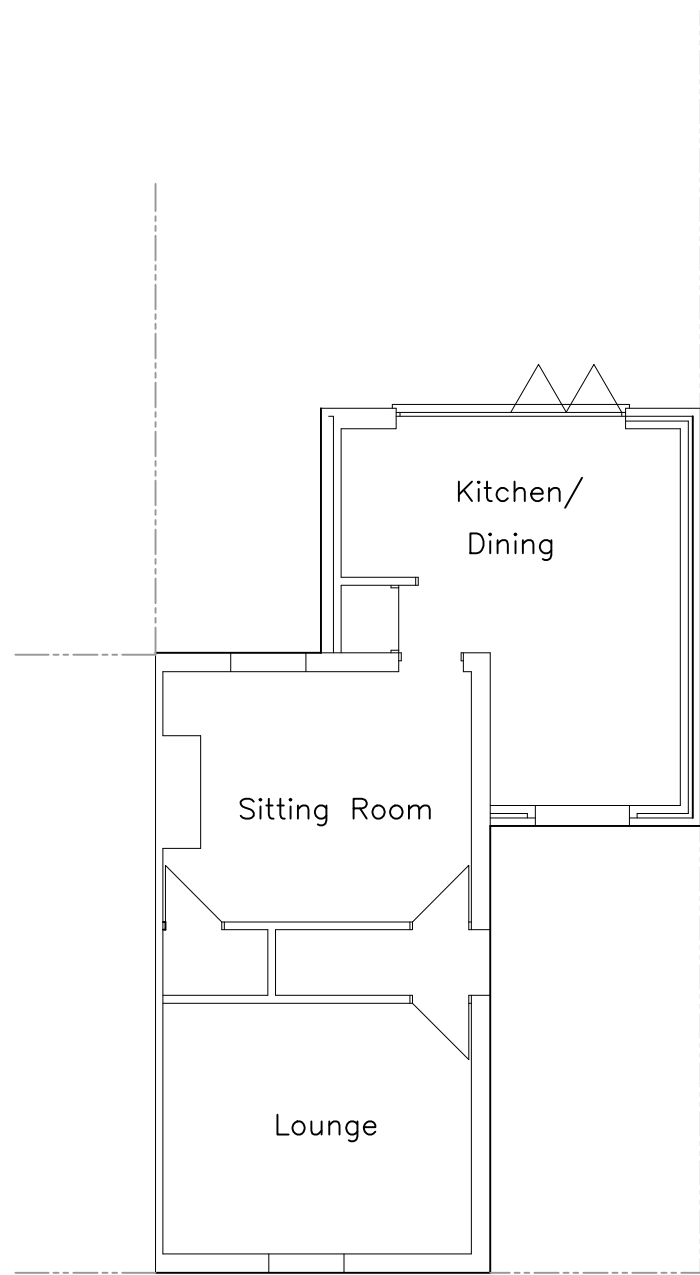
FRONT ELEVATION



REAR ELEVATION

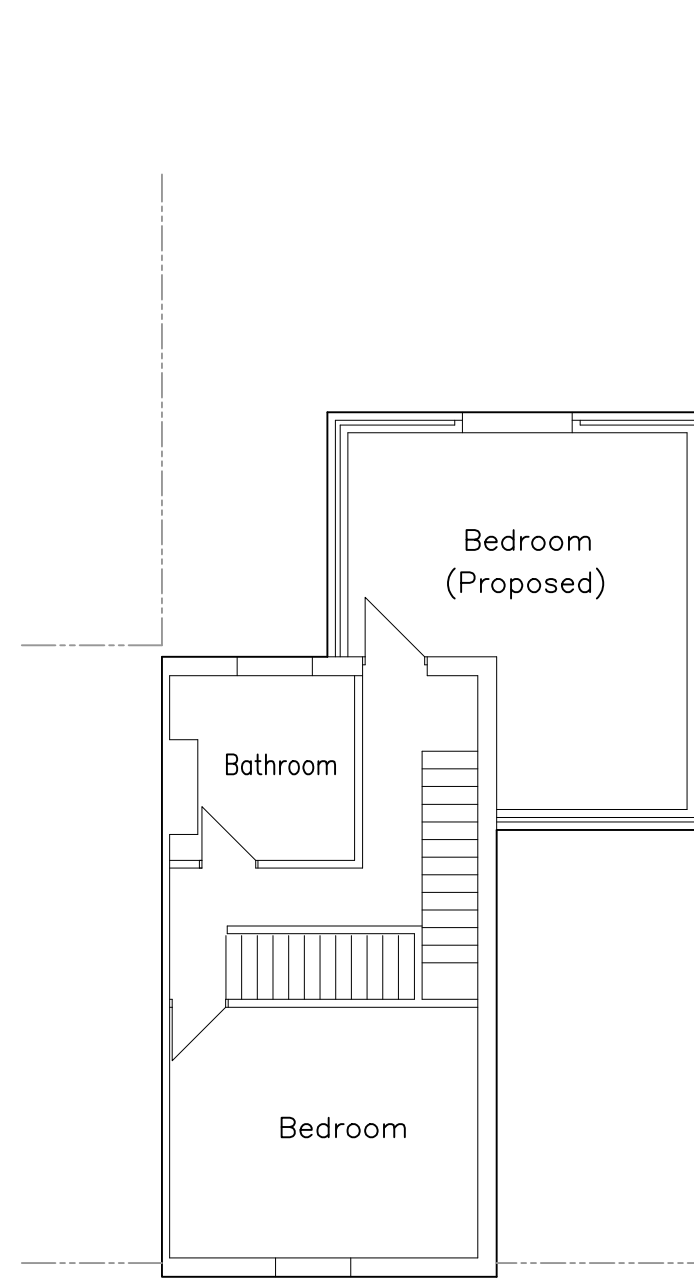
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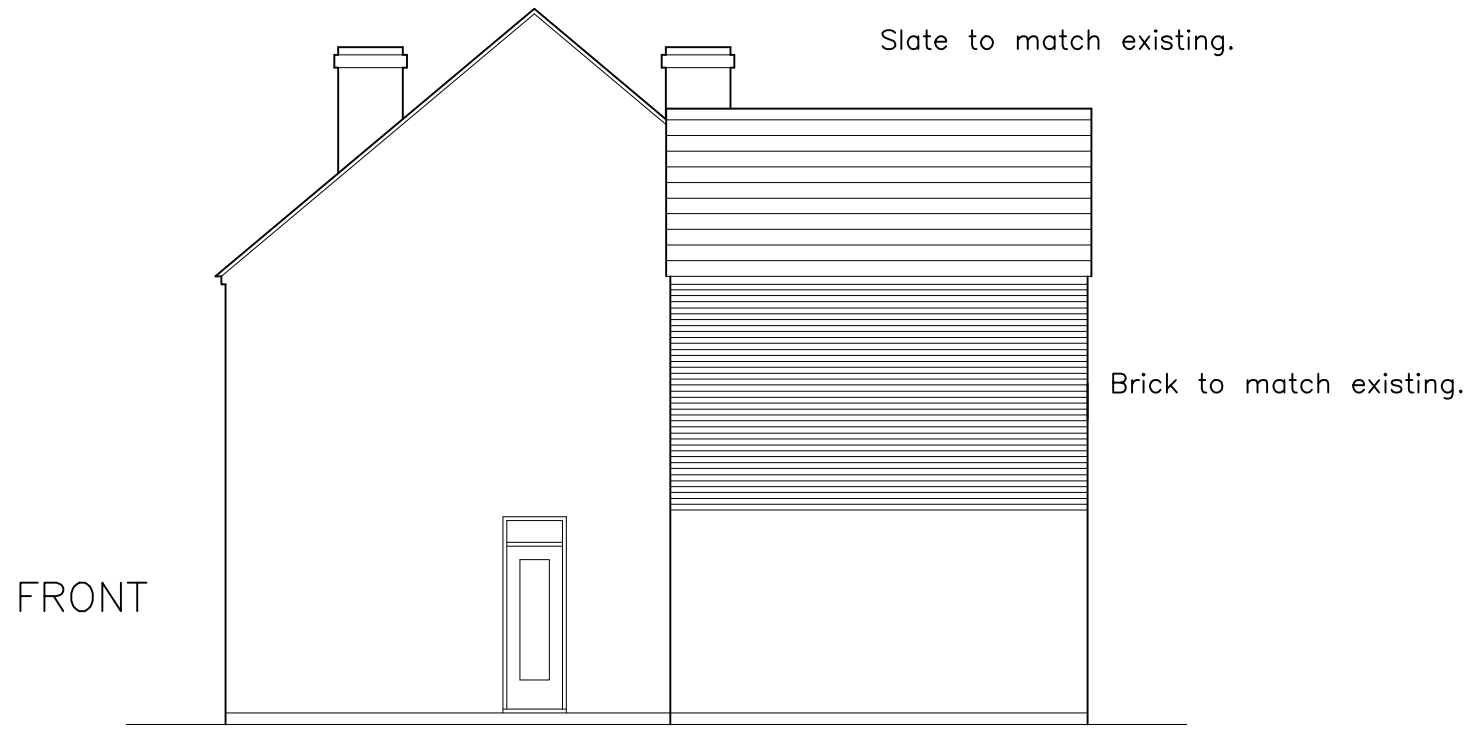
GROUND FLOOR PLAN



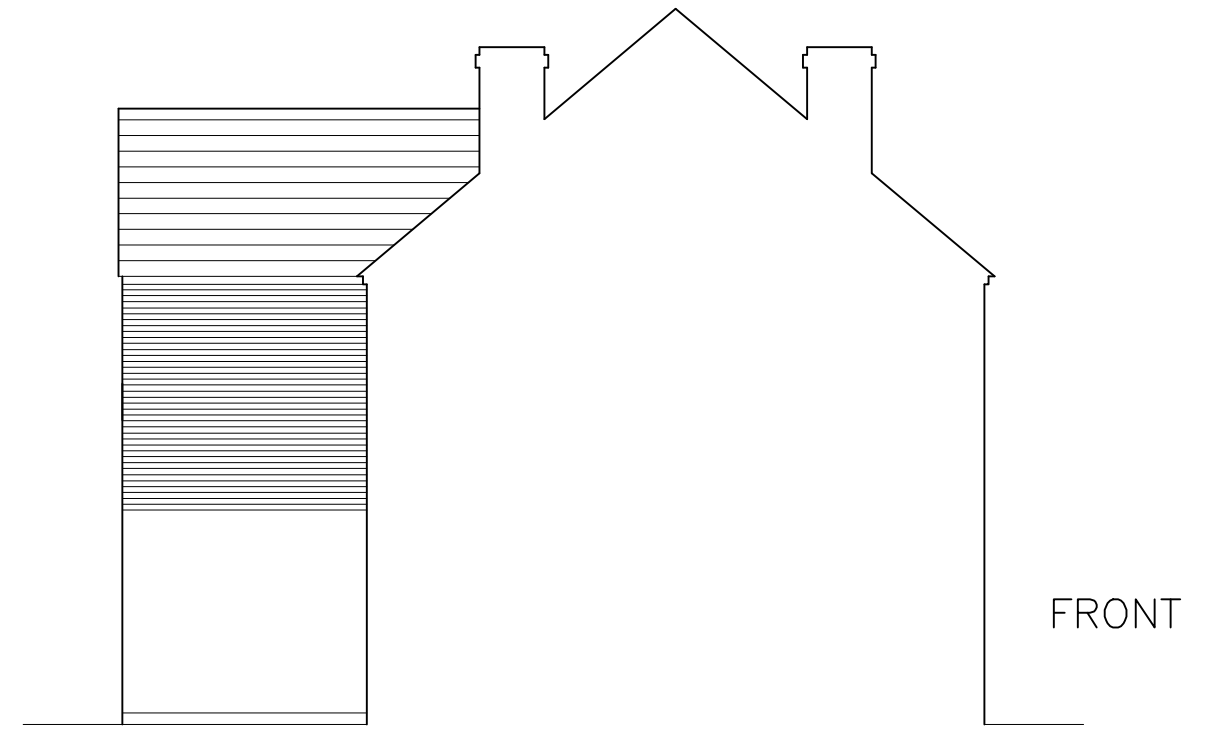
FIRST FLOOR PLAN

PROPOSED FLOOR PLANS

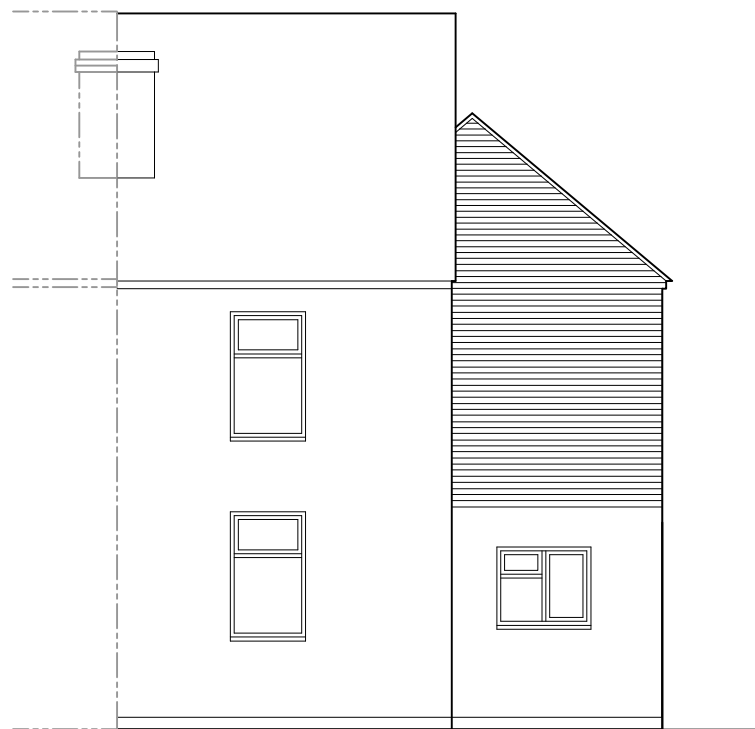
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SIDE ELEVATION



SIDE ELEVATION

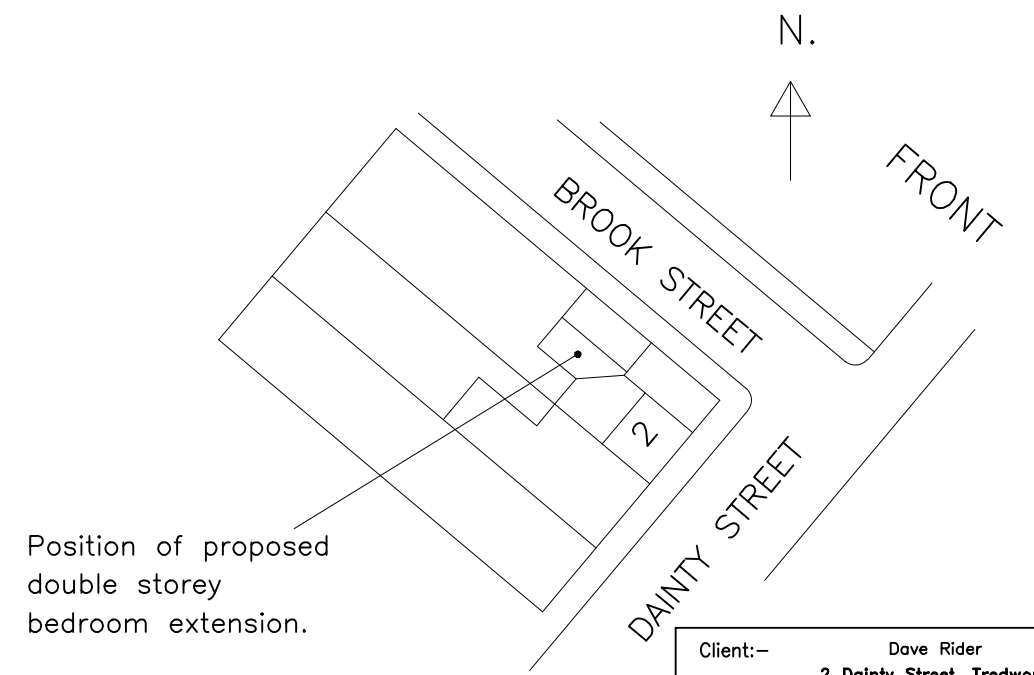


FRONT ELEVATION



REAR ELEVATION

PROPOSED



Position of proposed double storey bedroom extension.

SITE BLOCK PLAN
SCALE 1 : 500

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ROOF(Double storey)

Trussed roof to BS 5268, supplier to provide calculations. Design to include area with valley over existing roof.
100x50mm plates on inner leaf to rear wall. Plate restraint straps at 1200mm centers. Lateral restraint straps at 1200mm centers to side walls.
Line valley with fibreglass valley tray.
Cover with breathable felt, fix 50x25mm tanalised battens. Fix slates to match existing.
Insulate with 300mm blown fibreglass in 2 layers at 90° to each other. Maintain 50mm air flow over insulation.
25mm over fascia vents at eaves.
Flashings in code 4 lead.

WALLS (ABOVE DPC.)

Outer leaf 100mm thick in brick, inner leaf 100mm Thermalite block.
Wall ties at 6 per Metre, 225mm spacing at openings. Cavity 100mm, cavity insulation 100mm Drytherm.
Install Catnic lintels to all openings, type and installation of lintel to manufacturers specification.
Close cavity at eaves with brick.
Studwork in 100x50mm timber faced with 12.5mm plasterboard.
Insulate with high density Rockwool Flexi mineral wool.

WALLS (BELOW DPC.)

Construct from 100mm thick concrete block or brick. Cavity 100mm wide.
Fill to within 200mm of DPC.with lean mix concrete.
Any services passing through masonry to have steel reinforced concrete lintels over.

FOUNDATIONS (heavy clay, not affected by trees.)

Excavate 1 Metre deep, 600mm wide. Trench to be inspected by Building Inspector prior to pouring concrete.
Mass fill with foundation concrete to within 300mm of ground level.
Any services, pipes etc. to be sleeved or wrapped in expanded polystyrene prior to concreting.

FIRST FLOOR

Fix 50x225mm plates to walls, fix to walls at 1200mm centres using M12 bolts.
50x225mm joists at 400mm centres. Fix to plate using joist hangers.
Cover with 22mm water resistant t&g. chipboard. Screw and glue to manufacturers specification.

GROUND FLOOR

Excavate 400mm below finish floor level.
150mm compacted stone all over, cover with 100mm Celotex floor insulation slabs.
25mm Jablite upstands at junction to exterior walls.
1200g Visqueen polythene damp proof membrane lapped into internal wall DPC.
Lay 100mm concrete oversite, finish with 50mm screed.

WINDOWS AND DOORS

Constructed from PVCu, with double glazed units.
Glazing to conform to AD. Part L, with units in Pilkington K glass, argon filled.
Windows to habitable rooms to be fitted with fire escape opening lights and trickle ventilation of 4000 sq.mm.
Glazing below 800mm to be toughened.

PLASTERWORK

Tack ceilings with 12.5mm plasterboard and skim.
Render walls with Thistle Hardwall and skim using Thistle Multi-finish.
Dry lined walls to be dabbed and plasterboarded, skim using Thistle multi-finish.
Fix polythene vapour barrier over ceilings to kitchen and bathroom areas.

DRAINS(Stormwater)

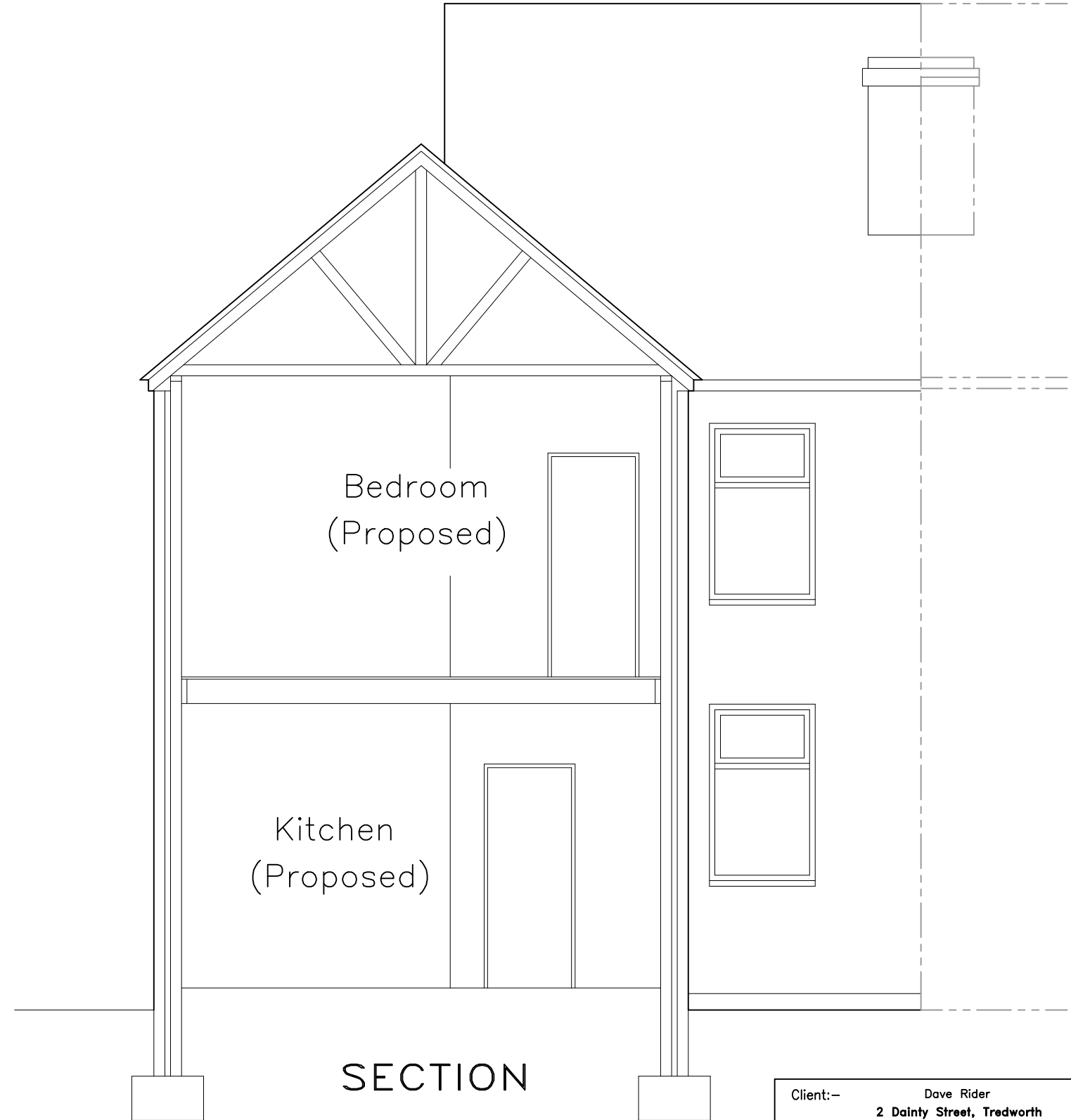
Extend existing storm drainage.
Drain layout and installation to be approved by LA. Authority building inspector.
Ø110 Osma plastic pipe and fittings, bedded in pea gravel.

DRAINS(Foul)

Existing drain layout to be confirmed by excavation.
Drain layout and installation to be approved by LA. Authority building inspector.
Ø110 Osma plastic pipe and fittings, bedded in pea gravel.
Install new inspection chambers and SVP connection if required.
Kitchen sink to be 1-1/2" trap.

CHANGES TO EXISTING

Remove roof to existing kitchen.
Remove existing wall to new single storey extension.
Change layout to first floor, including new door to proposed bedroom.
Change existing stair layout to loft, new stairs to conform to building regulations.
Loft space does not conform to regulations for use for habitation.
Expose existing foundations and wall construction.
Structural engineer to approve suitability for additional loading.
Structural engineer and building inspector to approve new wall and insulation design prior to construction.



GENERAL

Changes to water system to conform to local water authority regulations. All in accordance with BS7671:2001
Electrical installation to conform to Part P of the approved document.
Mains interlinked smoke alarms to be fitted to suppliers spec. to hallways. Installation to conform to BS5839.
Kitchen to be fitted with 150mm extractor fan.
Radiators to be fitted with thermostatically controlled valves.
Electrical installation to include a low energy light fitting.
If proposal requires a boiler change, Building Control to be advised of SEDBUK rating.
Builder to be responsible for checking drawing against actual site conditions prior to construction.
With building notice applications builder to be responsible for checking all information contained within these drawings.
Structural engineer to supply calculations for structural timber beams if required.
Water board to supply approval of any build over agreement required for public sewers.
Contractor to conform to all water board specifications.

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