

Householder Application for Planning Permission for works or extension to a dwelling.  
Town and Country Planning Act 1990

**Publication of applications on planning authority websites.**

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

**1. Site Address**

Number	<input type="text" value="22"/>
Suffix	<input type="text"/>
Property name	<input type="text"/>
Address line 1	<input type="text" value="Grange Road"/>
Address line 2	<input type="text"/>
Address line 3	<input type="text"/>
Town/city	<input type="text" value="Gloucester"/>
Postcode	<input type="text" value="GL4 0PE"/>

Description of site location must be completed if postcode is not known:

Easting (x)	<input type="text" value="382439"/>
Northing (y)	<input type="text" value="215110"/>

Description

**2. Applicant Details**

Title	<input type="text"/>
First name	<input type="text"/>
Surname	<input type="text" value="McTaggart"/>
Company name	<input type="text"/>
Address line 1	<input type="text" value="22, Grange Road"/>
Address line 2	<input type="text"/>
Address line 3	<input type="text"/>
Town/city	<input type="text" value="Gloucester"/>
Country	<input type="text"/>

## 2. Applicant Details

Postcode

Are you an agent acting on behalf of the applicant?  Yes  No

Primary number

Secondary number

Fax number

Email address

## 3. Agent Details

Title

First name

Surname

Company name

Address line 1

Address line 2

Address line 3

Town/city

Country

Postcode

Primary number

Secondary number

Fax number

Email

## 4. Description of Proposed Works

Please describe the proposed works:

Has the work already been started without consent?  Yes  No

## 5. Materials

Does the proposed development require any materials to be used externally?  Yes  No

**Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material):**

Walls	
Description of existing materials and finishes (optional):	Red rustic facing brickwork
Description of proposed materials and finishes:	Red rustic facing brickwork to match existing

## 5. Materials

Roof	
Description of existing materials and finishes (optional):	Concrete double roman roof tiles
Description of proposed materials and finishes:	Concrete double roman roof tiles to match existing

Windows	
Description of existing materials and finishes (optional):	uPVC windows in white
Description of proposed materials and finishes:	uPVC windows in white

Doors	
Description of existing materials and finishes (optional):	uPVC doors in white
Description of proposed materials and finishes:	uPVC doors in white

Are you supplying additional information on submitted plans, drawings or a design and access statement?  Yes  No

If Yes, please state references for the plans, drawings and/or design and access statement

PL07 - Proposed Elevations and 3ds  
PL08 - Proposed artist impression

## 6. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your proposed development?  Yes  No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?  Yes  No

## 7. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?  Yes  No

Is a new or altered pedestrian access proposed to or from the public highway?  Yes  No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?  Yes  No

## 8. Parking

Will the proposed works affect existing car parking arrangements?  Yes  No

## 9. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?  Yes  No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
- The applicant
- Other person

## 10. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes  No

## 11. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

Yes  No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

## 12. Ownership Certificates and Agricultural Land Declaration

**CERTIFICATE OF OWNERSHIP - CERTIFICATE A - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14**

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner\* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding\*\*

\* 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run. \*\* 'agricultural holding' has the meaning given by reference to the definition of 'agricultural tenant' in section 65(8) of the Act.

**NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.**

Person role

- The applicant  
 The agent

Title

First name

Surname

Declaration date (DD/MM/YYYY)

Declaration made

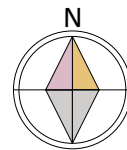
## 13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

Date (cannot be pre-application)

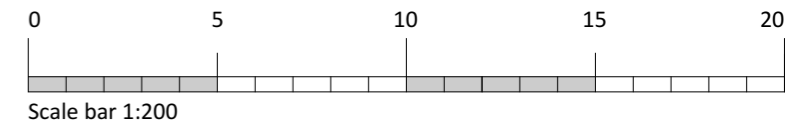
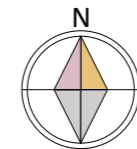
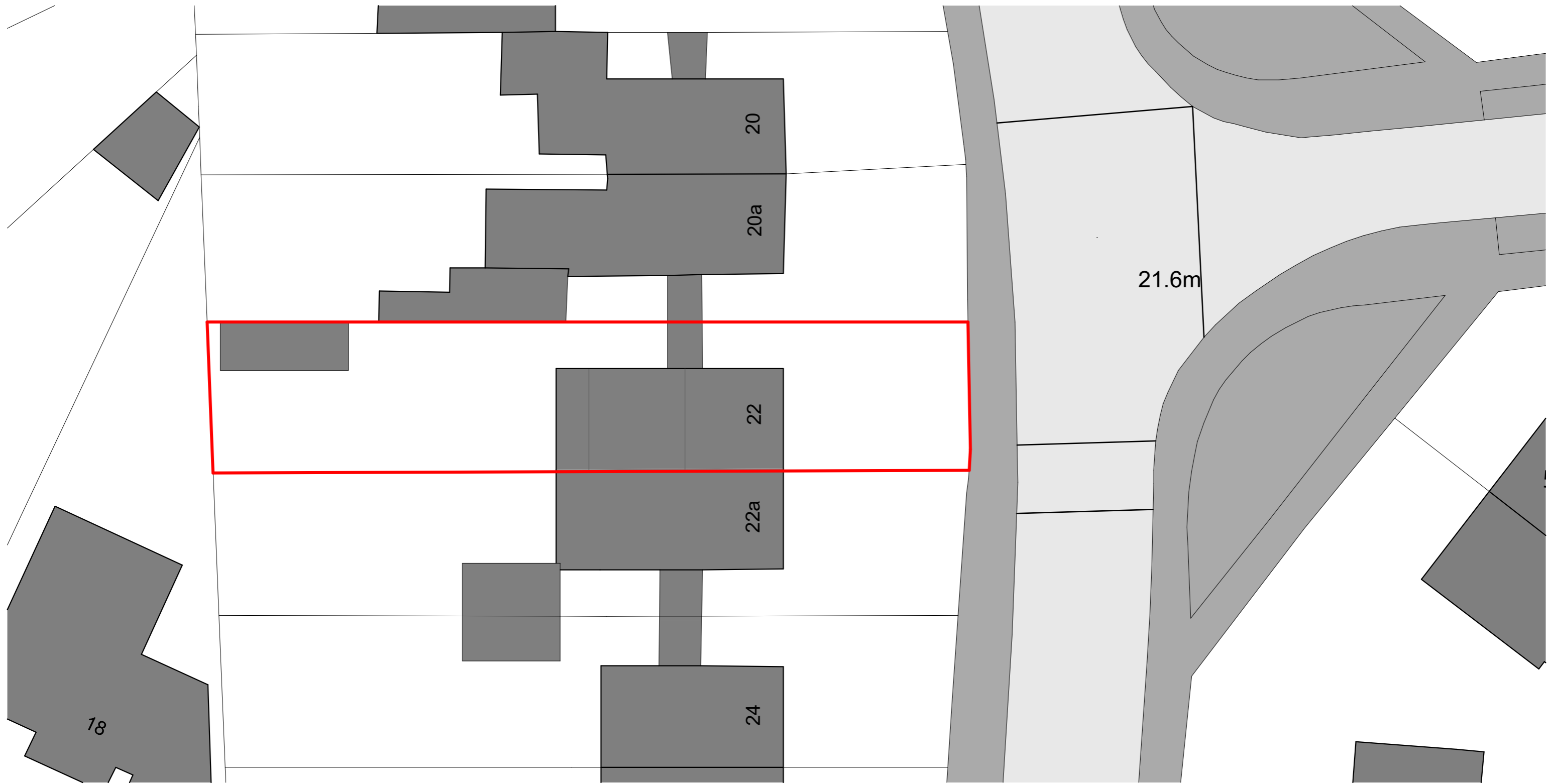


Ordnance Survey, (c) Crown Copyright 2021. All rights reserved. Licence number 100022432



Scale bar 1:1250


Drawing title: Site Location Plan	Scale: 1 : 1250 @ A4	Rev Date Description
Client: Mr and Mrs McTaggart	<input type="checkbox"/> Preliminary <input type="checkbox"/> Tender <input checked="" type="checkbox"/> Planning <input type="checkbox"/> Construction <input type="checkbox"/> Building Regulations <input type="checkbox"/> Final Issue	- 00.00.00 -
Project: 22 Grange Road		
Project No: 21.10.012		
Drawing No: PL01	These drawings, the design and intellectual property are Copyright © 2022 Bonfield: architecture and design Ltd. Any attempt to copy or use these drawings other than for the purpose they were intended is prohibited without obtaining written permission. Do not scale drawing. All dimensions to be checked on site prior to works commencing. Should any discrepancies be discovered contact the architect immediately. Do not use this drawing for setting out unless drawing specifically indicates setting out points. Structural Engineering information is indicative only. These drawings are to be read in conjunction with the Structural Engineers design and calculation drawings.	
Created On: January 2022		



Drawing title: Existing Block Plan	
Client: Mr and Mrs McTaggart	Scale: 1 : 200 @ A3
Project: 22 Grange Road	△ Preliminary      △ Tender
Project No: 21.10.012	▲ Planning          △ Construction
Drawing No: PL02	△ Building Regulations      △ Final Issue
Created On: January 2022	


Rev	Date	Description
-	00.00.00	-

These drawings, the design and intellectual property are Copyright © 2022 Bonfield Architecture and Design Ltd. Any attempt to copy or use these drawings other than for the purpose they were intended is prohibited without obtaining written permission. Do not scale drawing. All dimensions to be checked on site prior to works commencing. Should any discrepancies be discovered contact the architect immediately. Do not use this drawing for setting out unless drawing specifically indicates setting out points. Structural Engineering information is indicative only. These drawings are to be read in conjunction with the Structural Engineers design and calculation drawings.




architecture + design


[www.bonfieldarchitecture.com](http://www.bonfieldarchitecture.com)




Chartered Practice



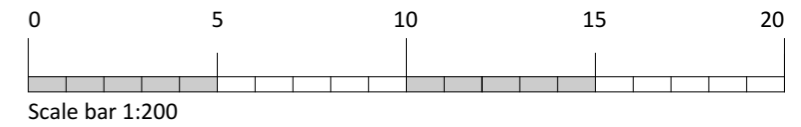
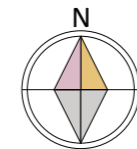
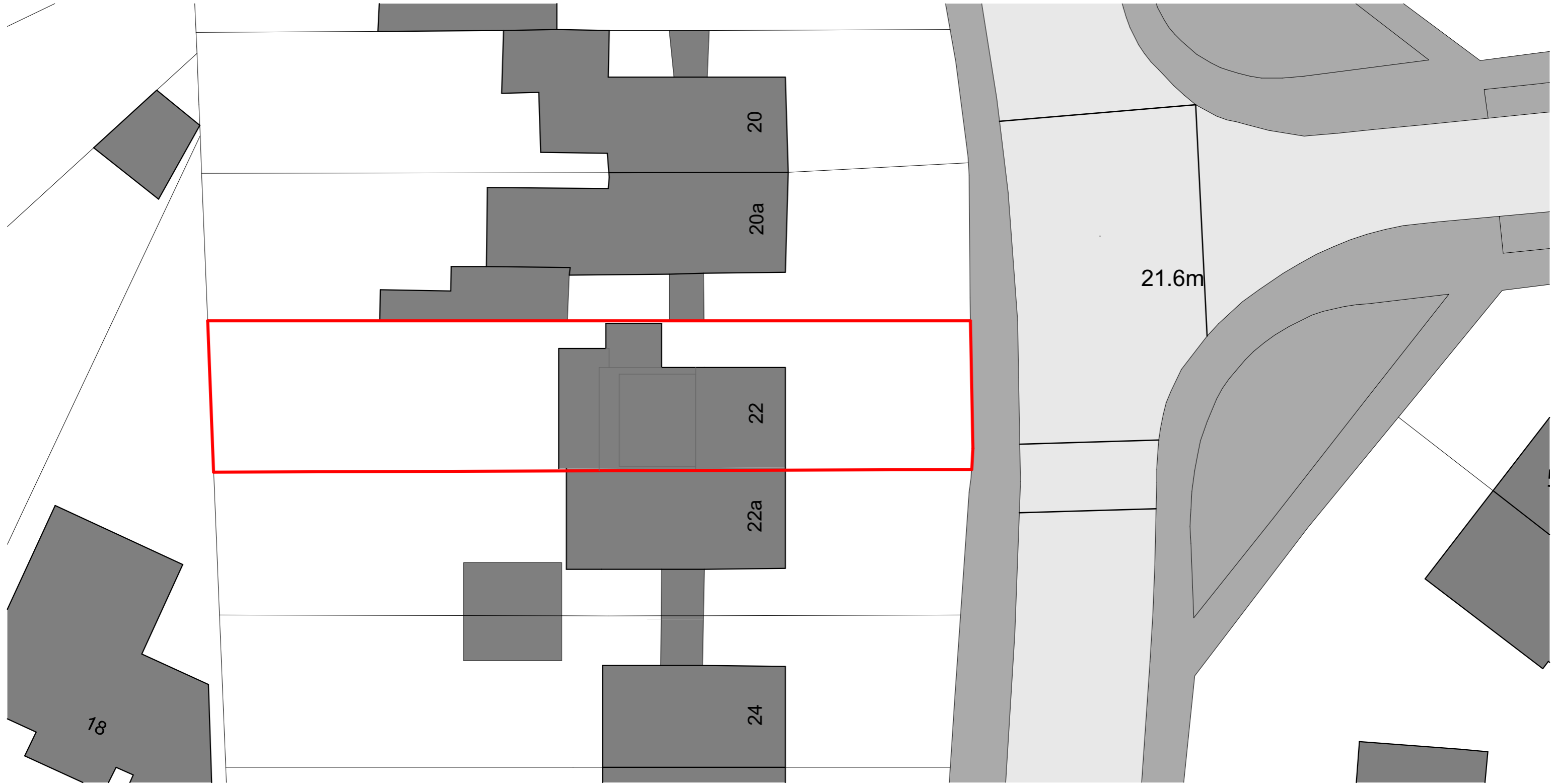
██████████



██████████



7 Denman Avenue, Cheltenham  
Gloucestershire, GL50 4GF



Drawing title: Proposed Block Plan	
Client: Mr and Mrs McTaggart	Scale: 1 : 200 @ A3
Project: 22 Grange Road	△ Preliminary      △ Tender
Project No: 21.10.012	▲ Planning          △ Construction
Drawing No: PL05	△ Building Regulations      △ Final Issue
Created On: January 2022	

Rev	Date	Description
-	00.00.00	-

These drawings, the design and intellectual property are Copyright © 2022 Bonfield Architecture and Design Ltd. Any attempt to copy or use these drawings other than for the purpose they were intended is prohibited without obtaining written permission. Do not scale drawing. All dimensions to be checked on site prior to works commencing. Should any discrepancies be discovered contact the architect immediately. Do not use this drawing for setting out unless drawing specifically indicates setting out points. Structural Engineering information is indicative only. These drawings are to be read in conjunction with the Structural Engineers design and calculation drawings.

www.bonfieldarchitecture.com

7 Denman Avenue, Cheltenham  
Gloucestershire, GL50 4GF



## 22 Grange Road: Proposed 1 storey extension and loft conversion

This 3-bed dwelling is located in Tuffley, Gloucester and is two-storey dwelling with drive, carport and rear garden.

### Proposal:

The current layout of the house provides a kitchen diner and living room on the ground floor with a veranda space to the rear, and 3 bedrooms and family bathroom on the first floor.

The current layout does not provide the requirements this young family needs, with 2 good size bedrooms and one very small bedroom on the first floor the family are struggling for space. The ground floor veranda / conservatory is poorly constructed and is leading to over heating in the summer and a very cold space in the winter.

The proposed design creates better usable ground floor areas where the whole family can be together within a large kitchen / family room. The extension also provides a new downstairs WC accessed from the kitchen diner.

The car port is to be removed to create a secure garage / utility room for the storage of bicycles and the washer /dryer.

All the first-floor bedroom are retained but the smaller bedroom 3 is to be used as an office / bedroom now the owner is working from home. The larger bedroom to the front of the house is to be slightly altered so a new stair access to the loft can be achieved.

The proposal creates a master bedroom and ensuite within the existing loft space with the addition of a dormer to the rear. The loft space also provides better and much needed storage space.

The form of the extension has taken reference from the location of the existing veranda and has stayed close to this footprint whilst creating a scheme that retains much of the existing kitchen but still forms a good size space and access to a much need downstairs WC.





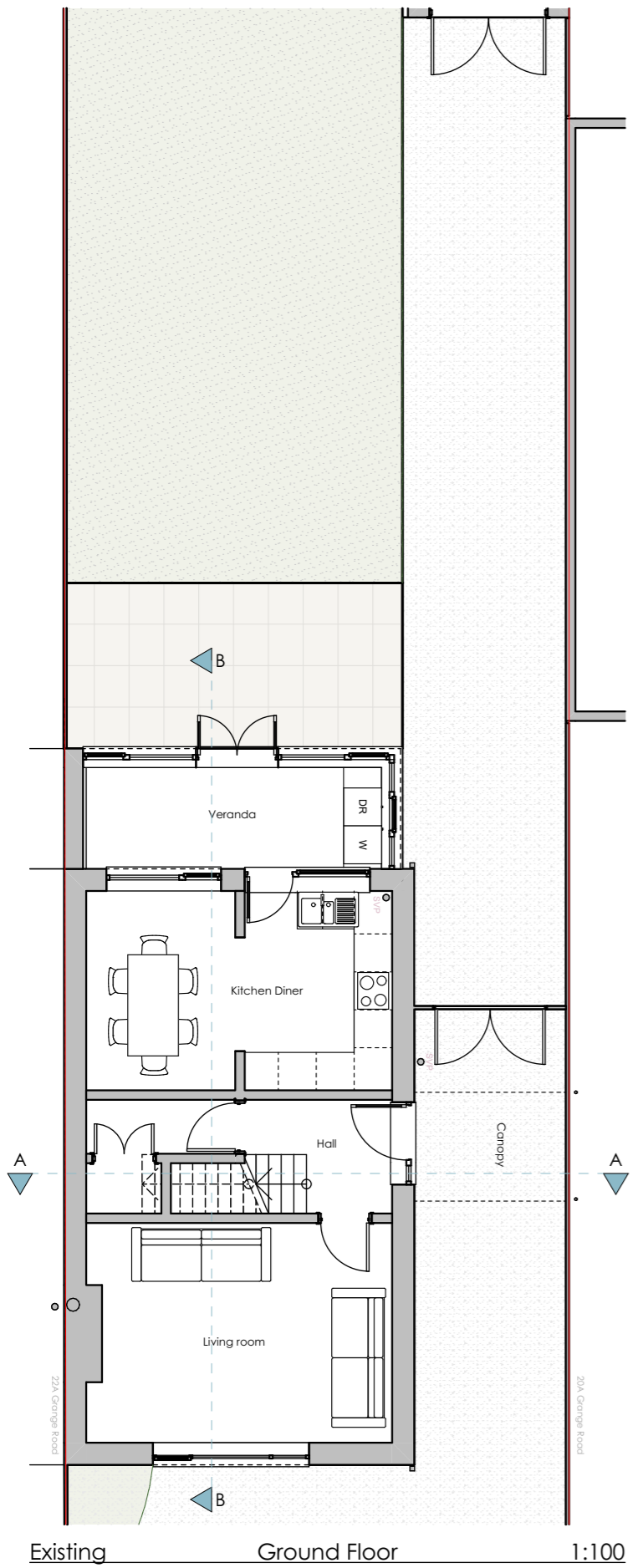
The dormer has been designed to be in keeping with the existing design by using suitable materials and echoing the first-floor windows. The materials and finish of the design will be of high quality and match those of the existing brickwork, roof tiles and drainage.

The proposed windows and doors will be white uPVC, with a new rear bi-folding door, and two new windows to match the existing, both obscured and providing natural day light and ventilation into the home both on the ground floor WC and the ensuite in the loft conversion. The garage will also have an external door to the rear and a new metal up and over garage door in white to the front of the house.

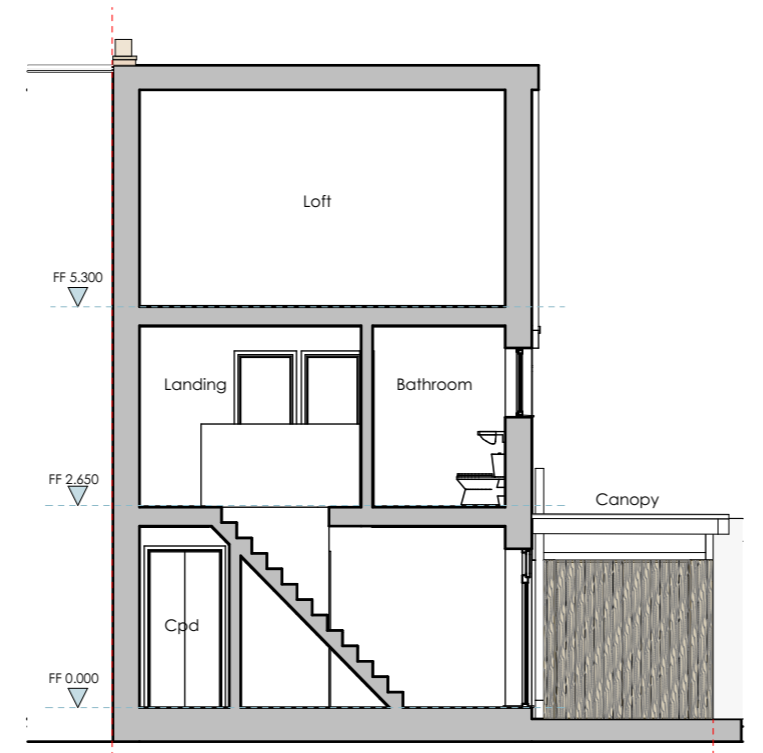


The proposed design reflects the modern vernacular of the area, using the finishes and forms of the existing dwelling as reference for scale and connection. The design will provide a home that will reflect modern day living and create a space that is more functional and meets the requirements of family life.

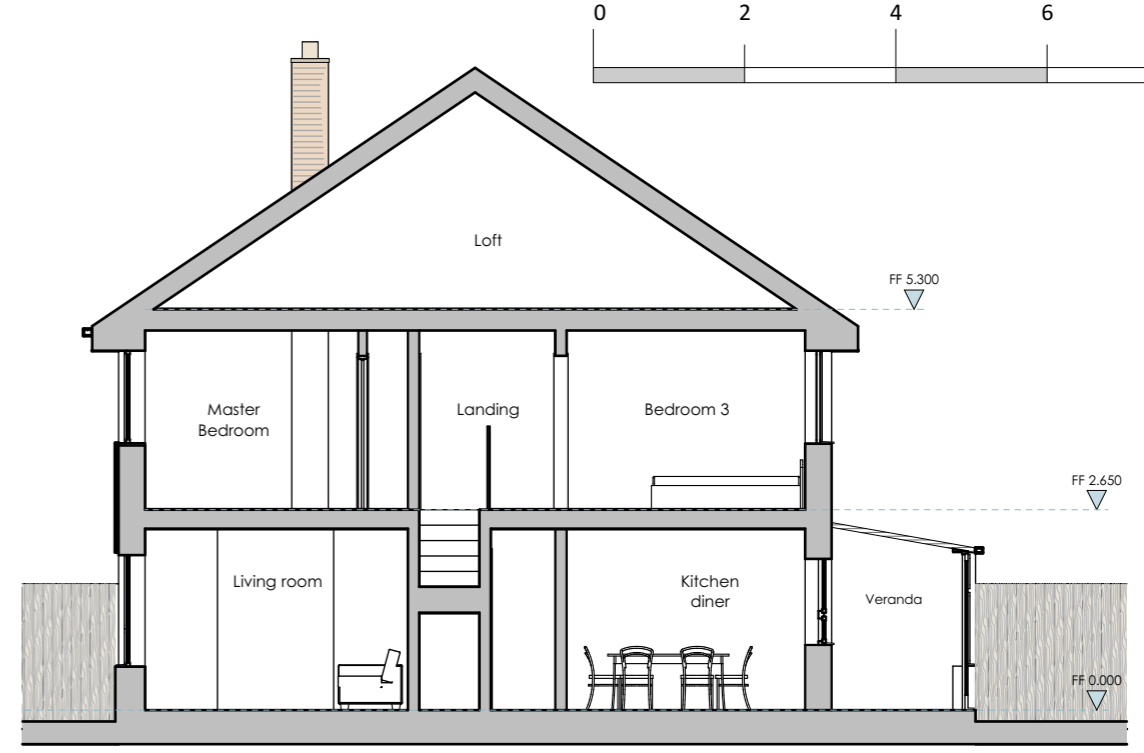




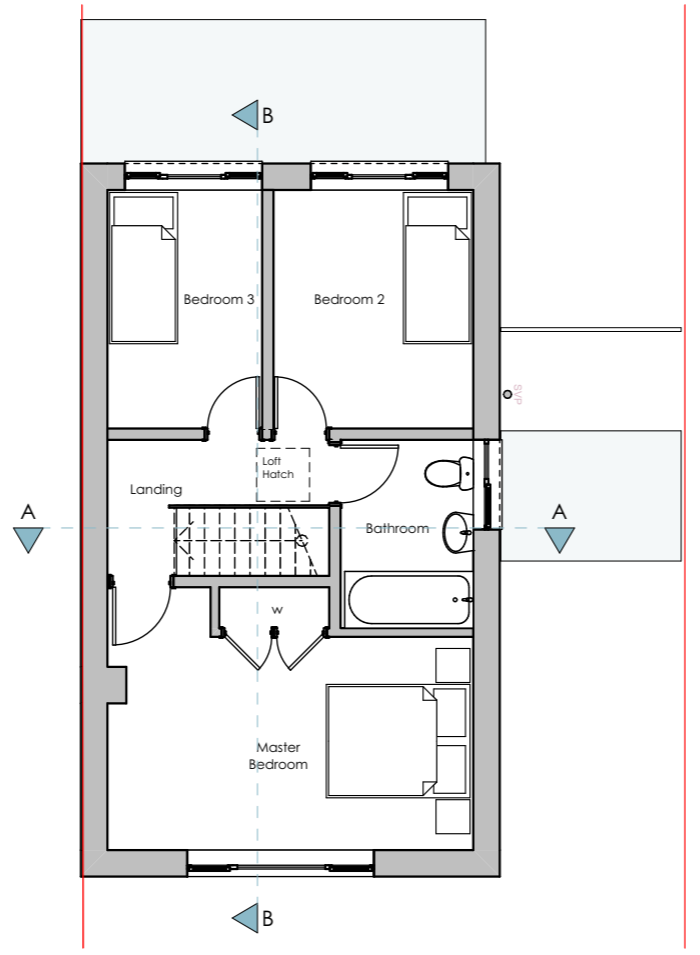
Existing Ground Floor 1:100



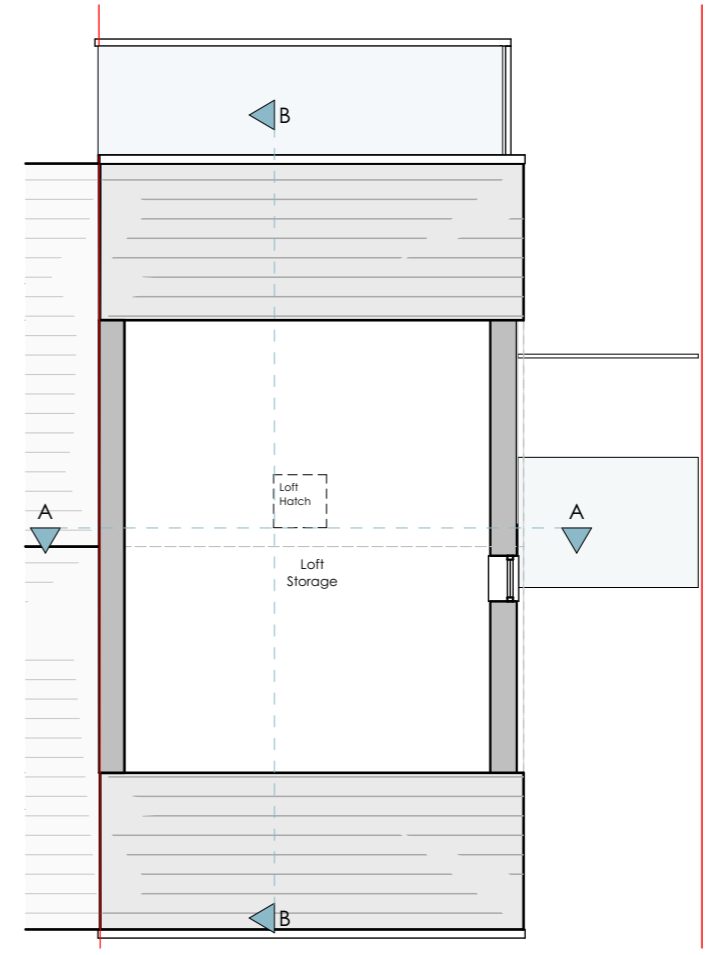
Existing Section A-A 1:100



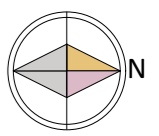
Existing Section B-B 1:100



Existing First Floor 1:100



Existing Second Floor 1:100



Drawing title: Existing Floor Plans and Sections	
Client: Mr and Mrs McTaggart	Scale: 1 : 100 @ A3
Project: 22 Grange Road	△ Preliminary      △ Tender
Project No: 21.10.012	▲ Planning          △ Construction
Drawing No: PL03	△ Building Regulations      △ Final Issue
Created On: January 2022	

Rev	Date	Description
-	00.00.00	-

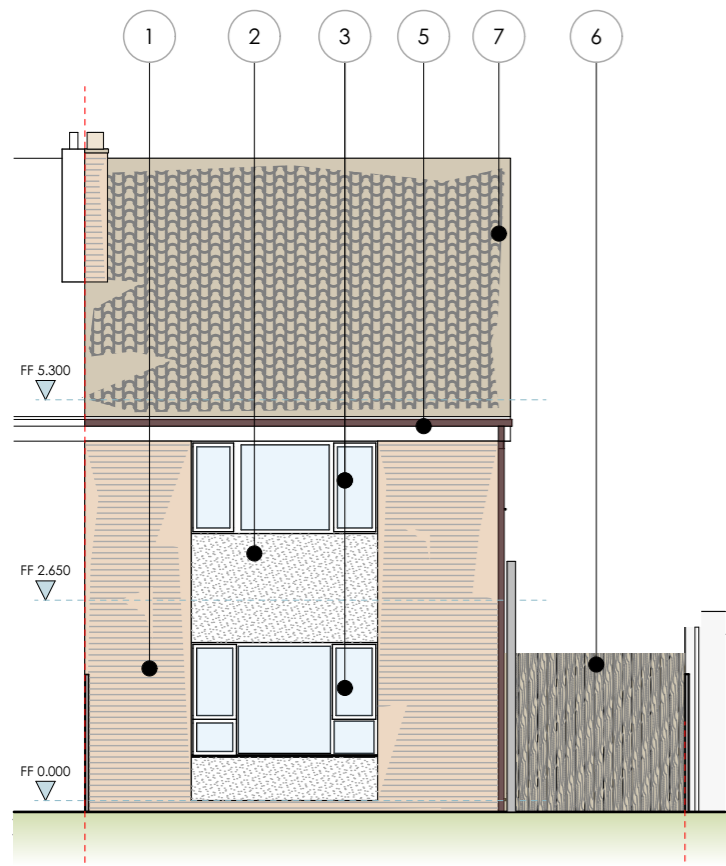
These drawings, the design and intellectual property are Copyright © 2022 Bonfield Architecture and Design Ltd. Any attempt to copy or use these drawings other than for the purpose they were intended is prohibited without obtaining written permission. Do not scale drawing. All dimensions to be checked on site prior to works commencing. Should any discrepancies be discovered contact the architect immediately. Do not use this drawing for setting out unless drawing specifically indicates setting out points. Structural Engineering information is indicative only. These drawings are to be read in conjunction with the Structural Engineers design and calculation drawings.

**bonfield** : architecture + design

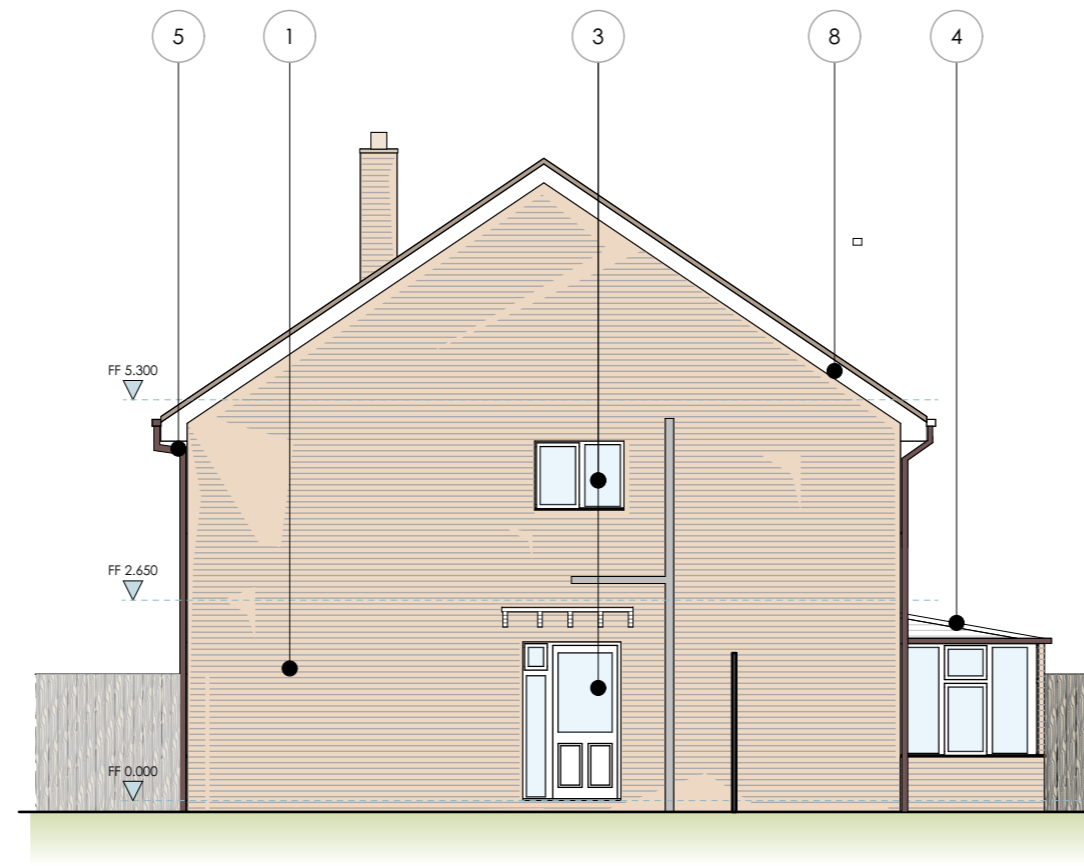
www.bonfieldarchitecture.com

**RIBA** Chartered Practice

7 Denman Avenue, Cheltenham Gloucestershire, GL50 4GF

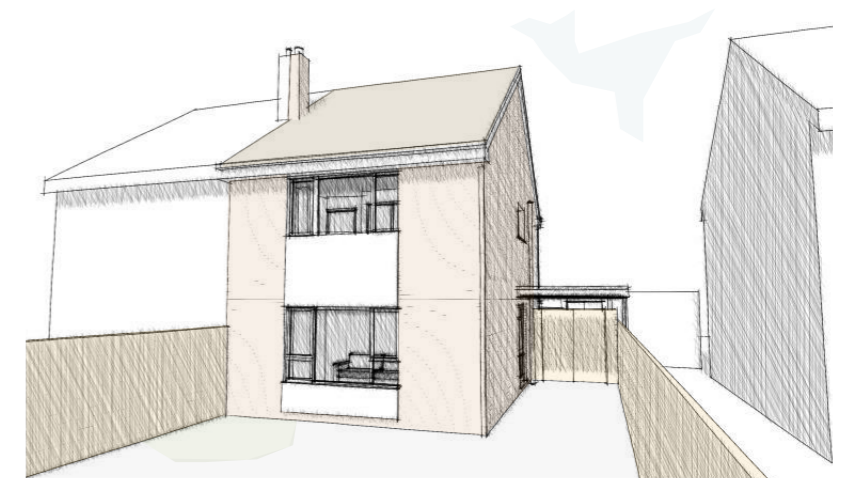


Existing Front Elevation 1:100

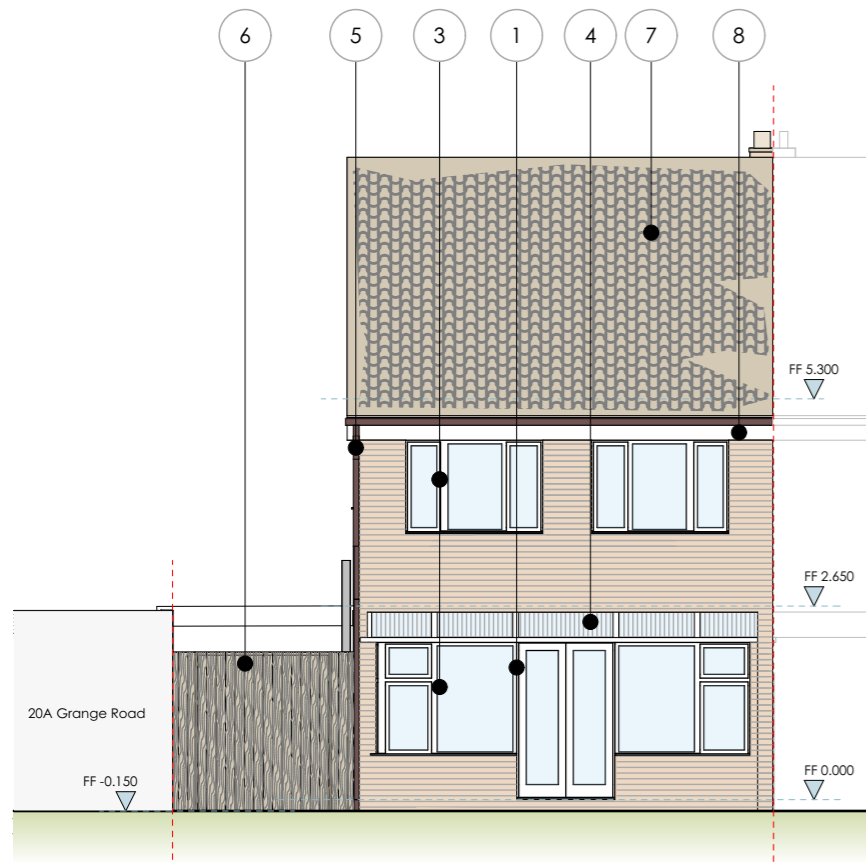


Existing side Elevation 1:100

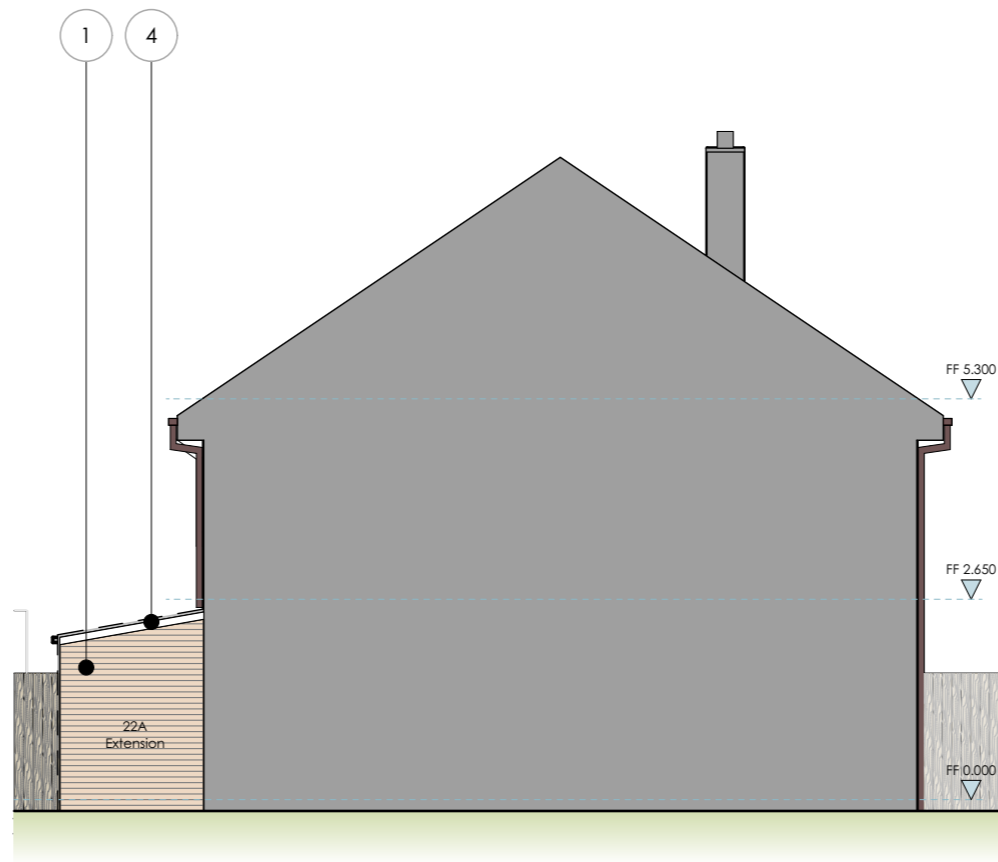
- Finishes Legend:**
- 1. Red rustic facing brickwork
  - 2. White render
  - 3. uPVC windows & doors in white
  - 4. Polycarbonate sheet roof
  - 5. uPVC gutters and down pipe in brown
  - 6. Timber garage door
  - 7. Concrete double roman roof tiles
  - 8. uPVC fascia and soffit in white



Front 3d view



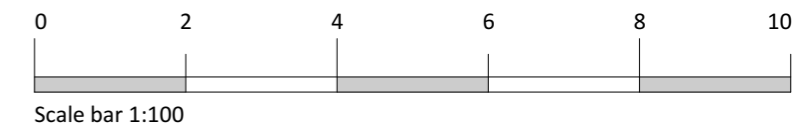
Existing Rear Elevation 1:100



Existing Side Elevation 1:100



Rear 3d view



Drawing title: Existing Elevations and 3ds	
Client: Mr and Mrs McTaggart	Scale: 1:100 @ A3
Project: 22 Grange Road	△ Preliminary      △ Tender
Project No: 21.10.012	▲ Planning          △ Construction
Drawing No: PL04A	△ Building Regulations      △ Final Issue
Created On: January 2022	

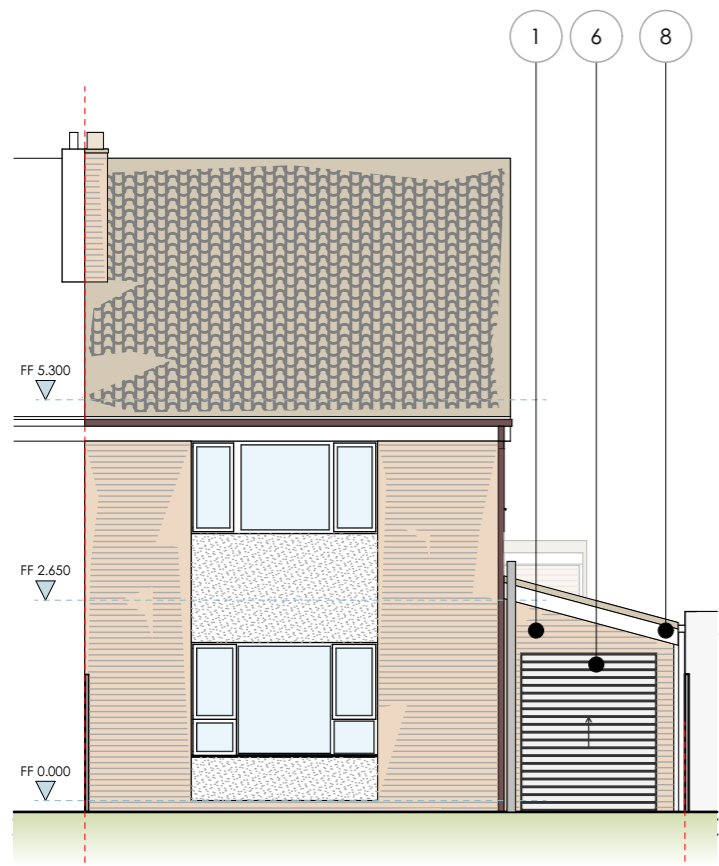
Rev	Date	Description
A	09.02.22	Additional side elevation added.

These drawings, the design and intellectual property are Copyright © 2022 Bonfield Architecture and Design Ltd. Any attempt to copy or use these drawings other than for the purpose they were intended is prohibited without obtaining written permission. Do not scale drawing. All dimensions to be checked on site prior to works commencing. Should any discrepancies be discovered contact the architect immediately. Do not use this drawing for setting out unless drawing specifically indicates setting out points. Structural Engineering information is indicative only. These drawings are to be read in conjunction with the Structural Engineers design and calculation drawings.

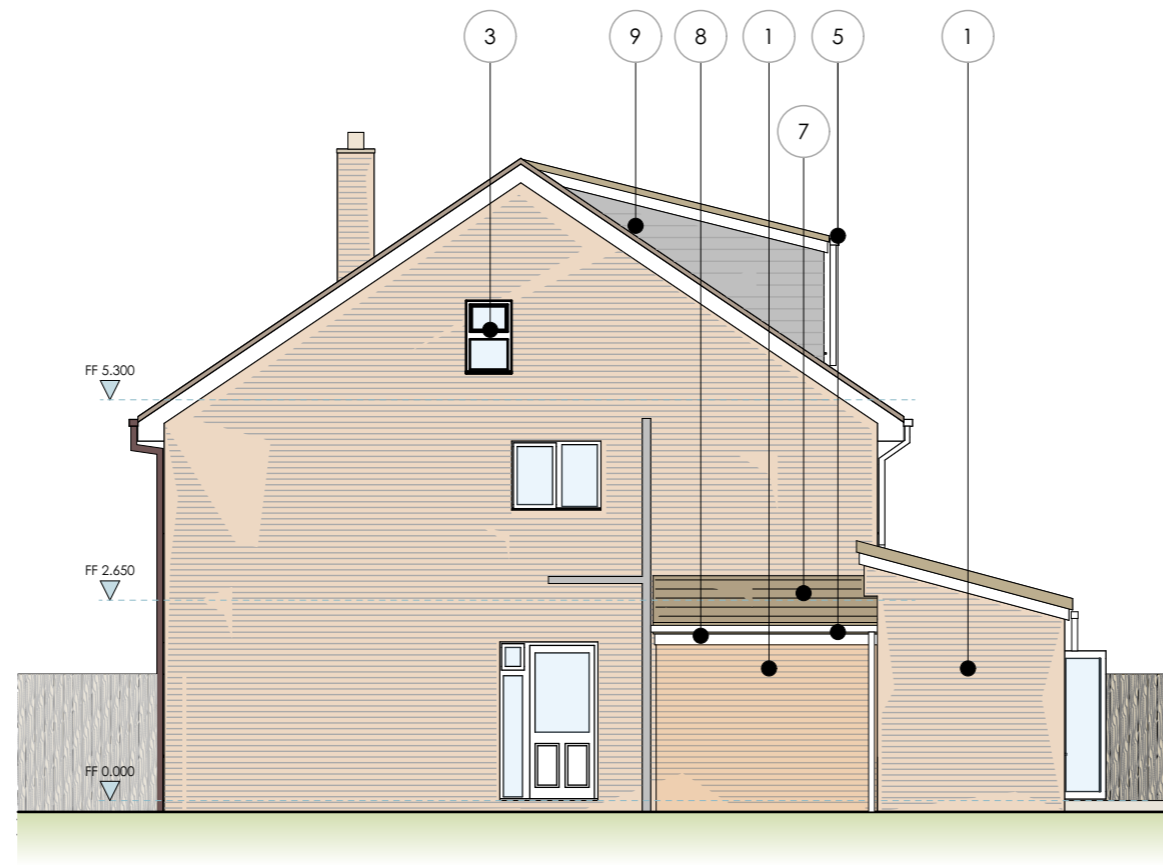
**bonfield** : architecture + design

RIBA Chartered Practice

7 Denman Avenue, Cheltenham Gloucestershire, GL50 4GF



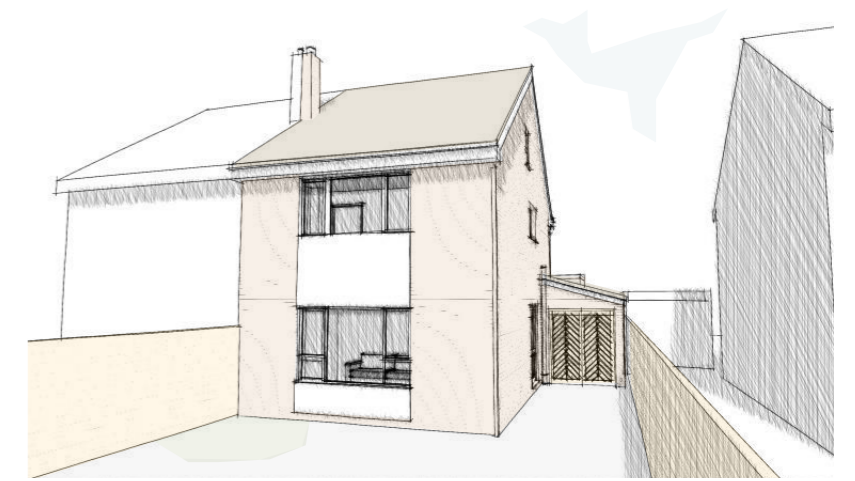
Proposed Front Elevation 1:100



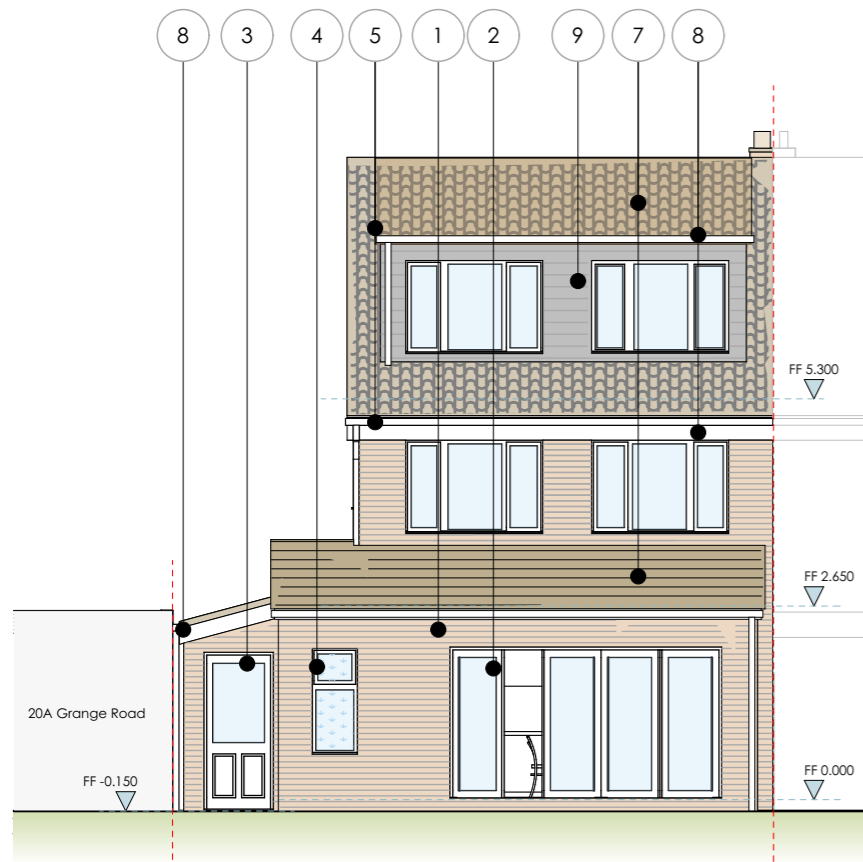
Proposed side Elevation 1:100

**Finishes Legend:**

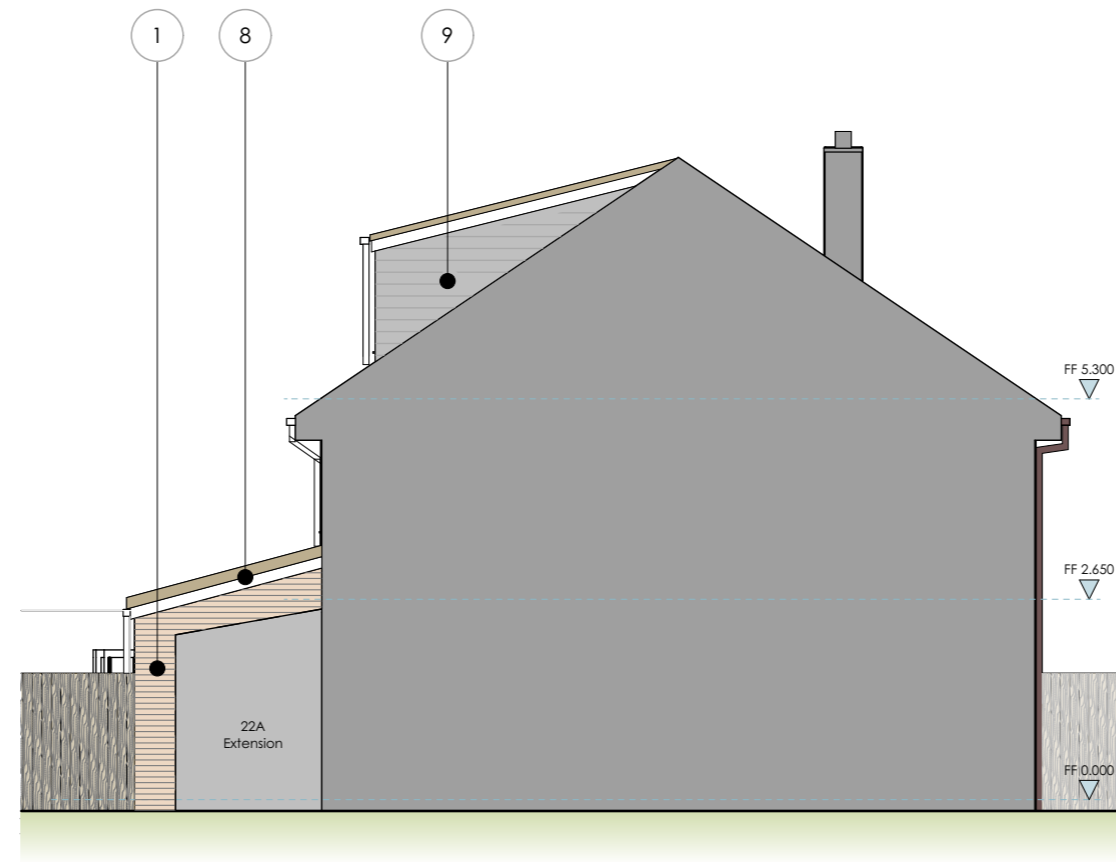
1. Red rustic facing brickwork to match existing	2. Bifolding doors in white
3. uPVC windows & doors in white	4. Obscured glazing
5. uPVC gutters and down pipe in white	6. Metal garage door in white
7. Concrete double roman roof tiles to match existing	8. uPVC fascia and soffit in white
9. Timber effect composite cladding in grey to dormer	



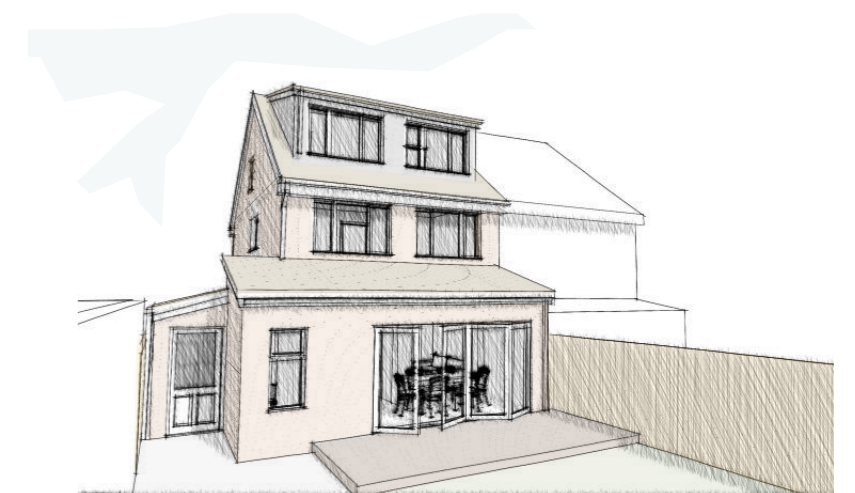
Front 3d view



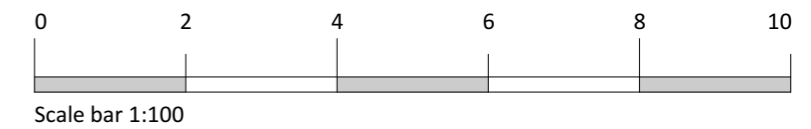
Proposed Rear Elevation 1:100



Proposed Side Elevation 1:100



Rear 3d view



Drawing title: Proposed Elevations and 3ds	
Client: Mr and Mrs McTaggart	Scale: 1:100 @ A3
Project: 22 Grange Road	△ Preliminary      △ Tender
Project No: 21.10.012	▲ Planning          △ Construction
Drawing No: PL07A	△ Building Regulations      △ Final Issue
Created On: January 2022	

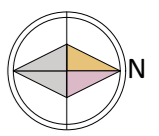
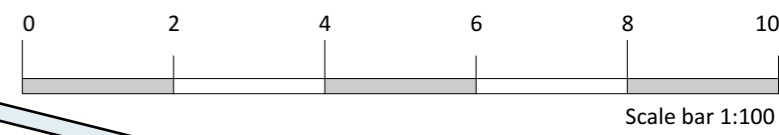
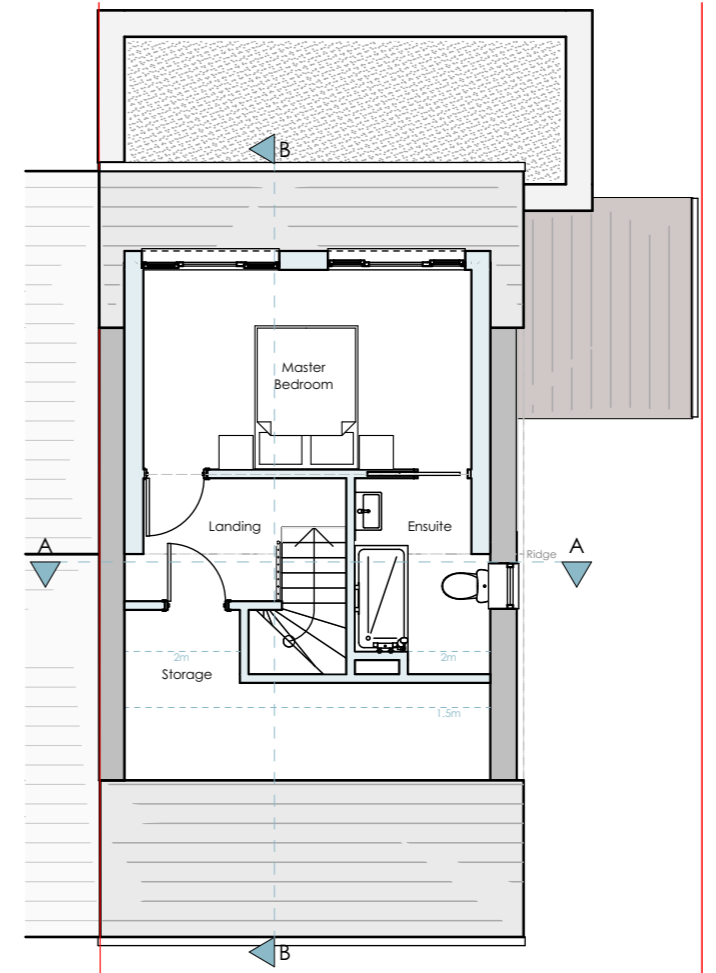
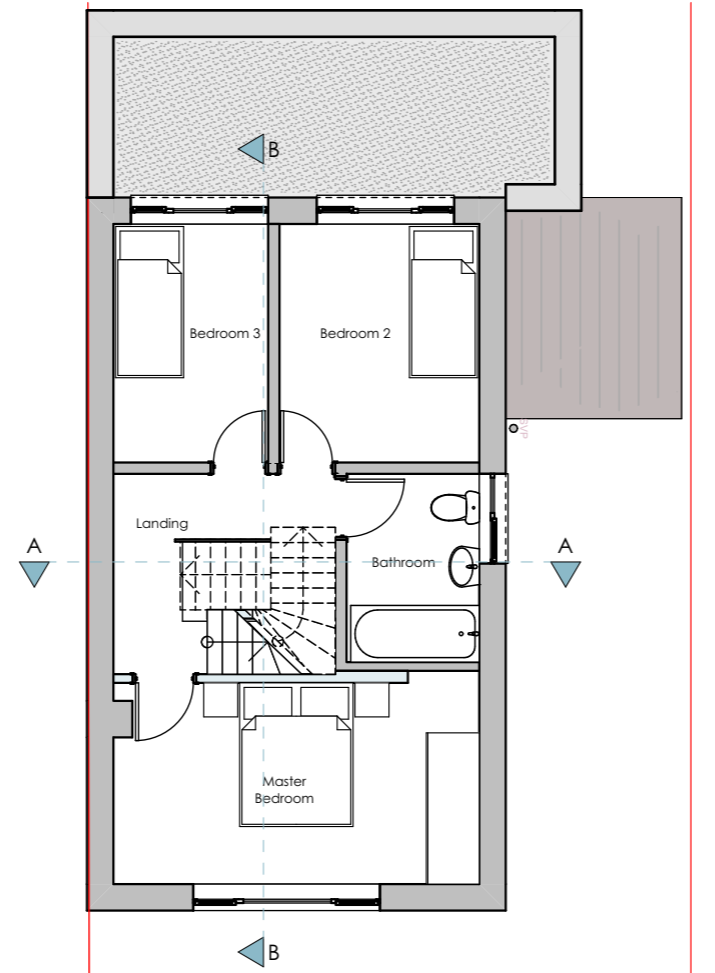
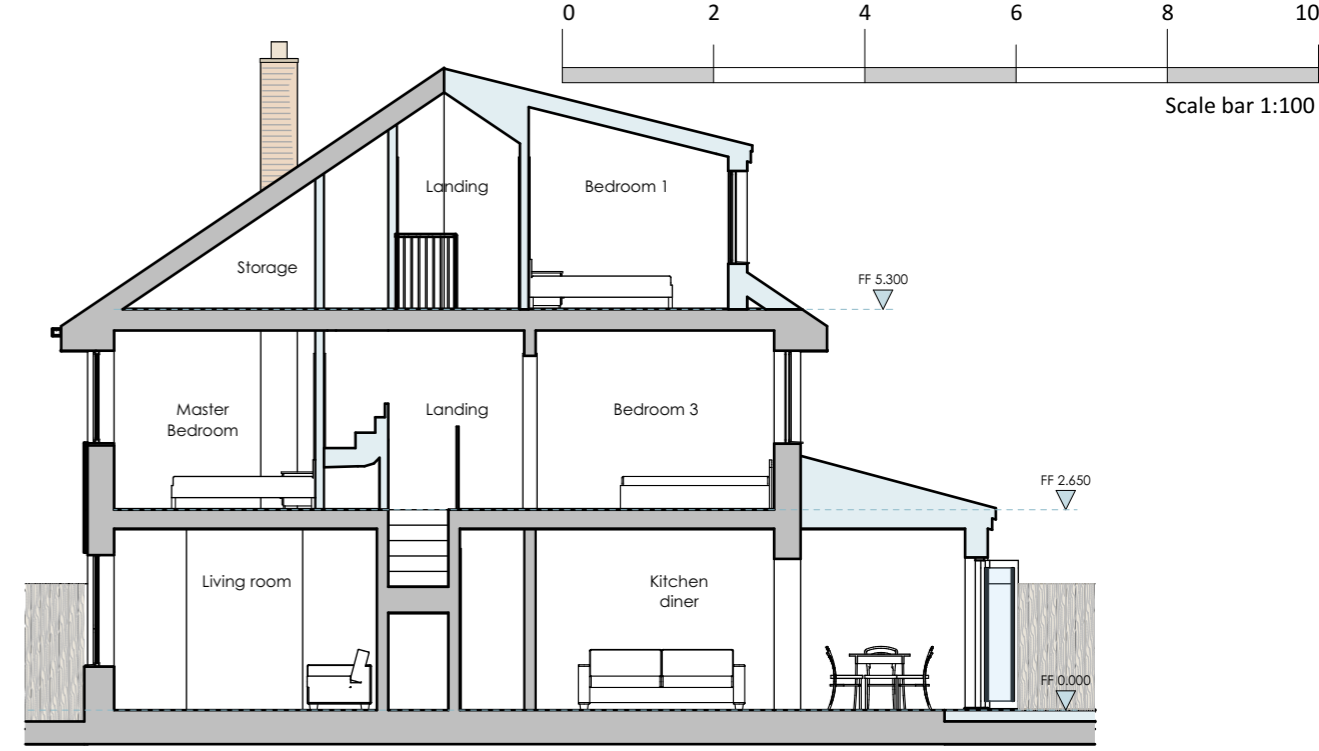
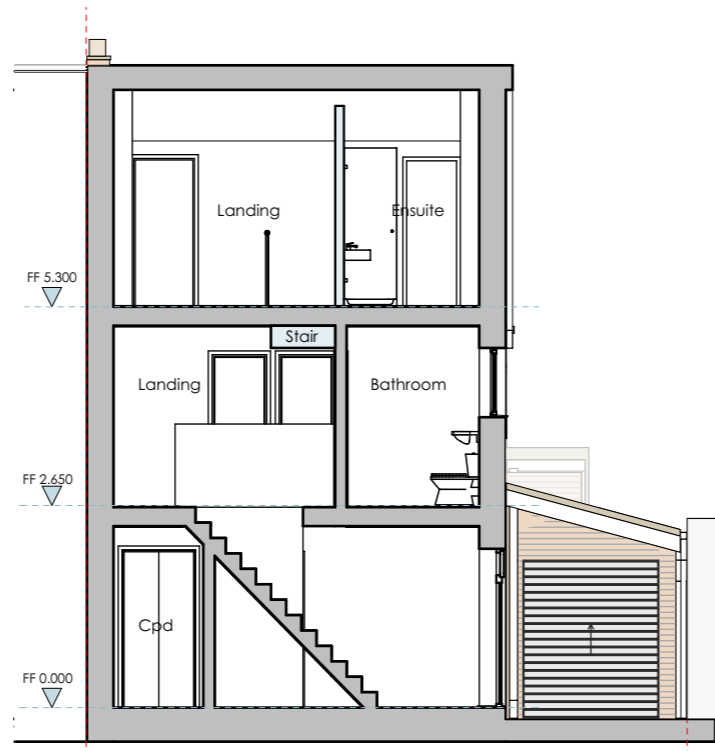
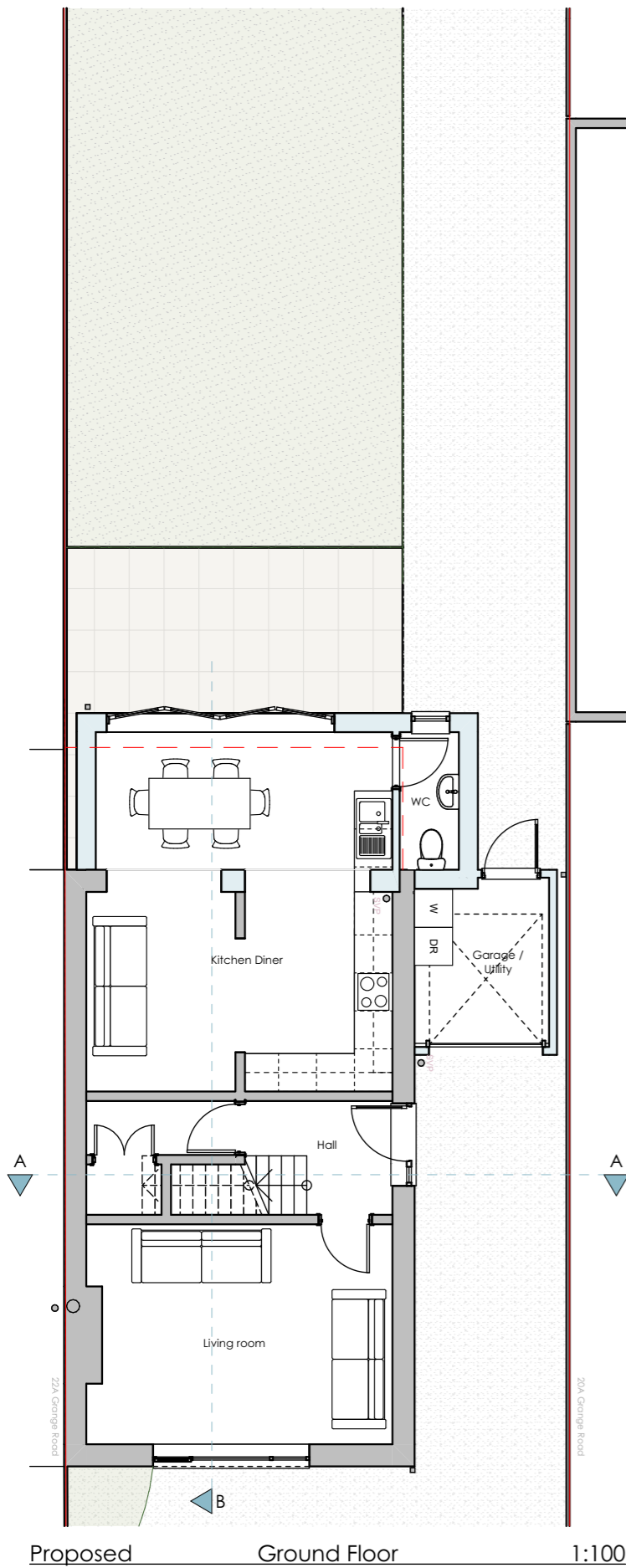
Rev	Date	Description
A	09.02.22	Additional side elevation added.

These drawings, the design and intellectual property are Copyright © 2022 Bonfield Architecture and Design Ltd. Any attempt to copy or use these drawings other than for the purpose they were intended is prohibited without obtaining written permission. Do not scale drawing. All dimensions to be checked on site prior to works commencing. Should any discrepancies be discovered contact the architect immediately. Do not use this drawing for setting out unless drawing specifically indicates setting out points. Structural Engineering information is indicative only. These drawings are to be read in conjunction with the Structural Engineers design and calculation drawings.

**bonfield** : architecture + design

RIBA Chartered Practice

7 Denman Avenue, Cheltenham Gloucestershire, GL50 4GF



Drawing title: Proposed Floor Plan and Sections	
Client: Mr and Mrs McTaggart	Scale: 1 : 100 @ A3
Project: 22 Grange Road	△ Preliminary      △ Tender
Project No: 21.10.012	▲ Planning          △ Construction
Drawing No: PL06	△ Building Regulations      △ Final Issue
Created On: January 2022	

Rev	Date	Description
-	00.00.00	-

These drawings, the design and intellectual property are Copyright © 2022 Bonfield Architecture and Design Ltd. Any attempt to copy or use these drawings other than for the purpose they were intended is prohibited without obtaining written permission. Do not scale drawing. All dimensions to be checked on site prior to works commencing. Should any discrepancies be discovered contact the architect immediately. Do not use this drawing for setting out unless drawing specifically indicates setting out points. Structural Engineering information is indicative only. These drawings are to be read in conjunction with the Structural Engineers design and calculation drawings.

**bonfield** : architecture + design

www.bonfieldarchitecture.com

7 Denman Avenue, Cheltenham Gloucestershire, GL50 4GF

RIBA Chartered Practice



Drawing title: Proposed Artist Impression		Rev	Date	Description
Client: Mr and Mrs McTaggart	Scale: NTS @ A3	-	00.00.00	-
Project: 22 Grange Road	△ Preliminary	△ Tender		
Project No: 21.10.012	▲ Planning	△ Construction		
Drawing No: PL08	△ Building Regulations	△ Final Issue		
Created On: January 2022	<p>These drawings, the design and intellectual property are Copyright © 2022 Bonfield Architecture and Design Ltd. Any attempt to copy or use these drawings other than for the purpose they were intended is prohibited without obtaining written permission. Do not scale drawing. All dimensions to be checked on site prior to works commencing. Should any discrepancies be discovered contact the architect immediately. Do not use this drawing for setting out unless drawing specifically indicates setting out points. Structural Engineering information is indicative only. These drawings are to be read in conjunction with the Structural Engineers design and calculation drawings.</p>			
		www.bonfieldarchitecture.com		7 Denman Avenue, Cheltenham Gloucestershire, GL50 4GF