

Application for Planning Permission

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x) Northing (y)

Description

Applicant Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

Secondary number

Fax number

Email address

Agent Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Contact Details

Primary number

Secondary number

Fax number

Email address

Site Area

What is the measurement of the site area? (numeric characters only).

Unit

Description of the Proposal

Please note in regard to:

- **Fire Statements** - From 1 August 2021, planning applications for buildings of over 18 metres (or 7 stories) tall containing more than one dwelling will require a 'Fire Statement' for the application to be considered valid. There are some exemptions. [View government planning guidance on fire statements](#) or [access the fire statement template and guidance](#).
- **Permission In Principle** - If you are applying for Technical Details Consent on a site that has been granted Permission In Principle, please include the relevant details in the description below.
- **Public Service Infrastructure** - From 1 August 2021, applications for certain public service infrastructure developments will be eligible for faster determination timeframes. See help for further details or [view government planning guidance on determination periods](#).

Description

Please describe details of the proposed development or works including any change of use

Has the work or change of use already started?

- Yes
 No

Existing Use

Please describe the current use of the site

Is the site currently vacant?

- Yes
 No

Does the proposal involve any of the following? If Yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated

- Yes
 No

Land where contamination is suspected for all or part of the site

- Yes
 No

A proposed use that would be particularly vulnerable to the presence of contamination

- Yes
 No

Materials

Does the proposed development require any materials to be used externally?

- Yes
 No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

Type:

Vehicle access and hard standing

Existing materials and finishes:

Please refer to the accompanying covering planning statement

Proposed materials and finishes:

Please refer to the accompanying covering planning statement

Are you supplying additional information on submitted plans, drawings or a design and access statement?

- Yes
 No

If Yes, please state references for the plans, drawings and/or design and access statement

Please refer to the accompanying covering planning statement.

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicular access proposed to or from the public highway?

- Yes
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes
 No

Are there any new public roads to be provided within the site?

- Yes
 No

Are there any new public rights of way to be provided within or adjacent to the site?

- Yes
 No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

- Yes
 No

Vehicle Parking

Does the site have any existing vehicle/cycle parking spaces or will the proposed development add/remove any parking spaces?

- Yes
 No

Trees and Hedges

Are there trees or hedges on the proposed development site?

- Yes
 No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

- Yes
 No

If Yes to either or both of the above, you may need to provide a full tree survey, at the discretion of the local planning authority. If a tree survey is required, this and the accompanying plan should be submitted alongside the application. The local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

Assessment of Flood Risk

Is the site within an area at risk of flooding? (Check the location on the Government's [Flood map for planning](#). You should also refer to national [standing advice](#) and your local planning authority requirements for information as necessary.)

- Yes
 No

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

- Yes
 No

Will the proposal increase the flood risk elsewhere?

- Yes
 No

How will surface water be disposed of?

- Sustainable drainage system
 Existing water course
 Soakaway
 Main sewer
 Pond/lake

Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

To assist in answering this question correctly, please refer to the help text which provides guidance on determining if any important biodiversity or geological conservation features may be present or nearby; and whether they are likely to be affected by the proposals.

a) Protected and priority species

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

b) Designated sites, important habitats or other biodiversity features

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

c) Features of geological conservation importance

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

Supporting information requirements

Where a development proposal is likely to affect features of biodiversity or geological conservation interest, you will need to submit, with the application, sufficient information and assessments to allow the local planning authority to determine the proposal.

Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the local planning authority has been submitted.

Your local planning authority will be able to advise on the content of any assessments that may be required.

Foul Sewage

Please state how foul sewage is to be disposed of:

- Mains sewer
 Septic tank
 Package treatment plant
 Cess pit
 Other
 Unknown

Other

Not applicable to this application.

Are you proposing to connect to the existing drainage system?

- Yes
 No
 Unknown

Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

Yes

No

Have arrangements been made for the separate storage and collection of recyclable waste?

Yes

No

Trade Effluent

Does the proposal involve the need to dispose of trade effluents or trade waste?

Yes

No

Residential/Dwelling Units

Does your proposal include the gain, loss or change of use of residential units?

Yes

No

All Types of Development: Non-Residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

Note that 'non-residential' in this context covers all uses except Use Class C3 Dwellinghouses.

Yes

No

Please add details of the Use Classes and floorspace.

Following changes to Use Classes on 1 September 2020: The list includes the now revoked Use Classes A1-5, B1, and D1-2 that should not be used in most cases. Also, the list does not include the newly introduced Use Classes E and F1-2. To provide details in relation to these or any 'Sui Generis' use, select 'Other' and specify the use where prompted. Multiple 'Other' options can be added to cover each individual use. [View further information on Use Classes.](#)

Use Class:

B8 - Storage or distribution

Existing gross internal floorspace (square metres):

11385

Gross internal floorspace to be lost by change of use or demolition (square metres):

0

Total gross new internal floorspace proposed (including changes of use) (square metres):

11423.3

Net additional gross internal floorspace following development (square metres):

38.2

Totals	Existing gross internal floorspace (square metres)	Gross internal floorspace to be lost by change of use or demolition (square metres)	Total gross new internal floorspace proposed (including changes of use) (square metres)	Net additional gross internal floorspace following development (square metres)
	11385	0	11423.3	38.29999999999927

Loss or gain of rooms

For hotels, residential institutions and hostels please additionally indicate the loss or gain of rooms:

Employment

Are there any existing employees on the site or will the proposed development increase or decrease the number of employees?

- Yes
 No

Hours of Opening

Are Hours of Opening relevant to this proposal?

- Yes
 No

Industrial or Commercial Processes and Machinery

Does this proposal involve the carrying out of industrial or commercial activities and processes?

- Yes
 No

Is the proposal for a waste management development?

- Yes
 No

Hazardous Substances

Does the proposal involve the use or storage of Hazardous Substances?

- Yes
 No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
- The applicant
- Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes
- No

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes
- No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes
- No

Can you give appropriate notice to all the other owners/agricultural tenants? (Select 'Yes' if there are no other owners/agricultural tenants)

- Yes
- No

Certificate Of Ownership - Certificate B

I certify/ The applicant certifies that:

- I have/The applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner* and/or agricultural tenant** of any part of the land or building to which this application relates; or
- The applicant is the sole owner of all the land or buildings to which this application relates and there are no other owners* and/or agricultural tenants**.

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural tenant" has the meaning given in section 65(8) of the Town and Country Planning Act 1990

Name of Owner/Agricultural Tenant:

***** REDACTED *****

House name:

Council Offices

Number:

Suffix:

Address line 1:

Uttlesford District Council

Address Line 2:

London Road

Town/City:

Saffron Walden

Postcode:

CB11 4ER

Date notice served (DD/MM/YYYY):

26/07/2022

Person Family Name:

Person Role

- The Applicant
- The Agent

Title

First Name

Surname

Declaration Date

Declaration made

Declaration

I / We hereby apply for Full planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

Date

26/07/2022

Date: 26th July 2022
Your Ref: PP-10540711
Our Ref: 14271a

Development Control
Gloucester City Council
Shire Hall
Westgate Street
Gloucester
GL1 2TG



6 New Bridge Street
London EC4V 6AB

W: dwdllp.com

Dear Sir or Madam,

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED): APPLICATION FOR PLANNING PERMISSION AT LAND WEST OF A417 BARNWOOD

PLANNING STATEMENT

We hereby submit an application for full planning permission for the proposed development set out below at the above site:

“Proposed external site alterations comprising a new winter module, height restrictors, a new guard hut and amended kerbing”

This application is supported by the following documents that should be read in conjunction with this statement:

- Application Form including Certificate of Ownership;
- Community Infrastructure Levy Form prepared by DWD;
- Design and Access Statement prepared by SMR; and
- Flood Risk Assessment note prepared by EirEng.

In addition, the following drawings have been submitted with the application to illustrate the proposed scheme.

Table 1.1 – Application Drawings

Plan Title	Plan Reference
Site Location Plan	SMR-00-ZZ-DR-A-8350-S3-P3
Existing Site Plan	SMR-00-ZZ-DR-A-8351-S3-P3
Proposed Site Plan	SMR-00-ZZ-DR-A-8352-S3-P4
External Sheltered Facilities	SMR-00-ZZ-DR-A-8353-S3-P3

Partners

R J Greeves BSc (Hons) MRICS
G Bullock BA (Hons) BPL MRTPI
A Vickery BSc MRICS IRRV (Hons)
S Price BA (Hons) DipTP MRTPI

A R Holden BSc (Hons) FRICS
G Denning B.Eng (Hons) MSc MRICS
B Murphy BA (Hons) MRUP MRTPI
A Meech BSc MRICS

S Page BA MA (Cantab) MSc MRTPI
P Roberts FRICS CEnv
T Lodeiro BA (Hons) PGDip MSc MRICS



Planning History

The original baseline outline consent related to the application site was approved under LPA ref: 14/01035/OUT on 22nd September 2015 for a mixed-use employment development (Use Classes B1, B2, B8) and car showroom. This consent was subsequently varied under LPA ref: 18/00299/FUL on 6th July 2018.

The reserved matters application pursuant to the application site was approved under LPA ref: 20/00775/REM on the 5th November 2020 for the erection of a new Class B8 storage and distribution facility and associated parking. More recently, a non-material amendment to this reserved matters consent was approved under 20/01271/NMA on 4th January 2021 for a minor amendment to footpath/cycleway adjacent to road crossing and introduction of access gates into rear curtilage of the approved building.

Proposed Development

This application seeks to make minor amendments to the existing Class B8 storage and distribution site which are required to meet the operational requirements of the occupier. The external improvement works are required to ensure the facility can operate as effectively as possible, which is increasingly important during the current Covid-19 pandemic with the increased demand for the storage and distribution of goods.

The works sought under this application comprise of:

- Existing guard hut replacement;
- Adjusted road and pavement arrangement adjacent to the service yard;
- Installation of a new height restrictor; and
- Installation of a new winter module.

Relevant Planning Policy

The National Planning Policy Framework (NPPF, 2021) sets out the Government's commitment to creating the conditions in which businesses can invest, expand and adapt. Paragraph 81 of the NPPF promotes economic growth and states that decisions should "help create the conditions in which businesses can invest, expand and adapt. Significant weight should be placed on the need to support economic growth and productivity, taking into account both local business needs and wider opportunities for development. The approach taken should allow each area to build on its strengths, counter any weaknesses and addresses the challenges of the future".

Policy SD1 (Employment – expect retail development) of the Gloucester, Cheltenham and Tewkesbury Joint Core Strategy 2011-2031 (December 2017) sets out employment related development will be supported which allows the growth or expansion of existing business. Policy SD4 (Design Requirements) also sets out new development should respond positively to, and respect the character of, the site and its surroundings.

The proposed development is required to meet the identified occupier's operational requirements, which should be afforded significant weight in accordance with national planning policy. The proposed

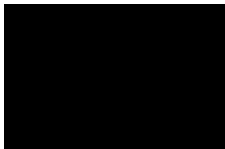
works are minor and given the application site's industrial location, is considered that that the proposed external alterations and works to the site will not have a detrimental impact on local amenity. In summary, the proposals will secure improvements to economic productivity and are considered compliant with Development Plan policies.

The FRA prepared by EirEng confirms the application site has a low risk of flooding from all sources (with consideration of the mitigation measures already implemented) and the proposed site alterations are considered not to impact on flood risk vulnerability.

Summary

We trust we have provided sufficient information for you to be able to register and consider the application, and we look forward to receiving confirmation of this in due course. However, should you require any additional information, please do not hesitate to contact me.

Yours faithfully,



Serena Page BA MA (Cantab) MSc MRTPI
Partner
DWD Property+Planning



Design and Access Statement

Cheltenham, Severn Centre

1.0 Introduction

This Statement is submitted on behalf of the applicant, in support of the proposals for:

- Existing guard hut replacement
- Adjusted road and pavement arrangement adjacent to the service yard
- Installation of a new height restrictor
- Installation of a new winter module

The purpose of this document is to provide an overall statement of the scope, design decisions and access arrangements considered in respect of the application.

The statement is submitted in accordance with the Town and Country Planning (Development Management Procedure) (England) (Amendment) order 2015 and MHCLG Guidance on information requirements and validation.

2.0 The Existing Site and Buildings

Pedestrian and cycle access is afforded via the main entry off the A417 road which leads off into a shared access road.

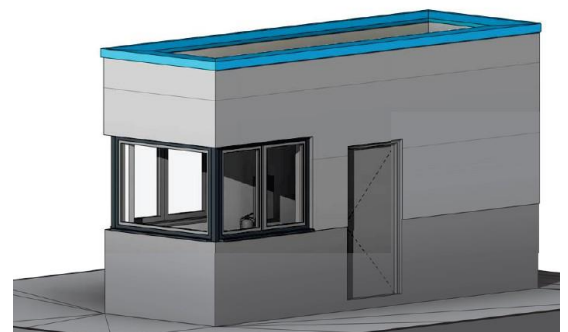
The shared access and egress to the existing site and main warehouse building will be maintained as existing.

3.0 Application Proposal

The proposal comprises:

Existing guard hut replacement

The existing guard hut is intended to be demolished and removed from site. In its place a new larger guard hut facility will be installed (please refer to Detail 1). The new guard hut will be rectangular in plan and elevation. The hut will be finished in metal composite panels that will complement the existing warehouse building.



Detail 1

The adjacent security fence will be adjusted to accommodate the new guard hut arrangement. The existing guard hut has a total floor space of 2m². The new guard will have a total floor space of 13.5m²

Adjusted road and pavement arrangement adjacent to the service yard

The service yard retaining wall is intended to be adjusted inwards to enable the outer/ adjacent pedestrian pathway to be adjusted. These works are required in order to improve heavy goods vehicle access around the service yard area. The materials used for these works will be the same as the existing.

Installation of a new height restrictor

A new metal height restrictor will be installed to limit access to 3100mm high vehicles. The height restrictor will be like that indicated in Detail 2, coloured yellow.



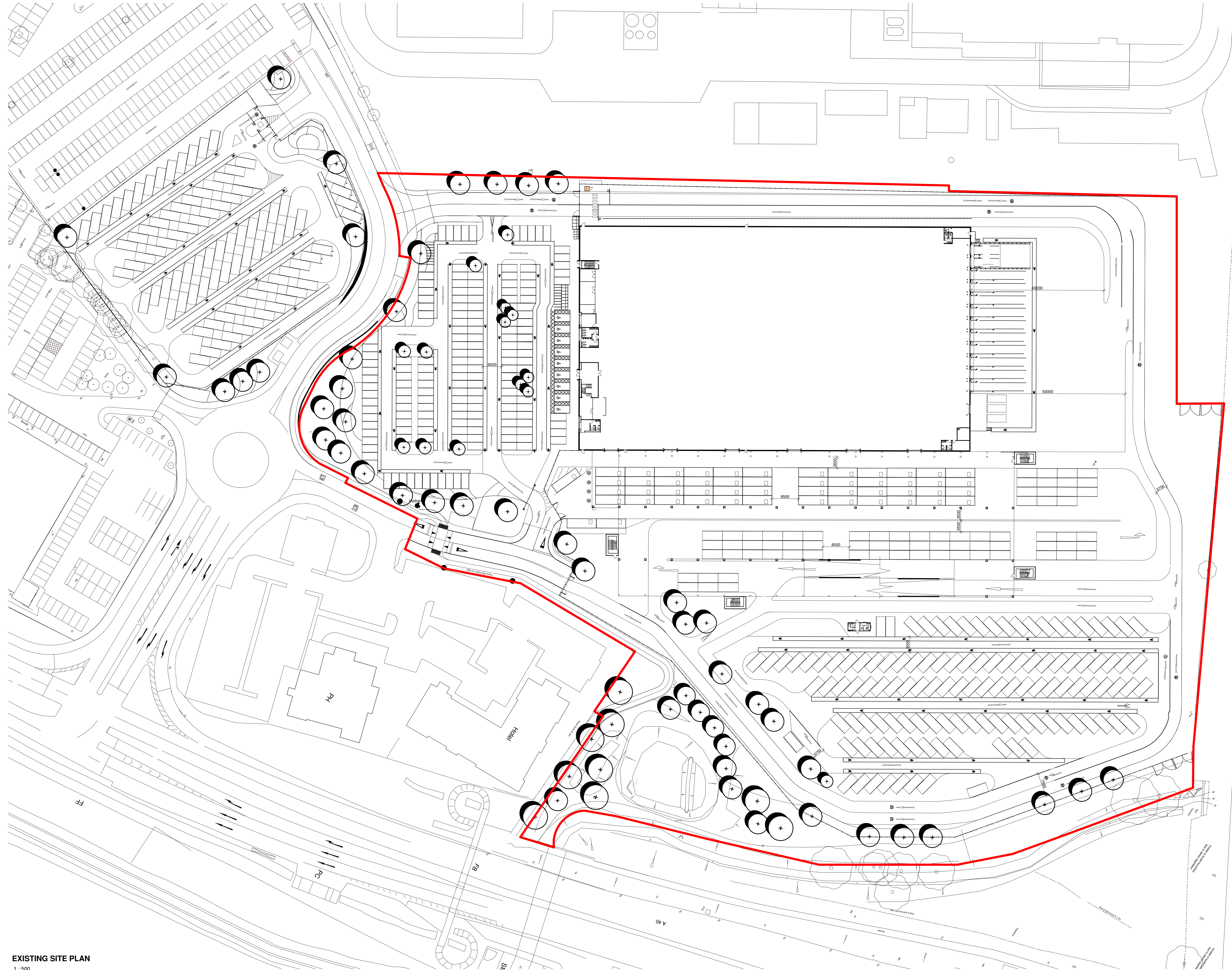
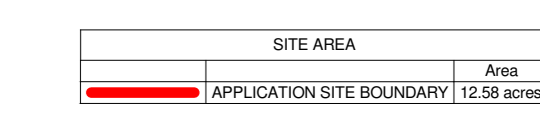
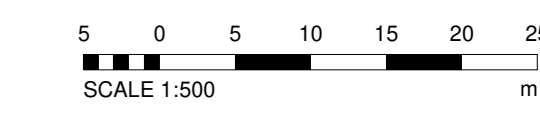
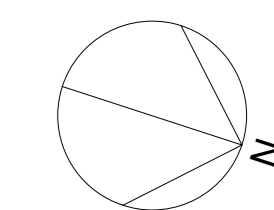
Detail 2

Installation of a new winter module

A new winter module will be installed to assist with external winter operations at the site. The winter module will be a steel frame construction formed on an in-situ cast concrete base. The roof will be skin with horizontal timber boarding to its side. The new winter module will have a total floor space of 25m².

4.0 Conclusion

On reflection of the items outlined within this statement it is considered that the proposal is acceptable in respects of design and access arrangements.



EXISTING SITE PLAN
 1:500

P3	SITE BOUNDARY UPDATED AS PER COMMENTS FROM TOWN PLANNING.	12.01.22	JP	SMR
P2	FOLLOWING REVIEW BY PROJECT 16.12.21 LM TOWN PLANNING CONSULTANT APPLICATION BOUNDARY ASSESSMENT TOWN PLANNING APPROVED LAYOUT SHOWN.	16.12.21	LM	SMR
P1	FIRST ISSUE	22.11.21	DT	LM
Rev.	Description	Date	By	Check

Status
 PLANNING

SMALLEY MARSEY RISPIN
 ARCHITECTS
 100-102, Station Road, Haregate, H11 1TS

Project
 CHELTENHAM, SEVERN CENTRE

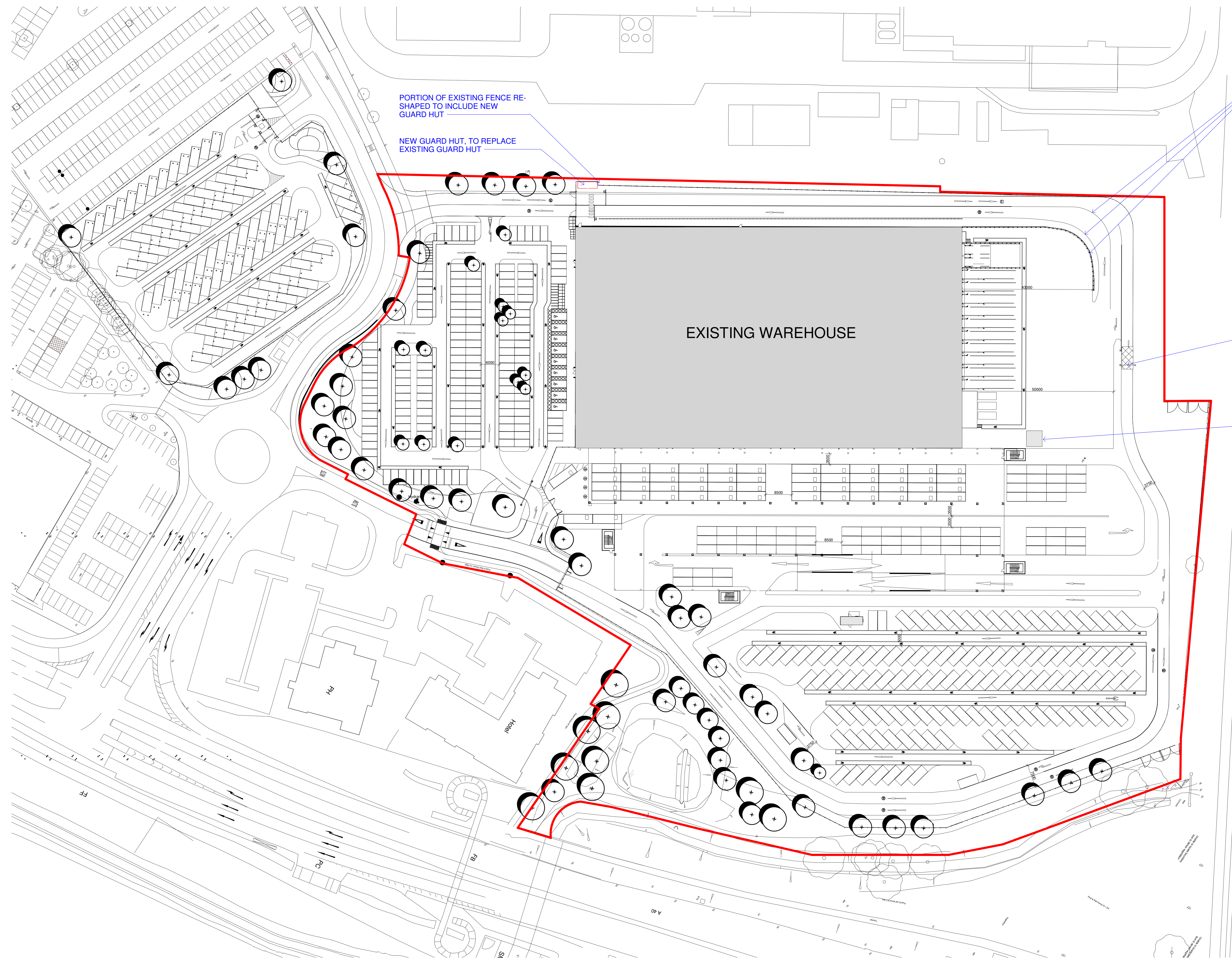
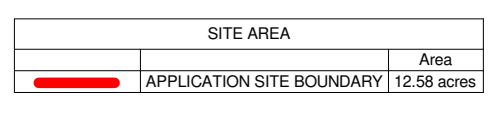
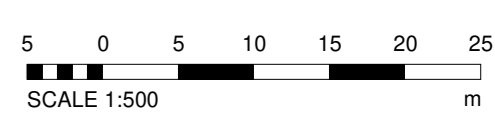
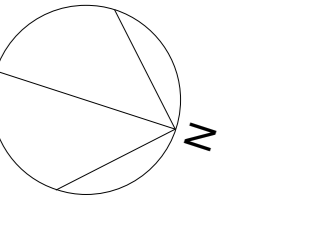
Client
 GLEAVE
 GLEAVE PARTNERSHIP LIMITED

Drawing Title
 EXISTING SITE PLAN

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DWR2 - SMR	00	ZZ	DR	A	851	S3	P3	
SMR Job Ref	Sheet	Scale	Notes	Drawn	DT			
7279-00-851	A0		NOTED					

Architects are to be notified of any discrepancies.
Contractors must check all dimensions on site.
This drawing is subject to copyright laws and is to be used only for the project for which it was prepared.
For other information refer to the latest edition of any applicable standards.
To be read in conjunction with relevant design standards and protocols.

This is a colour drawing. In order to ensure any subsequent reproduction is viewed correctly it should be printed in full colour.



PROPOSED SITE PLAN
1:500

P4	WELFARE UNIT REMOVED IN LINE WITH GUIDANCE FROM TOWN PLANNING	12.01.21	JP	SMR
P3	FOLLOWING REVIEW BY PROJECT TOWN PLANNING CONSULTANT APPLICATION BOUNDARY APPROVED LAYOUT SHOWN PROPOSED SERVICE TIAO KERB PERMETER WORKS INDICATED ADJACENT OF MAIN ENTRANCE	16.12.21	LM	SMR
P2	NEW WAREHOUSE CORNER ALTERED AS PER VECTOR'S DRAWING	24.11.21	DT	LM
P1	FIRST ISSUE	22.11.21	DT	LM
Rev.	Description	Date	By	Chk

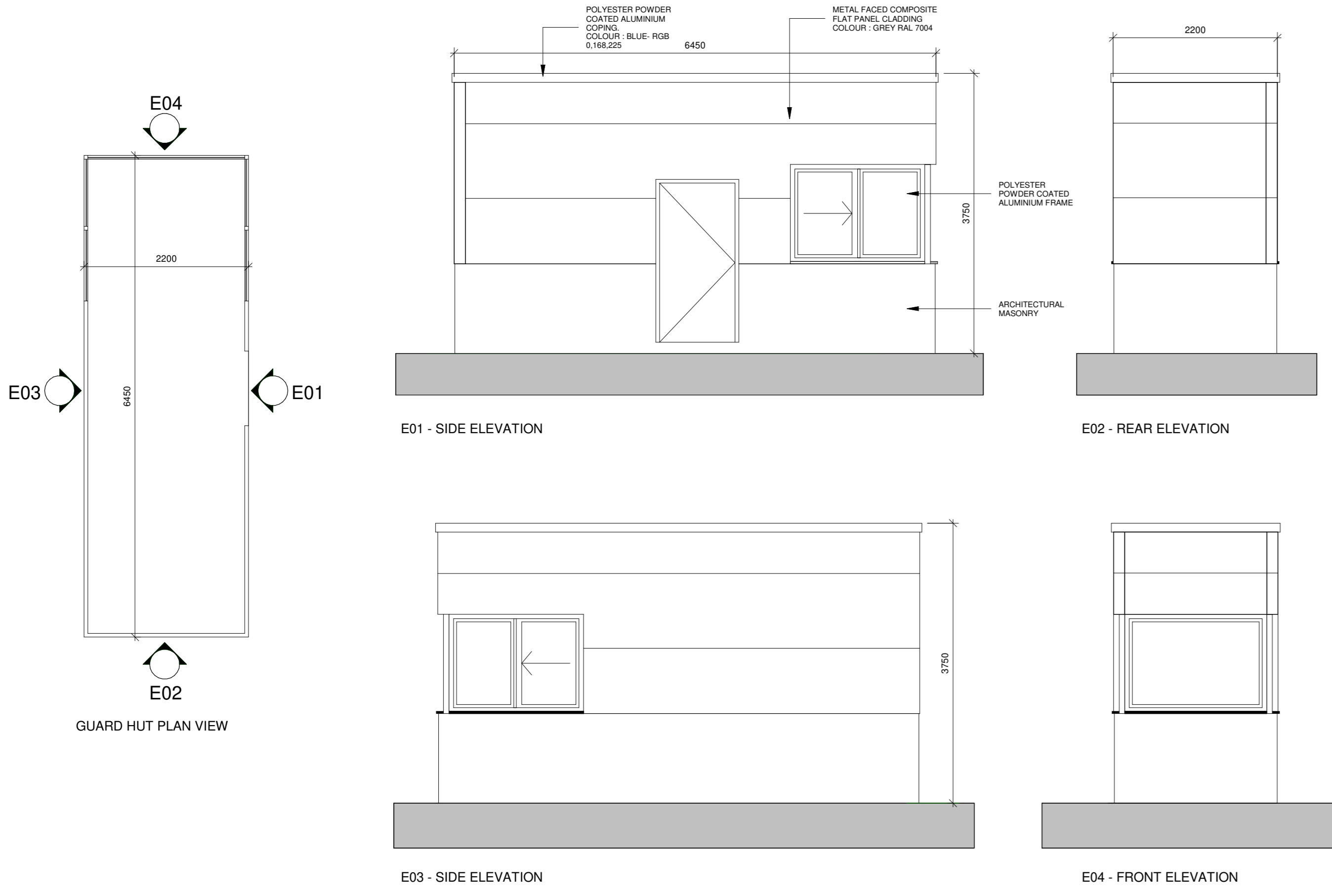
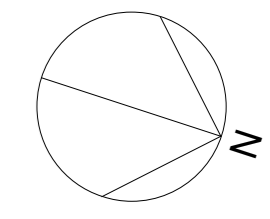
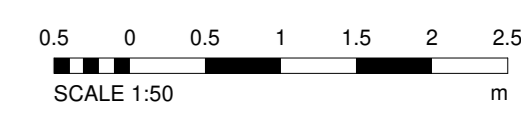
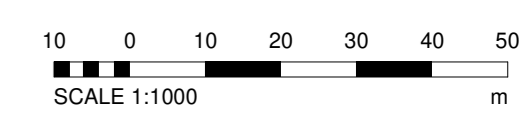
SMR
SMALLEY MARSEY RISPIN
ARCHITECTS
Floor 9, The Exchange, Station Parade, Haregate, H11 1TS

Project
CHELTENHAM, SEVERN CENTRE

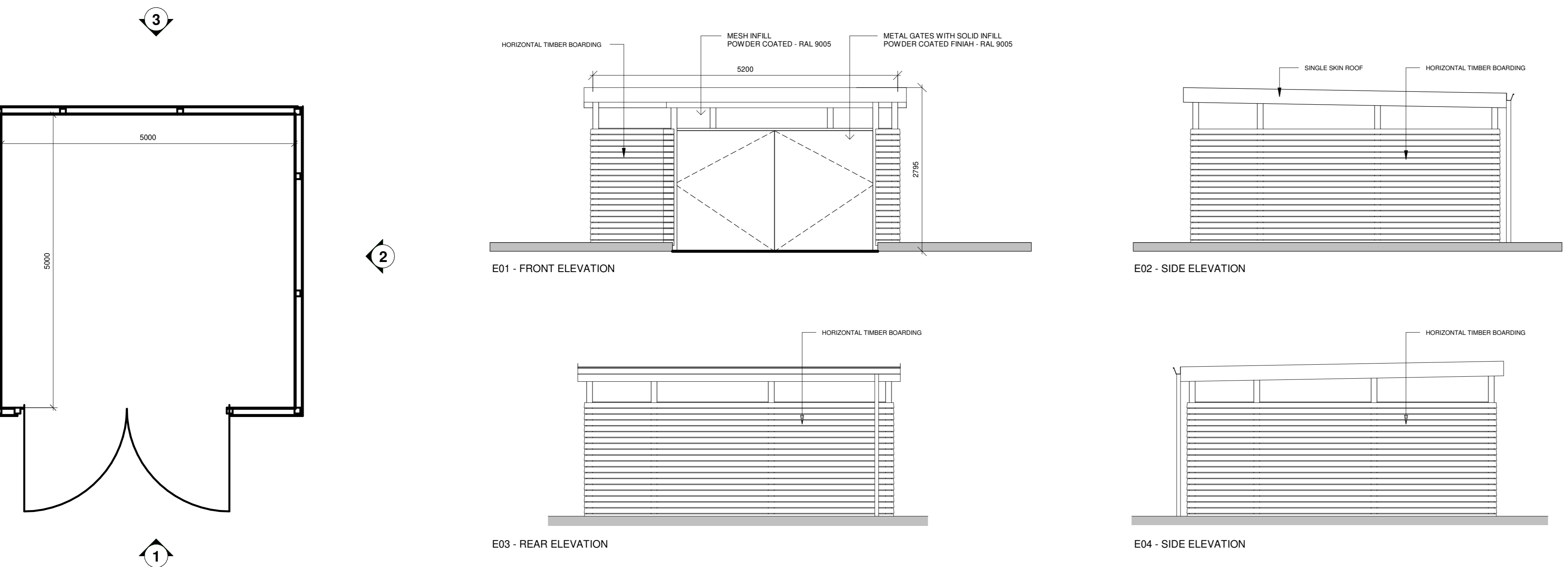
Client
GLEAVE
CLEAVE PARTNERSHIP LIMITED

Drawing Title
PROPOSED SITE PLAN

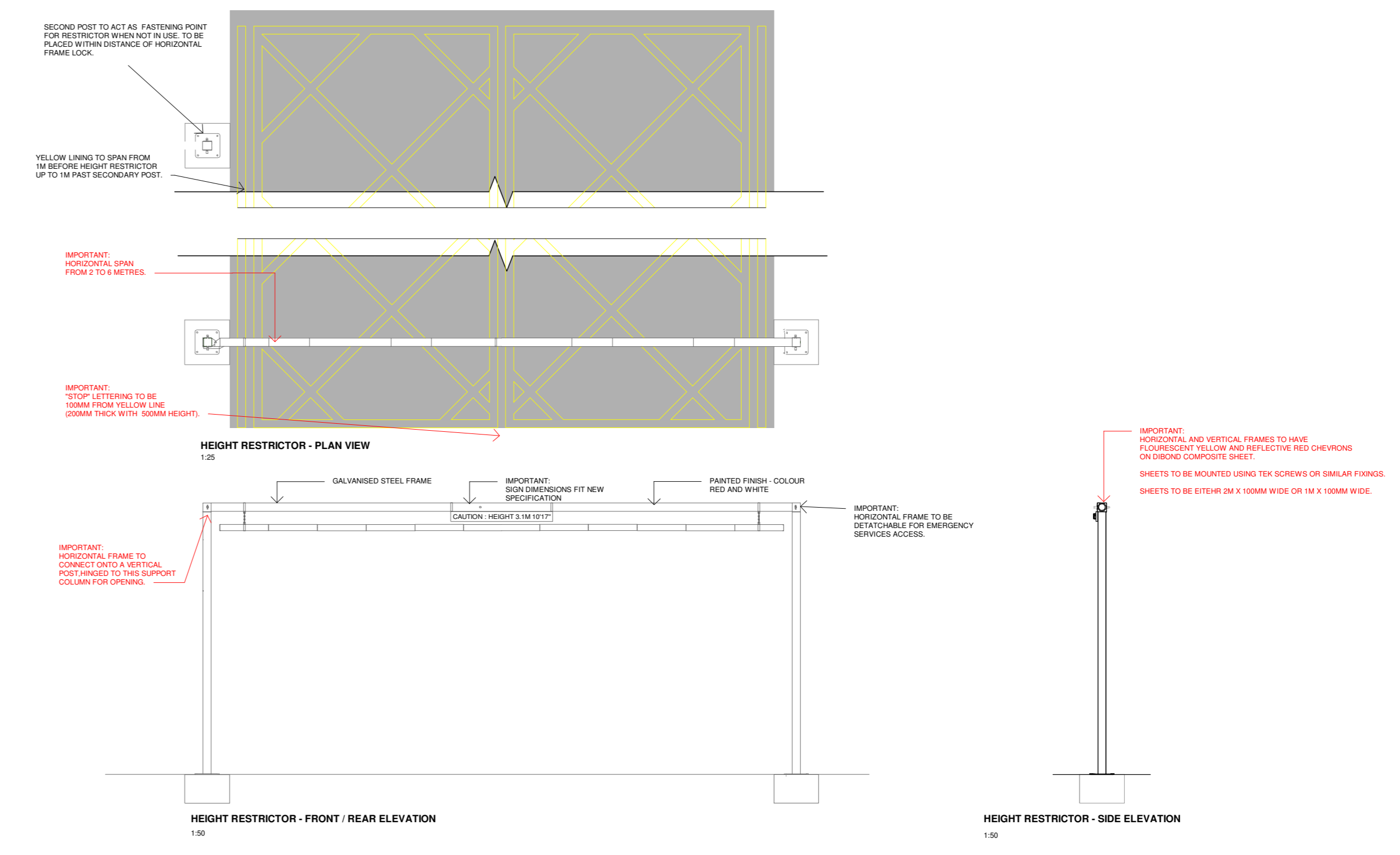
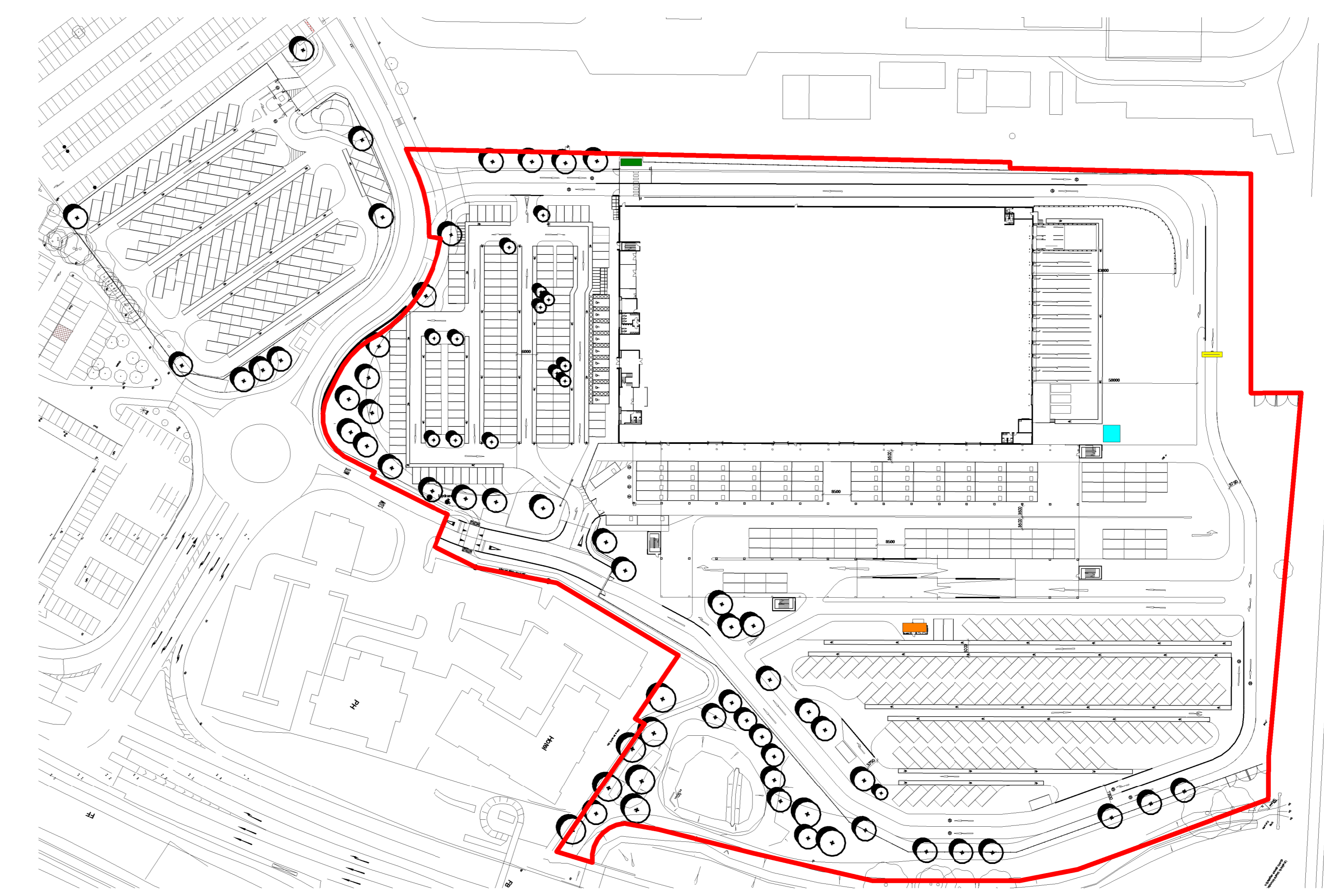
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SMR Job Ref	Sheet	Scale	Notes	Drawn	DT			
7279-00-8352	A0	NOTED						



Guard Hut Extended
1 : 50



Winter Module
1 : 50



Height Restrictor 3.1M
1 : 50

P3	WELFARE UNIT REMOVED ONLINE WITH GUIDANCE FROM TOWN PLANNING.	12.01.21	JP	SMR
P2	FOLLOWING REVIEW BY PROJECT TOWN PLANNING CONSULTANT APPLICATION REJECTED. APPROVED LAYOUT SHOWN HEIGHT RESTRICTOR PROPOSED LOCATIONS ADJUSTED AND INFO. DATED FROM USA CAR PARK ENTRANCE.	22.11.21	DT	LM
P1	FIRST ISSUE			
Rev	Description	Date	By	Out

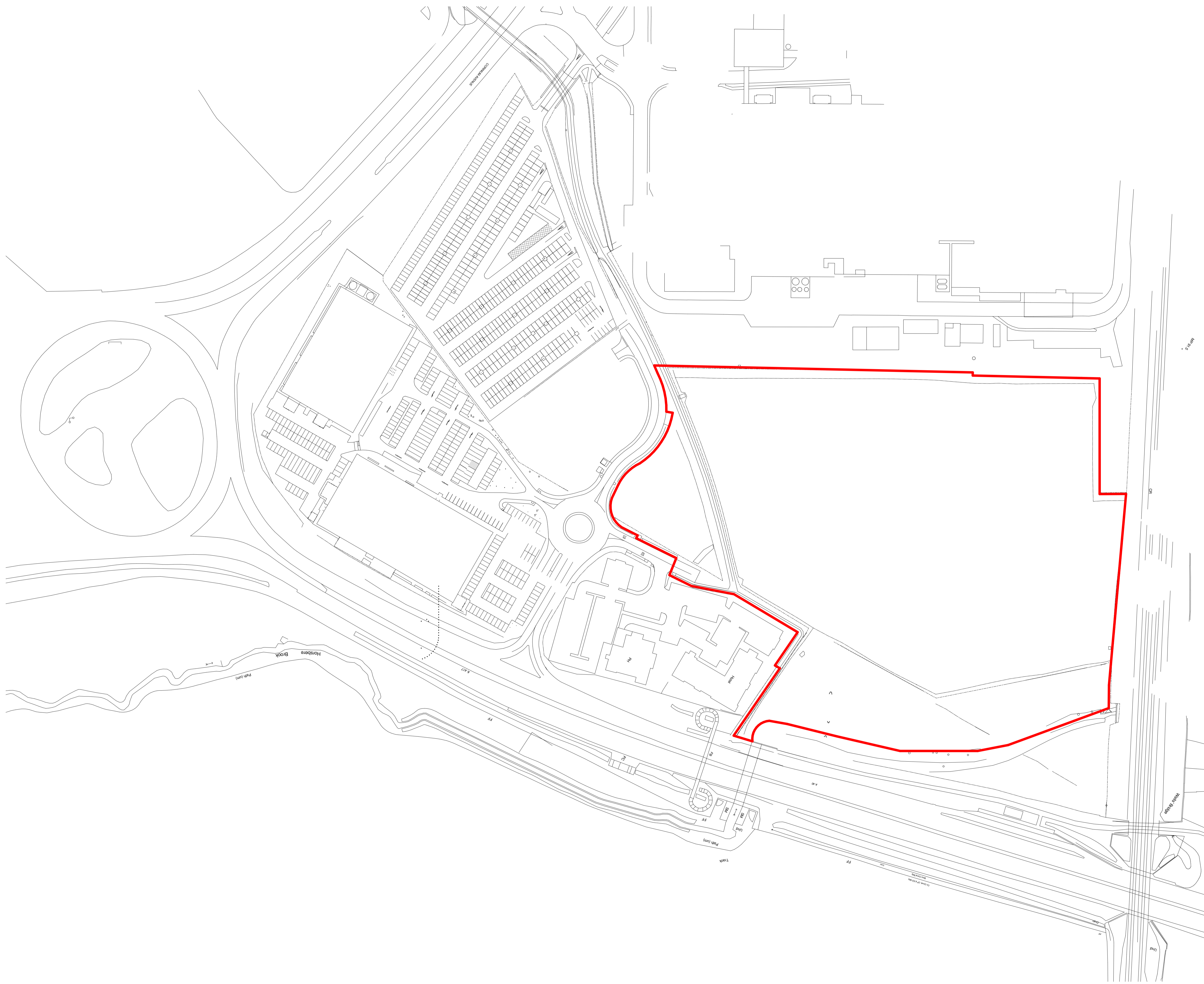
SMR
SMALLEY MARSEY RISPIN
ARCHITECTS
Floor 9, The Exchange, Station Parade, Hereford, Herefordshire, HR1 1TS

Project
CHELTENHAM, SEVERN CENTRE

Client
GLEAVE
GLEAVE PARTNERSHIP LIMITED

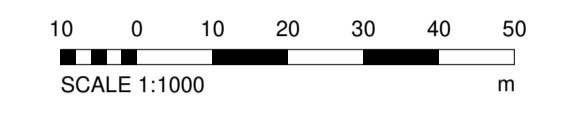
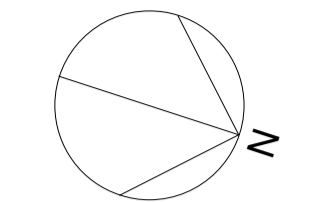
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EXTERNAL SHELTERED FACILITIES AND HEIGHT RESTRICTOR BARRIERS

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7279-00-8553	A0	NOTED	DT					



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 For other information refer to the latest revision of any cross referenced drawings.
 To be read in conjunction with relevant design standards/protocols.

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SITE AREA	
Area	Area
[Red Box]	APPLICATION SITE BOUNDARY 12.56 acres

P3	SITE BOUNDARY UPDATED AS PER COMMENTS FROM TOWN PLANNING.	12.01.22	JP	SMR
P2	FOLLOWING REVIEW BY PROJECT TOWN PLANNING CONSULTANT: APPLICATION BOUNDARY ADJUSTED, DRAWING NOTES ADJUSTED.	16.12.21	LM	SMR
P1	FIRST ISSUE	22.11.21	DT	LM
Rev	Description	Date	Dm	Ckd

Status
 PLANNING

SMR

SMALLEY MARSEY RISPIN

ARCHITECTS

Floor 2 The Exchange Station Parade Harrogate HG1 1TS

Project
 CHELTENHAM, SEVERN CENTRE

Client

Drawing Title
 SITE LOCATION PLAN

Proj Ref	Origin	Zone	Level	Type	Role	Num	Status	Rev
DWR2	SMR	00	ZZ	DR	A	8350	S3	P3
SMR Job Ref	Sheet	Scale	Drawn					
7279-00-8350	A1	1:1000	DT					