

## Householder Application for Planning Permission for works or extension to a dwelling

### Town and Country Planning Act 1990 (as amended)

#### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

### Site Location

**Disclaimer:** We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)  Northing (y)

Description

## Applicant Details

### Name/Company

Title

Mr

First name

Alex

Surname

Green

Company Name

Holmleigh Care Ltd

### Address

Address line 1

Mill Place One

Address line 2

90 Bristol Road

Address line 3

Town/City

Gloucester

County

Gloucestershire

Country

Postcode

GL1 5SQ

Are you an agent acting on behalf of the applicant?

Yes

No

### Contact Details

Primary number

\*\*\*\*\* REDACTED \*\*\*\*\*

Secondary number

\*\*\*\*\* REDACTED \*\*\*\*\*

Fax number

Email address

\*\*\*\*\* REDACTED \*\*\*\*\*

## Agent Details

### Name/Company

Title

mr

First name

Alan

Surname

Steele

Company Name

AGS Development Consultants

### Address

Address line 1

Corse Grange

Address line 2

Address line 3

Town/City

Corse

County

Country

Postcode

GL19 3RQ

## Contact Details

Primary number

\*\*\*\*\* REDACTED \*\*\*\*\*

Secondary number

\*\*\*\*\* REDACTED \*\*\*\*\*

Fax number

Email address

\*\*\*\*\* REDACTED \*\*\*\*\*

## Description of Proposed Works

Please describe the proposed works

Construction of replacement entrance canopy

Has the work already been started without consent?

Yes

No

If Yes, please state when the development or work was started (date must be pre-application submission)

01/06/2021

Has the work already been completed without consent?

Yes

No

## Materials

Does the proposed development require any materials to be used externally?

Yes

No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

**Type:**

Roof

**Existing materials and finishes:**

Triple polycarbonate roof removed

**Proposed materials and finishes:**

To match main roof of dwelling

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

Site Location Plan , drawing number 763/01  
Site Plan , drawing number 763/02  
Existing part floor plan and elevations 763/03  
Proposed part floor plan and elevations 763/04  
Design and Access Statement , ref 763/D&A

## Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

- Yes  
 No

If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings.

Please see submitted Site Plans 763/01 and 02

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

- Yes  
 No

## Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

- Yes  
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes  
 No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

- Yes  
 No

## Parking

Will the proposed works affect existing car parking arrangements?

- Yes  
 No

## Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes  
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
- The applicant
- Other person

## Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes
- No

## Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes
- No

## Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes
- No

Is any of the land to which the application relates part of an Agricultural Holding?

- Yes
- No

### Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner\* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding\*\*

\* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

\*\* "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

The Applicant

The Agent

Title

mr

First Name

Alan

Surname

Steele

Declaration Date

18/11/2022

Declaration made

## Declaration

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

Alan Steele

Date

18/11/2022

rev.	date	description
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Planning

Denmark House

Site Location Plan Date: - Oct 22

1/500 @ A3 Drawing No: 763/01 Rev. 1

Development Consultants  
**AGS**  
Corse Garage, Corse, Gloucestershire GL19 3RQ



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Do Not scale off this drawing, use only figured dimensions and report any discrepancies or omissions immediately.

rev.	date	description
A	8/12/22	New roof added.



Planning

Denmark House

Site Plan Date: - Oct 22

1/200 @ A3

Drawing No: 763/02 Rev A

Development Consultants  
**AGS**  
Corse, Garrigh, Corne, Goss, Gil, 19 3RD

Subject to correct printing. See top left

# 757 D & A (Timber Fencing)

## DESIGN AND ACCESS STATEMENT

Written in support of: -

The alteration to timber fencing to the front of

36 Denmark Road, Known as Denmark House,

Gloucester

GL1 3JQ

### Existing Front & West Boundary Treatments



### Existing Front and East Boundary Treatments



### DESIGN

In this section I will explain the design considerations adopted to ensure that the proposal is appropriate and in context with the surrounding area. I will also discuss the design principles and concepts that have been applied.

#### 1.1 Use

Denmark House is a dwelling providing long term accommodation for adults with learning difficulties. The planning use remains unchanged as a result of this proposal.

## 1.2 Amount

The subject fence measures:

Front circa 13.8 m

East side circa 8.6m

West side circa 11.2m

## 1.3 Layout

The east side fence is historic, having been in place for in excess of 10 years and therefore beyond any enforcement process. The front and west side have been in place for circa two years. The west fence provides screening from the access to the four residential properties to the north east. The front fence provides screening from the public footpath to Denmark Road.

## 1.4 Scale

The existing scale is commensurate with adjoining/locally found front fencing. It is however slightly higher by 100-150mm as is shown from the above photographs.

## 1.5 Landscaping

Soft landscaping – Two mature oaks exist within the front garden. These are unaffected by the proposed reduction in height of the front section of timber fencing.

Hard Landscaping – Currently the front is hard surfaced. This application does not propose any changes to the existing hard landscaping.

## 1.6 Appearance

Generally, the appearance remains as is, unchanged with the exception of the height of the front element of the existing fencing, as is shown on drawing number 763/05

## **ACCESS**

The current, historic, access provisions remain unchanged by this proposal.

## **DRAINAGE**

This application has no drainage implications, as such drainage is not a matter for consideration.

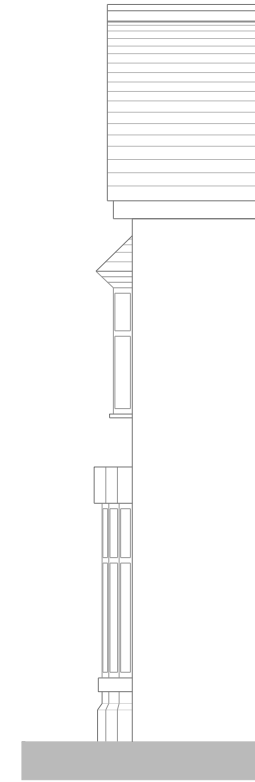
## **ECOLOGY**

This application has no ecology implications, as such Ecology is not a matter for consideration.

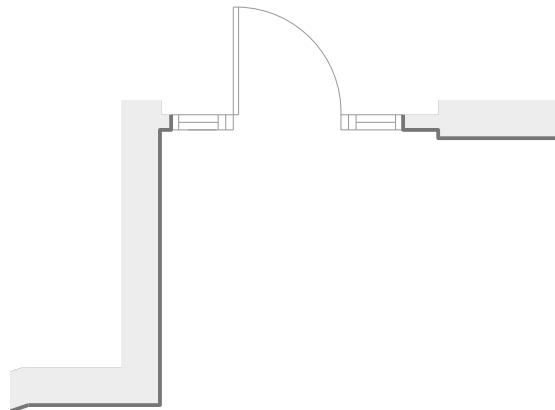
We trust officers find this proposal acceptable. Should, however they have any concerns we would welcome the ability to address any issues prior to formal determination.



Existing Front Elevation



Existing Side Elevation



Existing Ground Floor Plan

Planning

Denmark House

Existing Plan and Elevations

Date: Oct 22

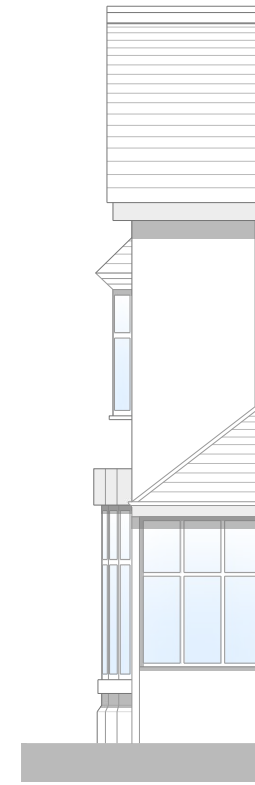
1/50 & 1/100 @ A4

Drawing No: 763/03

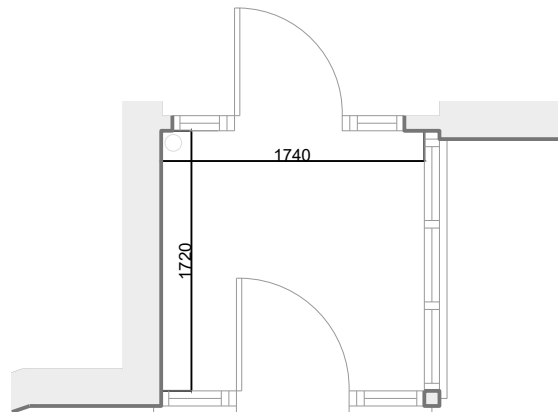
Rev



Proposed Front Elevation



Proposed Side Elevation



Proposed Ground Floor Plan

Planning

Denmark House

Proposed Plan and Elevations Date: Oct 22

1/50 & 1/100 @ A4 Drawing No: 763/04 Rev