



**APPLICATION FOR MODIFICATION AND DISCHARGE OF PLANNING OBLIGATIONS
TOWN AND COUNTRY PLANNING ACT 1990**

Publication of planning applications on council websites

Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.

If you have provided any other information as part of your application which falls within the definition of personal data under the Data Protection Act which you do not wish to be published on the council's website, please contact the council's planning department.

Please complete using block capitals and black ink.

1(a) Applicant Name and Address				1(b) Agent Name and Address			
Title:	<input type="text" value="Mr & Mrs"/>	First name:	<input type="text"/>	Title:	<input type="text" value="Mr"/>	First name:	<input type="text" value="Graham"/>
Last name:	<input type="text" value="Price"/>			Last name:	<input type="text" value="Rose"/>		
Company: (Optional)	<input type="text"/>			Company: (Optional)	<input type="text" value="Glevum Conservatories"/>		
Unit:	<input type="text"/>	House number:	<input type="text" value="20"/>	House suffix:	<input type="text"/>	Unit:	<input type="text"/>
House name:	<input type="text"/>			House name:	<input type="text"/>		
Address 1:	<input type="text" value="Brookfield Road"/>			Address 1:	<input type="text" value="Broadoak"/>		
Address 2:	<input type="text" value="Hucclecote"/>			Address 2:	<input type="text"/>		
Address 3:	<input type="text"/>			Address 3:	<input type="text"/>		
Town:	<input type="text"/>			Town:	<input type="text" value="Newnham on Severn"/>		
County:	<input type="text" value="Gloucester"/>			County:	<input type="text" value="Gloucestershre"/>		
Country:	<input type="text"/>			Country:	<input type="text"/>		
Postcode:	<input type="text" value="GL3 3HG"/>			Postcode:	<input type="text" value="GL14 1JF"/>		

2(a) State full address or location of the site
(Also include 3 copies of an Ordnance Survey based map with the boundary of the site shown in red and other land in the applicant's ownership edged and hatched in blue)

20 Brookfield Road as above

2(b) Please state the applicant's interest in the land: (Please tick)

Owner Lessee Occupier None

3 Details of the obligation which You / The Applicant wishes to have discharged or modified. Please also include 3 copies of the document containing the obligation

Condition 5, present a Flood Risk Assessment

4 The nature of the modification proposal

5 Reasons for applying for the modification or the discharge

To provide a Flood Risk Assessment

6 Checklist of drawings and information (please tick)

Please read the following checklist to make sure you have sent all the information in support of your proposal

- 3 x completed Application Forms
- 3 x Ordnance Survey based plans to show the site and its immediate environs (with the boundary marked in red and any other land in the applicant's ownership should be edged in blue)
- 3 x copies of the document containing the planning obligation

7 Declaration TO BE COMPLETED BY ALL APPLICANTS

I / We hereby apply for Modification or a Discharge of a Planning Obligation

Signed:

Date:

On behalf of:

(insert the applicant's name if signed by the Agent)

8(a) Applicant Contact Details

Telephone numbers:

Country code:	National number:	Extension number:
<input type="text"/>	<input type="text"/>	<input type="text"/>

Country code:	Mobile number: (optional)
<input type="text"/>	<input type="text"/>

Country code:	Fax number: (optional)
<input type="text"/>	<input type="text"/>

Email address: (optional)

8(b) Agent Contact Details

Telephone numbers:

Country code:	National number:	Extension number:
<input type="text"/>	<input type="text"/>	<input type="text"/>

Country code:	Mobile number: (optional)
<input type="text"/>	<input type="text"/>

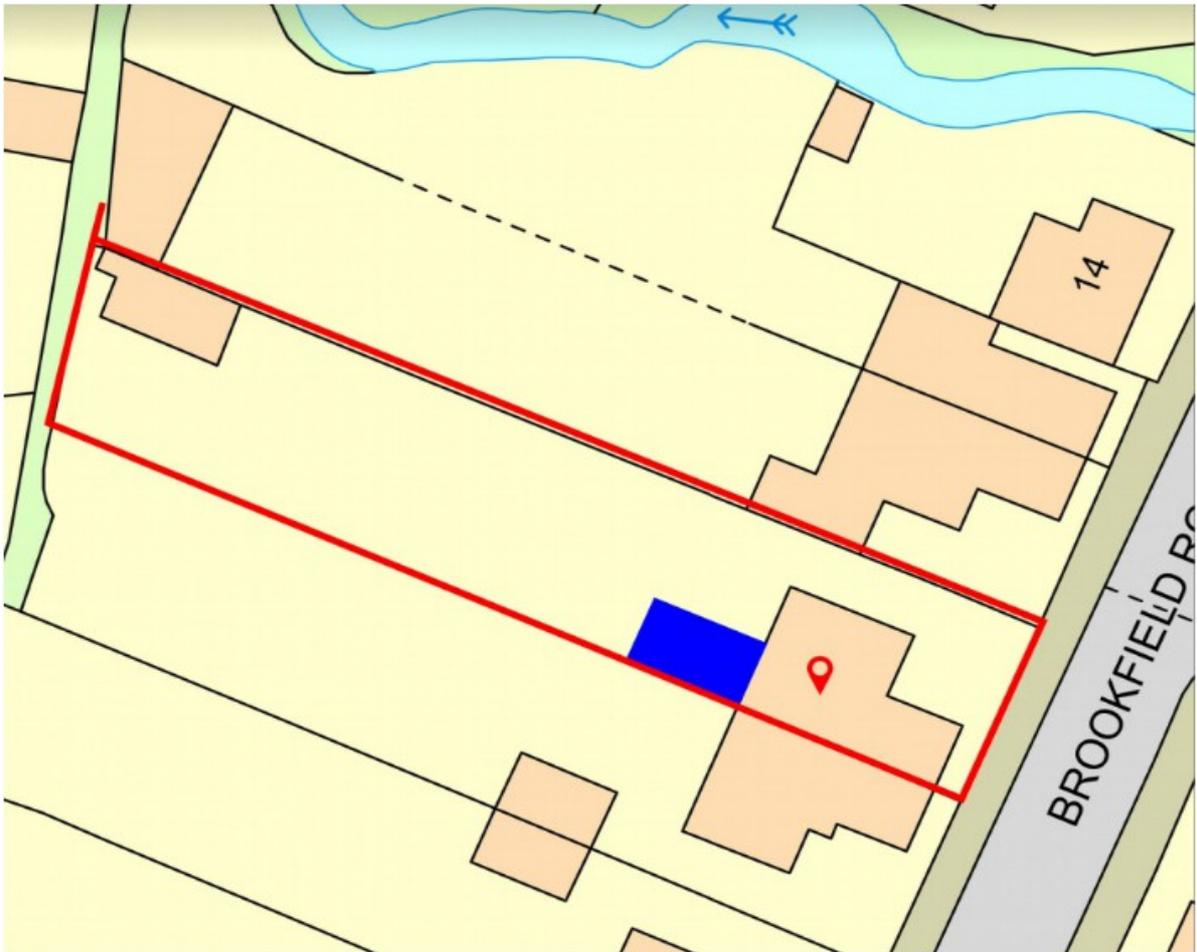
Country code:	Fax number: (optional)
<input type="text"/>	<input type="text"/>

Email address: (optional)



**FLOOD RISK ASSESSMENT FOR MINOR DEVELOPMENT
20 BROOKFIELD ROAD HUCCLECOTE GLOUCESTER GL3 3HG**

DATED : 29 AUGUST 2022



SITE PLAN

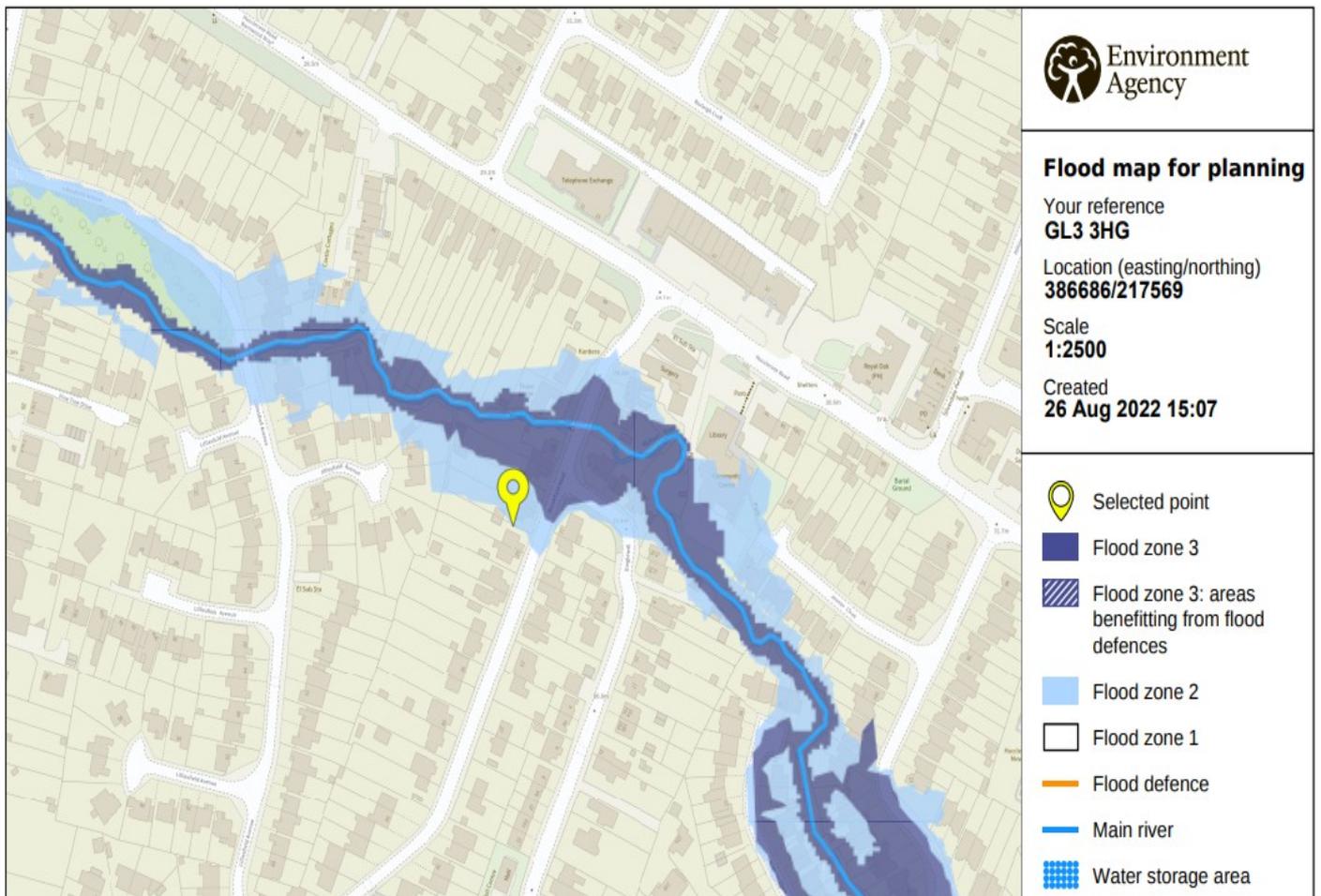
Flood map for planning

Your reference
GL3 3HG

Location (easting/northing)
386686/217569

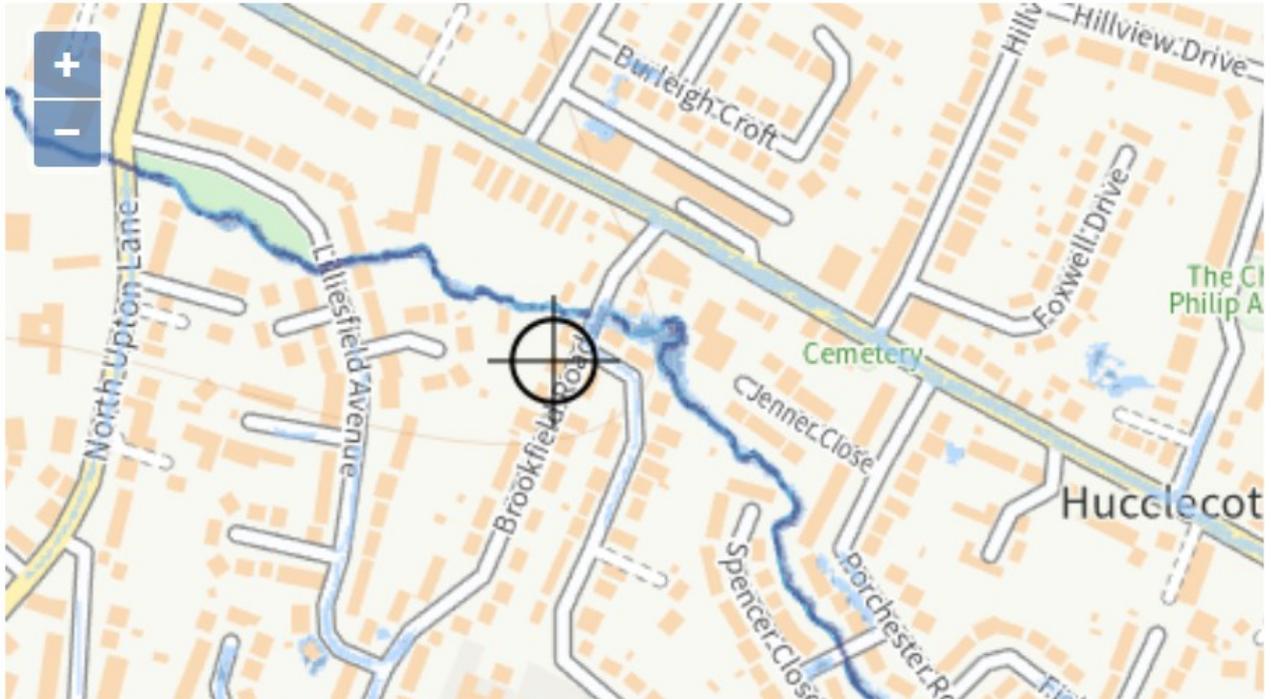
Created
26 Aug 2022 15:07

Your selected location is in flood zone 2, an area with a medium probability of flooding.



ENVIRONMENT AGENCY MAPPING FOR SURFACE WATER THREAT

Medium risk: depth



Extent of flooding from rivers or the sea

● High ● Medium ● Low ● Very low ⊕ Location you selected

MEDIUM DEPTH IS THE EQUIVALENT OF THE 1 IN 100 FLOOD RETURN.

THE LEVEL IS BELOW 300MM – IF ANY AT ALL .

LEVEL IS CONSIDERED VERY LOW.

**PROPOSED EXTENSION TO RESIDENTIAL PROPERTY. A MINOR DEVELOPMENT
AT 20 BROOKFIELD ROAD HUCCLECOTE GLOUCESTER GL3 3HG**

FLOOD RISK ASSESSMENT / DESK TOP STUDY.

This report is compiled for a planning application . Detailed plans are supplied by the applicant within the application. It is written under the criteria within the National Planning Policy Framework (NPPF) and the Environment Agency (EA) Guidance notes to local authorities.

The mapping from the Environment Agency shows the site in Flood Zone 2 but there is overlapping from Flood Zone 3 . However in a communication to the applicant the planning officer dealing with this application states “Reviewing data I have available I am satisfied that the property avoids the estimated flood level and would not impact on floodplain storage (100yr +climate change allowance).

The property stands in an area through which the Wotton Brook flows.

EA surface water shows that any possible threat from this source is low to very low.

The Criteria

As the proposed extension would be part of the house its vulnerability has to be considered “more vulnerable”

NPPF criteria states that minor development of this nature does not qualify for either the sequential or exception tests but that a flood risk assessment must be compiled.

Under NPPG it states that minor developments are unlikely to cause significant flood risk unless they :

Have an adverse effect on a watercourse , flood plain or its flood defences

Would Impede access to flood defence and management facilities, or

Where the cumulative impact of such developments would have a significant effect on local flood storage capacity or flood flows .

None of the above applies in this case.

Minor non residential extensions:: industrial/commercial/leisure etc. extensions with a footprint less than 250 m2.

Alterations:: development that does not increase the size of buildings e.g. alterations to the external appearance. householder development: For example; sheds, garages, games rooms etc. within the curtilage of the existing dwelling, in addition to physical extensions in the existing dwelling itself.

According to the EA's advices the minimum requirements for an FRA that is submitted to the Local Planning Authority for Residential/Industrial/Commercial extensions less than 250m² within Flood Zone 2 and 3 should confirm that:

Floor levels within the proposed development will be set no lower than existing levels.

AND

Flood proofing of the proposed development has been considered by the applicant and will be incorporated where appropriate.

OR

Floor levels within the extension will be set 300mm above the known or modelled 1%(1 in 100 chance each year) river flood level or 0.5% (1 in 200 chance each year) tidal and coastal flood level.

The first option is suitable in this case.

This is a minor extension to the property and should be set at the same level as the existing ground floor level of the house.

The planing officer states that "as the development is relatively small and there is no increase to the existing flood risk to persons at the property I have no objection to the development".

This has to be subject to his agreement with this FRA although he does say that a simple FRA would suffice for this application.

However the question of the sustainable lifetime of the property has to be considered (this is 100 years) as well as climate change .

It is , therefore recommended that the external door should be made floodproof and that further flood resilience measures be taken.

- Both the inside and outside of the extension works should be coated with flood resilient material to a height 400mm above the ground floor level.
- The electrical wiring should drop from the ceiling to sockets 400mm above ground floor level.
- All drainage and waste pipes would be fitted with 'non-return valves' to prevent the ingress of contaminated water back into the building.
- No metal piping should be used under the extension to abort future corrosion.
- The mortar mix should include flood protective material including the foundations.

- The ground floor should be of concrete rather than wood.
- The electrics should be connected to the mains box so that this controls all electrics in the property.

Levels Information .

The ground levels at the site have a mean value of 29.2AOD and from the EA's Wotton Brook 100yr +CC 2D the flood level is around 29.1 mAOD.

It is therefore recommended that the ground floor level matches the ground floor level in the existing property. The threshold level should be 350mm above ground level

Groundwater has never been experienced at the property

Neither has pluvial flooding.

There has been few incidents of sewer discharge in the general area.

There is a threat from reservoir flooding but the EA states this is hardly likely to happen considering the history of husbandry and inspection of reservoirs throughout the country.

With regard to drainage from the extension over capacity water butts could be used to store it as grey water for use in the house for hand washing and toilet facilities. It could also be used for external cleaning such as car washing outside furniture cleansing and irrigation for the garden during the summer months, Should there be any overspill from the water butts in exceptional storm conditions then a French Drain should be in place to carry the water to a part of the garden for attenuation.

Looking at the plans there would appear to be plenty of room for this in the back garden area.

CONCLUSION

This report complies with the criteria within the NPPF and its guidance notes together with the EA Advisory Notes to local authorities.

I consider there is no reason for objection to this application on the grounds of flood risk .

Signed



David Eggleton
Managing Director.