

## Householder Application for Planning Permission for works or extension to a dwelling

### Town and Country Planning Act 1990 (as amended)

#### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

### Site Location

**Disclaimer:** We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)  Northing (y)

Description

## Applicant Details

### Name/Company

Title

MR & MRS

First name

MARTIN

Surname

BROADY

Company Name

### Address

Address line 1

3 Charlock Close

Address line 2

Address line 3

Gloucestershire

Town/City

Gloucester

Country

Postcode

GL4 6YT

Are you an agent acting on behalf of the applicant?

Yes

No

### Contact Details

Primary number

\*\*\*\*\* REDACTED \*\*\*\*\*

Secondary number

Fax number

Email address

## Agent Details

Name/Company

Title

First name

Surname

Company Name

## Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

## Contact Details

Primary number

Secondary number

Fax number

Email address

## Description of Proposed Works

Please describe the proposed works

Has the work already been started without consent?

Yes

No

## Materials

Does the proposed development require any materials to be used externally?

Yes

No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

**Type:**

Walls

**Existing materials and finishes:**

FACING BRICK CAVITY CONSTRUCTION

**Proposed materials and finishes:**

FACING BRICK CAVITY CONSTRUCTION AND RENDERED

**Type:**

Roof

**Existing materials and finishes:**

CONCRETE ROOF TILES

**Proposed materials and finishes:**

FLAT ROOF

**Type:**

Windows

**Existing materials and finishes:**

UPVC DOUBLE GLAZED

**Proposed materials and finishes:**

UPVC DOUBLE GLAZED

**Type:**

Doors

**Existing materials and finishes:**

UPVC DOUBLE GLAZED

**Proposed materials and finishes:**

UPVC DOUBLE GLAZED

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

**DRAWINGS:**

MB-3CC-R-G-001

MB-3CC-R-G-002

## Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

Yes

No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

Yes

No

## Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

- Yes  
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes  
 No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

- Yes  
 No

## Parking

Will the proposed works affect existing car parking arrangements?

- Yes  
 No

## Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes  
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent  
 The applicant  
 Other person

## Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes  
 No

## Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff  
(b) an elected member  
(c) related to a member of staff  
(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

Yes

No

## Ownership Certificates and Agricultural Land Declaration

### Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

Yes

No

Is any of the land to which the application relates part of an Agricultural Holding?

Yes

No

### Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner\* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding\*\*

\* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

\*\* "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

**NOTE:** You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

The Applicant

The Agent

Title

MR

First Name

Glenn

Surname

Church

Declaration Date

01/09/2022

Declaration made

## Declaration

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

Glenn Church

Date

01/09/2022

- NOTES**
- 1) ALL DIMENSIONS TO BE CHECKED ONSITE PRIOR TO CONSTRUCTION. (INTERNAL DIMS MAY CHANGE DEPENDING ON EXTERNAL WALL CONSTRUCTION METHOD)
  - 2) A STRUCTURAL ENGINEER MUST BE CONSULTED FOR ALL STRUCTURAL WORKS
  - 3) WORKS TO BE CARRIED OUT BY COMPETENT, QUALIFIED CONTRACTORS
  - 4) ALL WORKS TO BE CARRIED OUT UNDER ALOCAL AUTHORITY BUILDING NOTICE  
ALL BUILD NOTES ARE GIVEN BASED ON STANDARD BUILDING REGULATIONS DETAILS AND MAY VARY, CONSTRUCTION METHODS MAY VARY ACCORDING TO BUILDERS PREFERENCE AND BUILDING CONTROL OFFICER REQUIREMENTS.  
THESE DRAWINGS ARE PRODUCED FOR PLANNING ONLY.



**FRONT ELEVATION - 1:100**



**ELEVATION ON A - 1:100**

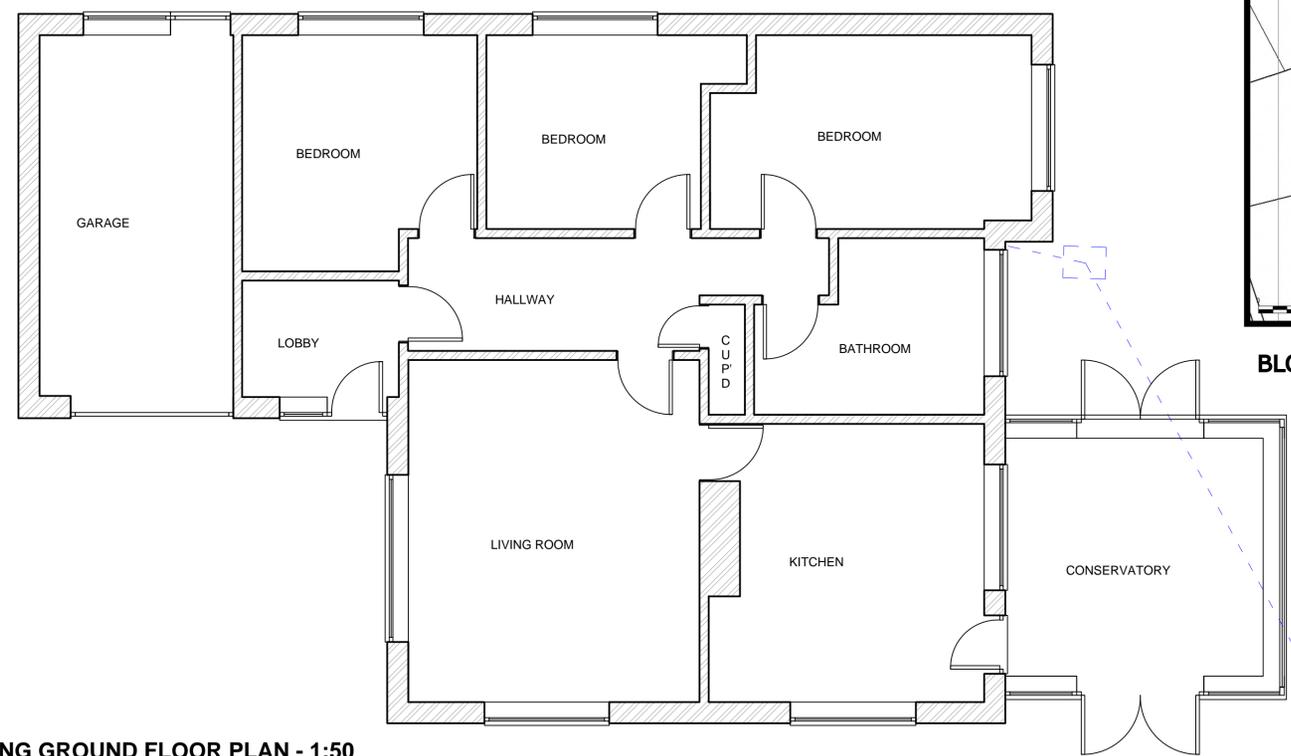


**REAR ELEVATION - 1:100**



**ELEVATION ON B - 1:100**

0 1 2 3 4 5  
THIS BAR SHOULD SCALE 5M @ 1:100

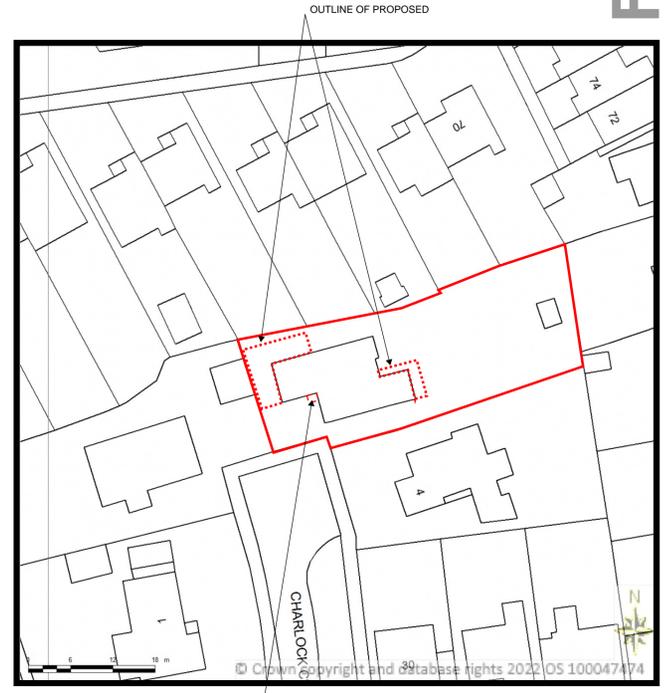


**AS EXISTING GROUND FLOOR PLAN - 1:50**

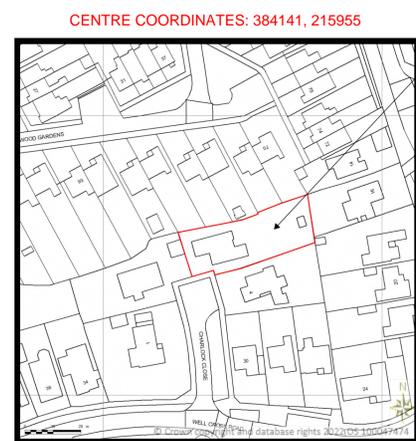
0 1 2 3 4 5  
THIS BAR SHOULD SCALE 5M @ 1:50



**BLOCK PLAN EXISTING 1:500**



**BLOCK PLAN PROPOSED 1:500**



**SITE LOCATION PLAN 1:1250**

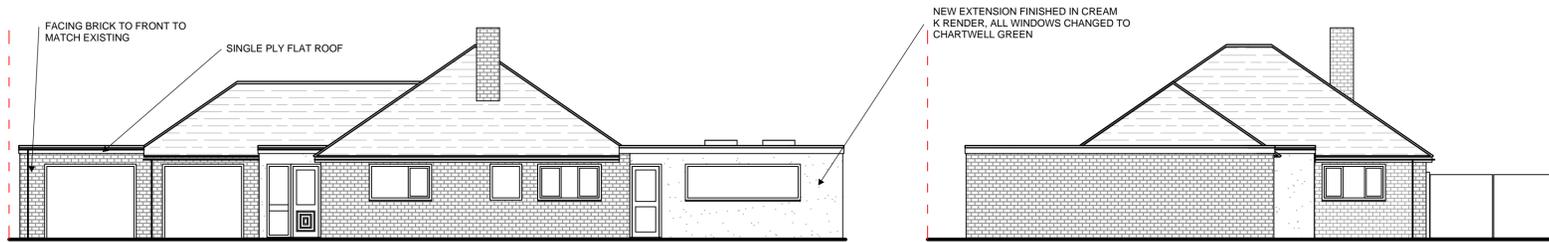
**CLIENT/PROJECT:**  
MR & MRS M BROADY  
PROPOSED EXTENSION TO PROPERTY  
3 CHARLOCK CLOSE, ROBINSWOOD, GLOS GL4 6YT

**TITLE:**  
AS EXISTING PLANS AND ELEVATIONS INCLUDING SITE LOCATION AND BLOCK PLANS

**SCALE:**  
1:1250, 1:500, 1:100 AND 1:50 @ A1

**DATE:**  
AUGUST 2022

MB-3CC-R-G-001



FRONT ELEVATION - 1:100

ELEVATION ON A - 1:100



REAR ELEVATION - 1:100



ELEVATION ON B - 1:100

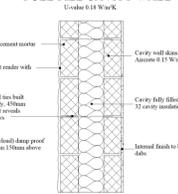


THIS BAR SHOULD SCALE 5M @ 1:100

**FULL FILL CAVITY WALL (RENDERED)**  
To achieve minimum U Value of 0.18 W/m<sup>2</sup>K  
20mm two coat sand/cement render to comply to BS EN 13914-1 with waterproof additive on 100mm lightweight block, 0.15 W/m<sup>2</sup>K, e.g. Celcon solar, Toplite Standard. Fully fill the cavity with 150mm Ditherm 32 cavity insulation as manufacturer's spec. Inner leaf to be 100mm lightweight, 0.15 W/m<sup>2</sup>K, e.g. Celcon solar, Toplite standard. Internal finish to be 12.5mm plasterboard on dabs. Walls to be built with 1:1.5 cement mortar.

**FULL FILL CAVITY WALL (BRICKWORK)**  
To achieve minimum U Value of 0.18 W/m<sup>2</sup>K  
New cavity wall to comprise of 105mm suitable facing brick. Full fill the cavity with 150mm Ditherm 32 insulation as manufacturer's details. Inner leaf constructed using 100mm lightweight block, 0.15 W/m<sup>2</sup>K, e.g. Celcon solar, Thermatite turbo. Internal finish to be 12.5mm plasterboard on dabs. Walls to be built with 1:1.5 cement mortar.

**FULL FILL CAVITY WALL**

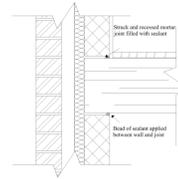


**NEW AND REPLACEMENT WINDOWS**  
New and replacement windows to be double glazed with 16-20mm argon gap and soft coat low-E glass. Window Energy Rating to be Band B or better and to achieve U-value of 1.4 W/m<sup>2</sup>K. The door and window openings should be limited to 25% of the extension floor area plus the area of any existing openings covered by the extension.  
Insulated plasterboard to be used in reveals to abut jamb and to be considered within reveal soffits. Fully insulated and continuous cavity closers to be used around reveals.  
Windows and door frames to be taped to surrounding openings using air sealing tape. Windows to be fitted with trickle vents to provide adequate background ventilation in accordance with Approved Document F.

**NEW AND REPLACEMENT DOORS**  
New and replacement doors to achieve a U-Value of 1.4W/m<sup>2</sup>K. Glazed areas to be double glazed with 16-20mm argon gap and soft low-E glass. Glass to be toughened or laminated safety glass to BS 6206, BS EN 14179 or BS EN ISO 12543-1 and Part K (Part N in Wales) of the current Building Regulations.  
Insulated plasterboard to be used in reveals to abut jamb and to be considered within reveal soffits. Fully insulated and continuous cavity closers to be used around reveals.  
Windows and door frames to be taped to surrounding openings using air sealing tape.

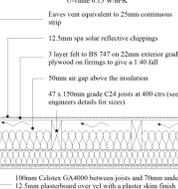
**INTERNAL STUD PARTITIONS**  
100mm x 50mm softwood treated timbers studs at 400mm ctrs with 50 x 100mm head and sole plates and solid intermediate horizontal ruggans at 1/3 height or 450mm. Provide min 10kg/m<sup>2</sup> density acoustic soundproof quilt tightly packed (eg. 100mm Rockwool or Iso wool mineral fibre sound insulation) in all voids the full depth of the stud. Partitions built off doubled up joists where partitions run parallel or provide nogging where at right angles, or built off DPC on thickened concrete slab if solid ground floor. Walls faced throughout with 12.5mm plaster board with skim plaster finish. Taped and jointed complete with beads and stops.

**JOIST BUILT INTO EXTERNAL WALL**

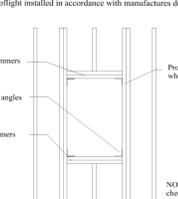


**VENTILATED FLAT ROOF**  
(Imposed load max 1.0 kN/m<sup>2</sup> - dead load max 0.75 kN/m<sup>2</sup>)  
To achieve U value of 0.15 W/m<sup>2</sup>K  
Ventilated flat roof construction comprising: 12.5mm spa solar reflective chippings to achieve aa designated fire rating for surface spread of flame bedded in bitumen on three layer felt to BS 6229 laid on 22mm exterior grade plywood on firings to give a 1.40 fall. fixed to 47 x 150mm grade C24 timber joists at 400 ctrs max span 3.22m (see engineer's details for sizes). Cross-ventilation to be provided on opposing sides by a proprietary eaves ventilation strip equivalent to 25mm continuous with fly proof screen. Flat roof insulation is to be continuous with the wall insulation but stopped back to allow a 50mm air gap above the insulation for ventilation. Insulation to be 100mm Celotex GA4000 between joists and 70mm under joists. Ceilings to be 12.5mm plasterboard over vapour barrier with skim plaster finish.  
Provide cavity tray where pitched roof meets existing wall. Provide restraint to flat roof by fixing using of 30 x 5 x 1000mm ms galvanised lateral restraint straps at maximum 2000mm centres fixed to 100 x 50mm wall plates and anchored to wall.  
THIS IS A GENERAL GUIDE BASED ON NORMAL LOADING CONDITIONS FOUND IN DOMESTIC CONSTRUCTION. IT IS YOUR RESPONSIBILITY TO ASSESS YOUR DESIGN TO ASCERTAIN WHETHER ENGINEER'S DETAILS/CALCULATIONS ARE REQUIRED. PLEASE REFER TO THE TRADA DOCUMENT - SPAN TABLES FOR SOLID TIMBER MEMBERS IN FLOORS, CEILINGS AND ROOFS FOR DWELLINGS' OR ASK YOUR BUILDING CONTROL OFFICER FOR ADVICE.

**COLD FLAT ROOF**



**ROOFLIGHTS (STRUCTURE)**



**NOTES**  
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**EXTRACT TO KITCHEN**  
Kitchen to have mechanical ventilation with an extract rating of 60l/sec or 30l/sec if adjacent to hob to external air, sealed to prevent entry of moisture. Internal doors should be provided with a 10mm gap below the door to aid air circulation. Ventilation provision in accordance with the Domestic Ventilation Compliance Guide. Intermittent extract fans to BS EN 13141-4. Cooker hoods to BS EN 13141-3. All fixed mechanical ventilation systems, where they can be tested and adjusted, shall be commissioned and a commissioning notice given to the Building Control Body.

**EXTRACT TO WC**  
Toilet to have mechanical vent ducted to external air to provide min 15 litres / sec extraction. Vent to be connected to light switch and to have 15 minute over run if no window in room. Internal doors should be provided with a 10mm gap below the door to aid air circulation. Ventilation provision in accordance with the Domestic Ventilation Compliance Guide. Intermittent extract fans to BS EN 13141-4. All fixed mechanical ventilation systems, where they can be tested and adjusted, shall be commissioned and a commissioning notice given to the Building Control Body.

**C2: CONDENSATION**  
Walls, floors and roof of the building to be designed and constructed so that their structural and thermal performance will not be adversely affected by interstitial condensation, surface condensation or mould growth. Account to be taken of the building's form and orientation in relation to topography, prevailing winds, sunlight and over-shadowing, and the rate at which humidity is generated. Materials with the highest vapour resistance should be located on the warm side of a thermal element. VCLs to be provided where necessary.  
The junctions between elements are designed to Accredited Construction Details or guidance of BRE IP17/01 and BS 5250:2011+A1:2016 Code of practice for control of condensation in buildings to be followed.

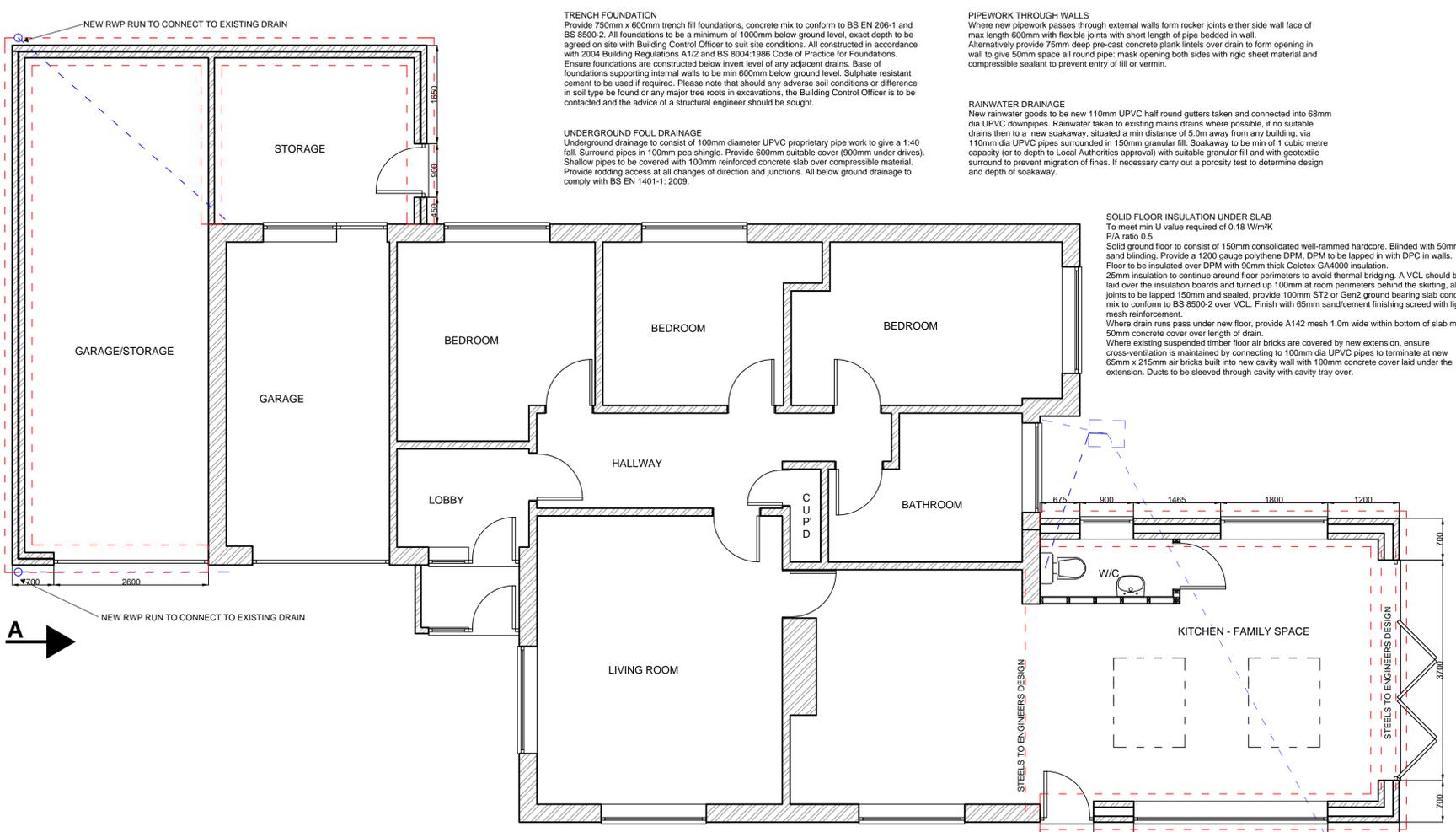
**ABOVE GROUND DRAINAGE**  
All new above ground drainage and plumbing to comply with BS EN 12056-2:2000 for sanitary pipework. All drainage to be in accordance with Part H of the Building Regulations. Wastes to have 75mm deep anti vac bottle traps and rodding eyes to be provided at changes of direction.

Size of wastes pipes and max length of branch connections (if max length is exceeded then anti vacuum traps to be used)  
Wash basin - 1.7m for 32mm pipe 4m for 40mm pipe  
Bath/showers - 3m for 40mm pipe 4m for 50mm pipe  
W/C - 6m for 100mm pipe for single WC  
All branch pipes to connect to 110mm soil and vent pipe terminating min 900mm above any openings within 3m.  
Or to 110mm upvc soil pipe with accessible internal air admittance valve complying with BS EN 12380, placed at a height so that the outlet is above the trap of the highest fitting.  
Waste pipes not to connect on to SVP within 200mm of the WC connection.  
Supply hot and cold water to all fittings as appropriate.

**ELECTRICAL**  
All electrical work required to meet the requirements of Part P (electrical safety) must be designed, installed, inspected and tested by a competent person registered under a competent person self certification scheme such as BRE certification Ltd, NICEIC Certification Services or Zurich Ltd. An appropriate BS7671 Electrical Installation Certificate is to be issued for the work by a person competent to do so. A copy of a certificate will be given to Building Control on completion.

**INTERNAL LIGHTING**  
Install low energy light fittings that only take lamps having a luminous efficiency greater than 45 lumens per circuit watt and a total output greater than 400 lamp lumens. Not less than three energy efficient light fittings per four of all the light fittings in the main dwelling spaces to comply with Part L of the current Building Regulations and the Domestic Building Services Compliance Guide.

**HEATING**  
Extend all heating and hot water services from existing and provide new TRVs to radiators. Heating system to be designed, installed, tested and fully certified by a GAS SAFE registered specialist. All work to be in accordance with the Local Water Authorities bye laws, the Gas Safety (Installation and Use) Regulations 1998 and IEE Regulations.



AS PROPOSED GROUND FLOOR PLAN - 1:50



THIS BAR SHOULD SCALE 5M @ 1:50

**HOMEPLAN**  
DRAFTING SERVICES

ARCHITECTURE PLANNING DESIGN

**CLIENT/PROJECT:**  
MR & MRS M BROADY

**PROPOSED EXTENSION TO PROPERTY**  
3 CHARLOCK CLOSE, ROBINSWOOD, GLOS GL4 6YT

**TITLE:**  
AS PROPOSED PLANS AND ELEVATIONS

**SCALE:**  
1:100 AND 1:50 @ A1

**DATE:**  
AUGUST 2022

MB-3CC-R-G-002

FOR PLANNING ONLY