

## Application for a Non-Material Amendment Following a Grant of Planning Permission

### Town and Country Planning Act 1990 (as amended)

#### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

### Site Location

**Disclaimer:** We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Gloucester Royal Hospital

Address Line 1

Great Western Road

Address Line 2

Address Line 3

Gloucestershire

Town/city

Gloucester

Postcode

GL1 3NN

Description of site location must be completed if postcode is not known:

Easting (x)

384117

Northing (y)

218670

Description

## Applicant Details

### Name/Company

Title

First name

Surname

Company Name

### Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Are you an agent acting on behalf of the applicant?

Yes

No

### Contact Details

Primary number

Secondary number

Fax number

Email address

## Agent Details

### Name/Company

Title

First name

Surname

Company Name

### Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

### Contact Details

Primary number

Secondary number

Fax number

Email address

## Eligibility

Does the applicant have an interest in the part of the land to which this amendment relates?

- Yes  
 No

If the applicant is not the sole owner, has notification under Article 10 of the Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended) been given?

- Yes  
 No  
 Not applicable

## Description of Your Proposal

Please provide the description of the approved development as shown on the decision letter

Proposed extension to ground, first and second floors to create new lift and lobby with disposal hold. Internal alterations to second floor to provide a new ward and ancillary accommodation. New external plant compound at ground floor adjacent to the building with roof mounted plant at roof level.

Reference number

Date of decision

What was the original application type?

For the purpose of calculating fees, which of the following best describes the original development type?

- Householder development:** Development to an existing dwelling-house or development within its curtilage  
 **Other:** Anything not covered by the above category

## Non-Material Amendment(s) Sought

Please describe the non-material amendment(s) you are seeking to make

Slight enlargement of proposed lift shaft.  
External ground floor facing material change.

Please state why you wish to make this amendment

To allow lift pit to avoid existing underground structures.  
Original material is no longer manufactured so proposal is to match brick being used elsewhere on site.

Are you intending to substitute amended plans or drawings?

- Yes  
 No

If yes, please complete the following details

Old plan/drawing numbers

4072-IDP-316 P2-Proposed Elevations - Sheet 1  
4072-IDP-317 P1-Proposed Elevations - Sheet 2  
4072-IDP-304 P2-Proposed block plan  
4072-IDP-313 P2-Proposed ground and first floor  
4072-IDP-314 P1-Proposed second floor plan  
4072-IDP-315-P1 Proposed roof plan  
4072-IDP-305 P2-Hard and soft landscaping

New plan/drawing numbers

4072-EXI-316 P5-Proposed Elevations - Sheet 1  
4072-EXI-317 P5-Proposed Elevations - Sheet 2  
4072-EXI-304 P4-Proposed block plan  
4072-EXI-313 P4-Proposed ground and first floor  
4072-EXI-314 P2-Proposed second floor plan  
4072-EXI-315-P3 Proposed roof plan  
4072-EXI-305 P4-Hard and soft landscaping

## Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes  
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent  
 The applicant  
 Other person

If Other has been selected, please provide contact details:

Title

\*\*\*\*\* REDACTED \*\*\*\*\*

First name

\*\*\*\*\* REDACTED \*\*\*\*\*

Surname

\*\*\*\*\* REDACTED \*\*\*\*\*

Phone Number

\*\*\*\*\* REDACTED \*\*\*\*\*

Email

\*\*\*\*\* REDACTED \*\*\*\*\*

## Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes

No

**If Yes, please complete the following information about the advice you were given (this will help the authority to deal with this application more efficiently):**

Officer name:

Title

\*\*\*\*\* REDACTED \*\*\*\*\*

First Name

\*\*\*\*\* REDACTED \*\*\*\*\*

Surname

\*\*\*\*\* REDACTED \*\*\*\*\*

Reference

Date (must be pre-application submission)

25/11/2021

Details of the pre-application advice received

Email exchange, culminating in response "I do not see any issues with this but you will need to submit an NMA"

## Authority Employee/Member

**With respect to the Authority, is the applicant and/or agent one of the following:**

**(a) a member of staff**

**(b) an elected member**

**(c) related to a member of staff**

**(d) related to an elected member**

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

Yes

No

## Declaration

Declaration

I / We hereby apply for Non-Material Amendment as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

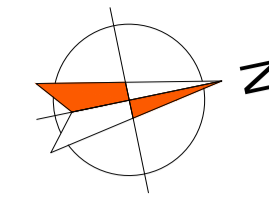
I / We agree to the outlined declaration

Signed

Alex Griffiths

Date

28/02/2022





0 5 10 20 30 40  
 scale 1:200 metres

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all dimensions to be checked on site and architect notified of any discrepancies prior to commencement. **DO NOT SCALE** ©

notes:

-  Planning application boundary
-  Proposed extension extent



P4	25.02.22	Drawing number & sheet updated to exi format. Proposed extension foot print adjusted and path re-aligned to suit.	HC	LV
P3	22.04.21	Plant compound removed and path re-aligned to suit.	SH	SH
P2	21.08.20	External path way updated.	HC	LV
P1	11.06.20	First Issue.	HC	LV
rev:	date:	comment(s):	name:	check:



exi ref: H4072

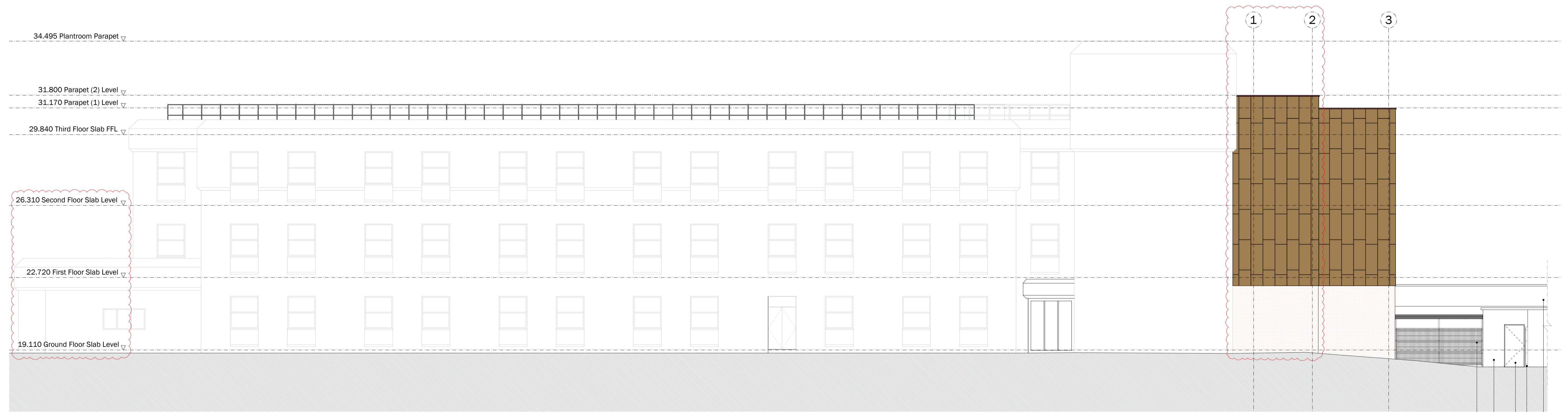
client: Gloucestershire Hospital NHS FT  
 job: SSD - Gloucestershire Royal Hospital  
 title: Proposed Block Plan  
 drawn: HC date: 25.02.2022  
 checked: LV scale (A1): 1:100  
 suitability: - purpose: Planning  
 drg no: **4072-EXI-304-P4**

The Walker Suite//Butts Park Arena//Coventry//CV1 3GE



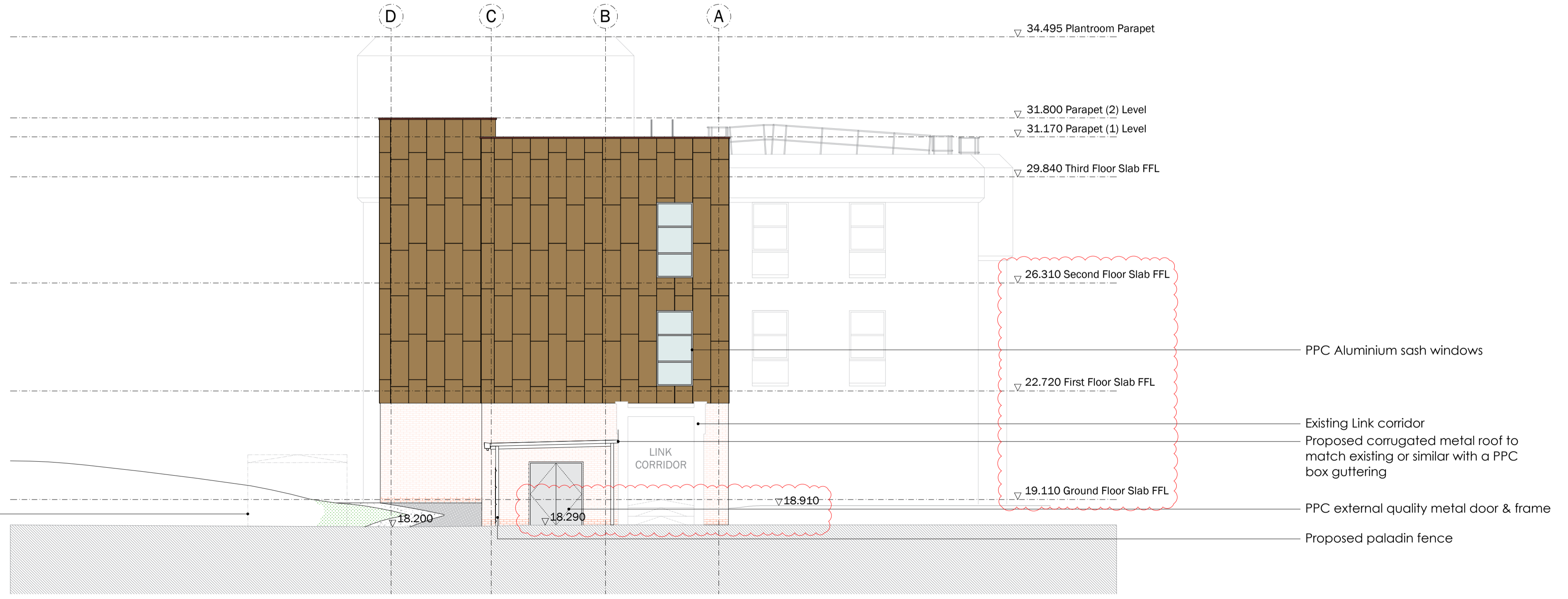
Brickwork - Hurstwood Multi UK Brick Company Brick UK436  
 Rockpanel "stone" rain screen façade  
 Colour: Mineral Rust  
 Proposed grass verge  
 Proposed gravel area  
 Proposed tarmac path

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 notes:  
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Elevation A  
1:100

Proposed paladin fence  
 Existing external Link corridor  
 Proposed external link corridor door (Reuse use external link corridor door)  
 Existing paladin fence  
 Existing Link corridor

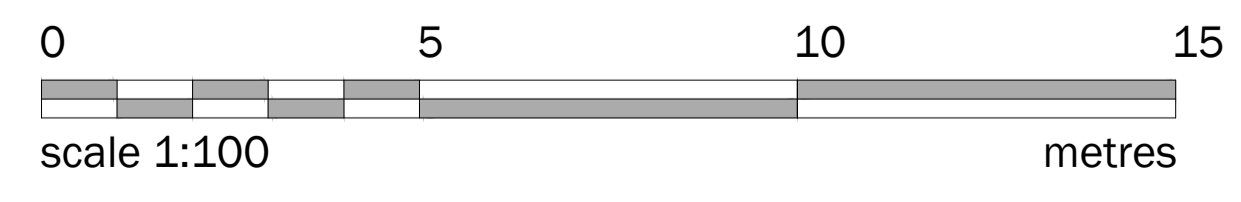


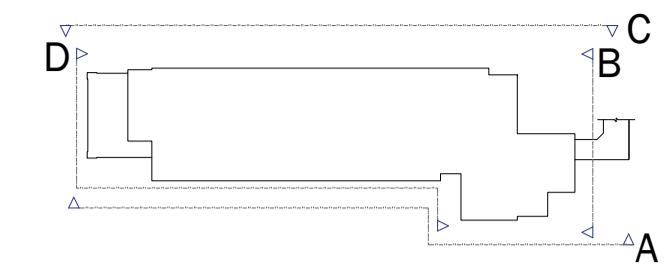
Elevation B  
1:100

P5	25.02.22	Brickwork type update.	HC	LV
P4	19.11.21	Sheet and drawing number updated to exi format. Elevation A & levels updated.	HC	LV
P3	22.04.21	Plant compound and ventilation ductwork removed.	HC	SH
P2	21.08.20	New external door for disposal hold added to elevation B. Updated external path layout.	HC	LV
P1	11.06.20	First Issue.	HC	LV
rev:	date:	comment(s):	name:	check:



client: Gloucestershire Hospital NHS FT  
 job: SSD - Gloucestershire Royal Hospital  
 title: Proposed Elevations - Sheet 1  
 drawn: HC date: 25.02.2022  
 checked: LV scale (A1): 1:100  
 suitability: - purpose: Planning  
 drg no: 4072-EXI-316-P5

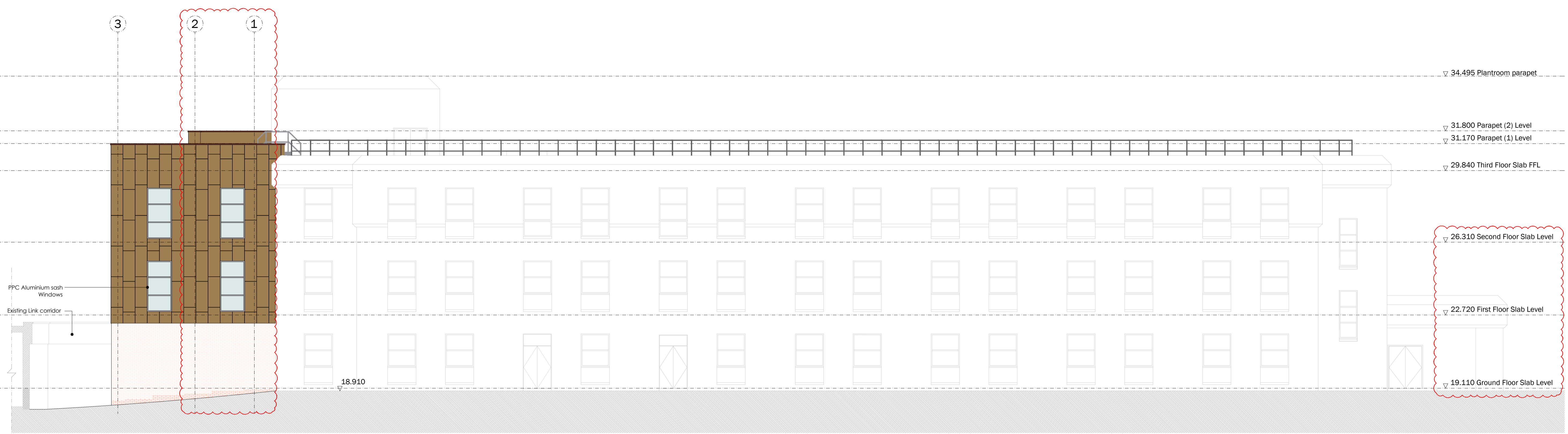




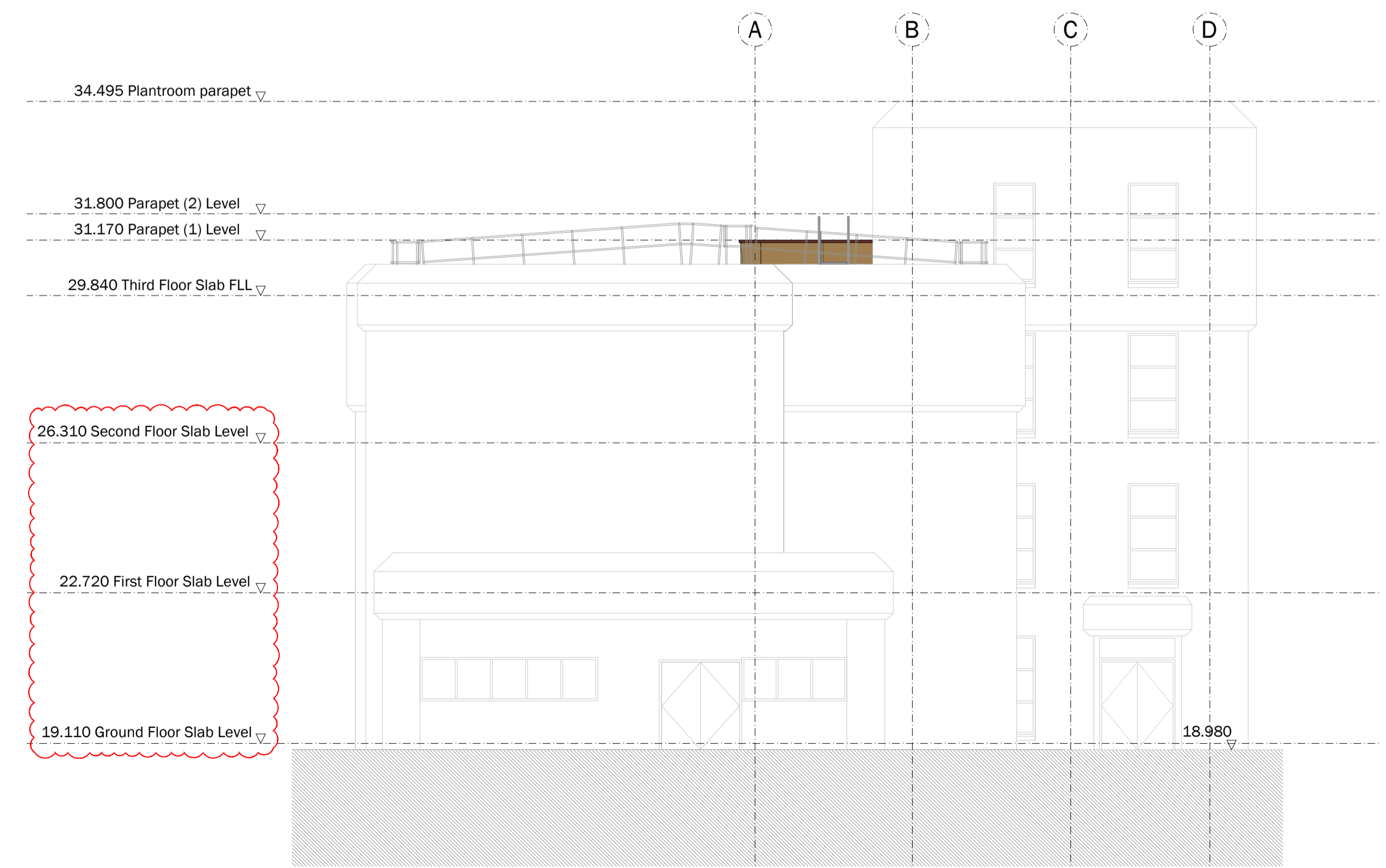
Brickwork  
 - Hurstwood Multi UK Brick Company Brick UK436  
 Rockpanel "stone" rain screen facade  
 - Colour: Mineral Rust

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notes:  
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Elevation C  
 1:100



Elevation D  
 1:100

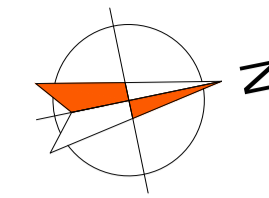
P5	25.02.22	Brickwork type update.	HC	LV
P4	19.11.21	Sheet and drawing number updated to exi format. Elevation C & levels updated.	HC	LV
P3	22.04.21	Plant compound and ventilation ductwork removed.	HC	SH
P2	21.08.20	Updated external path layout.	HC	LV
P1	11.06.20	First Issue.	HC	LV
rev:	date:	comment(s):	name:	check:



exi ref: H4072

client: Gloucestershire Hospital NHS FT  
 job: SSD - Gloucestershire Royal Hospital  
 title: Proposed Elevations - Sheet 2  
 drawn: HC date: 25.02.2022  
 checked: LV scale (A1): 1:100  
 suitability: - purpose: Planning  
 drg no: 4072-EXI-317-P5



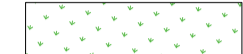

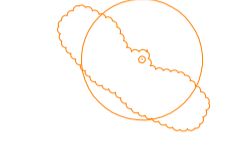
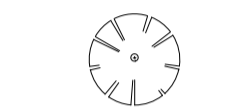


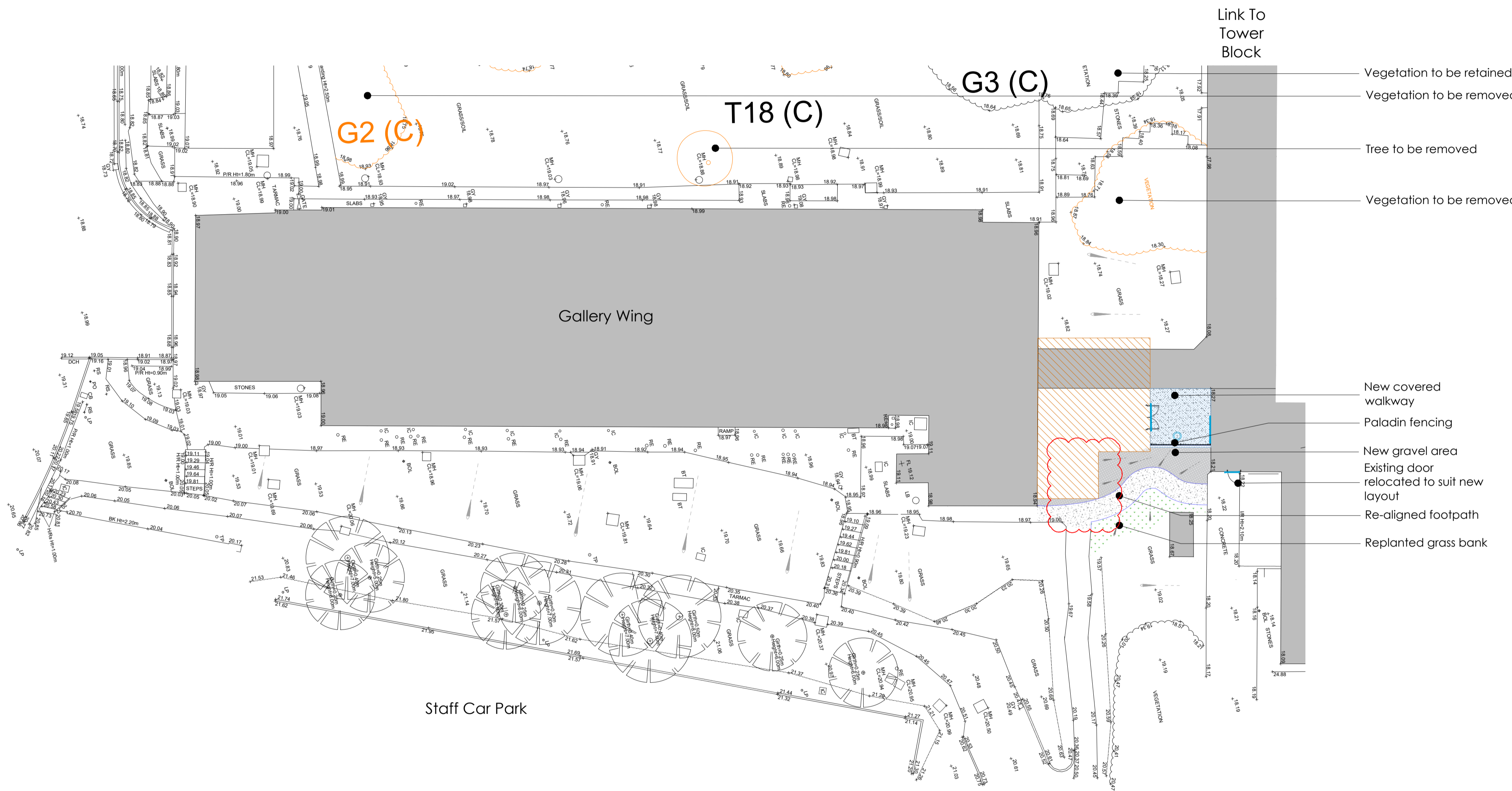


0 5 10 20 30 40  
scale 1:200 metres

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notes:

-  Proposed extension
-  Proposed tarmac paving
-  Proposed grass  
Emsgate EG22 - wear tolerant turfgrass mixture or similar
-  Proposed gravel  
20mm cotswold buff stone chippings or similar
-  Tree/vegetation to be removed
-  Existing Trees to be retained



**Proposed Tree Schedule**

Number	Species	Height	Stem Dia.	Condition	Proposal
T18	Crack Willow	4.0m	20cm 20cm	C1	To be removed
G2	Silver Birch Alder Buddleja	5.0m	6cm	C2	To be removed
G3	Sweet Bay	5.0m	5cm	C2	To be retained

For full details of tree works to be undertaken refer to the ARBORICULTURAL IMPACT ASSESSMENT RT-MME-152487A-04 rev A

**PLANTING NOTES**

All planting and operations should comply with BS4482:1989 General Landscape Operations. All plants shall be supplied in accordance with the HTS National Plant Specification and their certified nurseries.

Planting outside the usual Oct-Mar growing season shall be pursued by approval only. If agreed all bare root plants shall be substituted with container grown stock.

Minimum topsoil depths as follows unless specified otherwise: standard trees 800mm; ornamental shrubs 450mm; native shrubs 300mm; turf 100mm; wildflower grass 50mm. All planting watered in to field capacity immediately after planting and mulched with 50mm depth of medium grade crushed mulch.

Trees within hardstanding or highways visibility splays shall be clear stem or 1.5m high unless specified otherwise. Trees adjacent to buildings and services shall include root barriers where necessary and should be planted in positions as indicated on drawing.

All foundation designs must take into account the effect of the existing and proposed trees & landscaping. Any conflicts are to be identified to allow for necessary changes prior to installation.

The contractor is responsible for checking locations of all existing and proposed services and shall advise of any conflicts.

All existing trees and hedges shall be protected in accordance with BS5837:2012 for the duration of the construction works.

P4	25.02.22	Drawing number & sheet updated to exi format. Proposed extension foot print adjusted and path re-aligned to suit.	HC	LV
P3	20.04.21	Plant compound removed and path re-aligned to suit. Soft landscaping specification added	AG	SH
P2	21.08.20	External path way updated.	HC	LV
P1	11.06.20	First Issue.	HC	LV



exi ref: H4072

client: Gloucestershire Hospital NHS FT  
job: SSD - Gloucestershire Royal Hospital  
title: Proposed Hard & Soft Landscaping  
drawn: HC date: 25.02.2022  
checked: LV scale (A1): 1:100  
suitability: - purpose: Planning

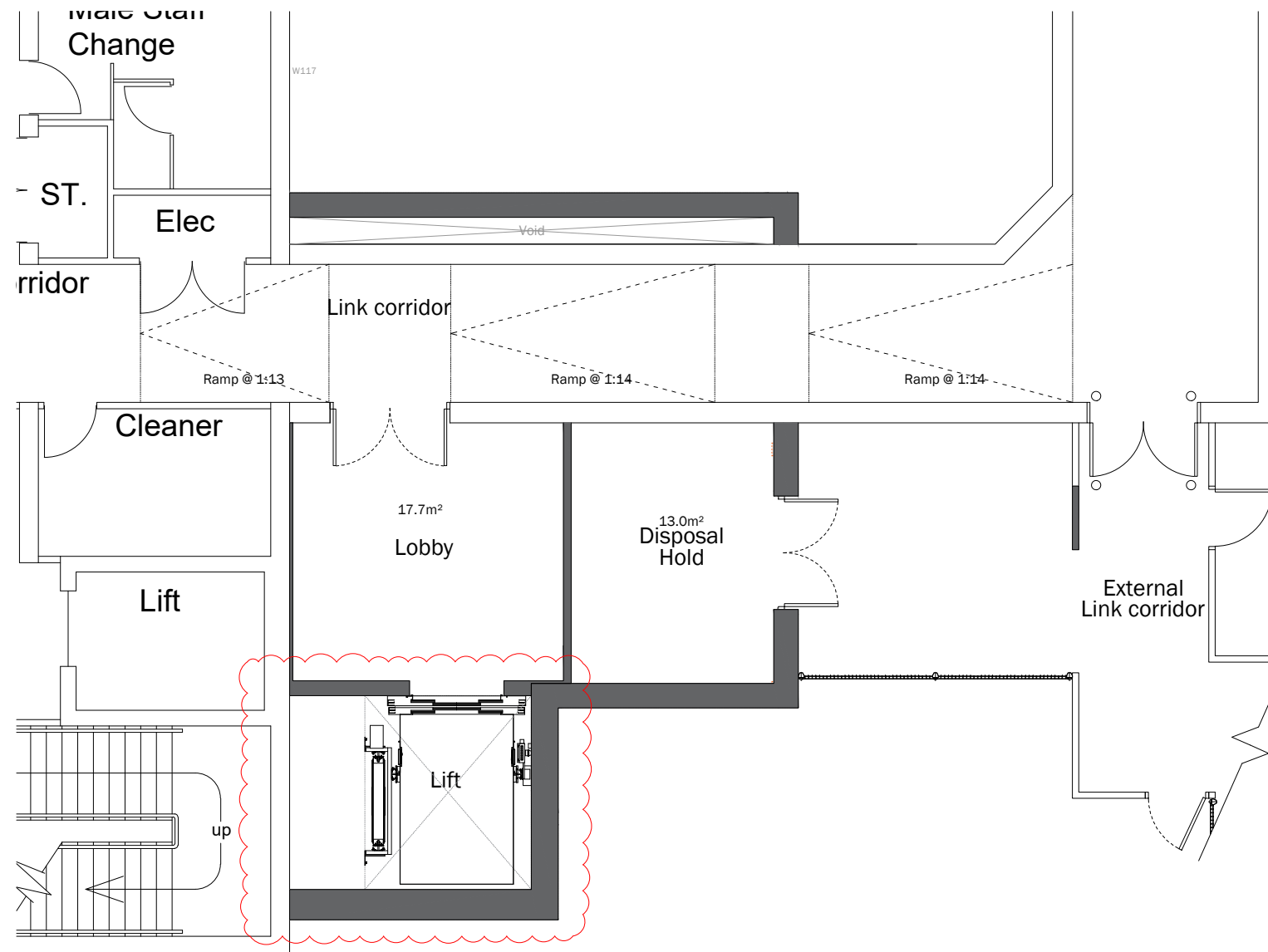
drg no: 4072-EXI-305-P4

The Walker Suite//Butts Park Arena//Coventry//CV1 3GE

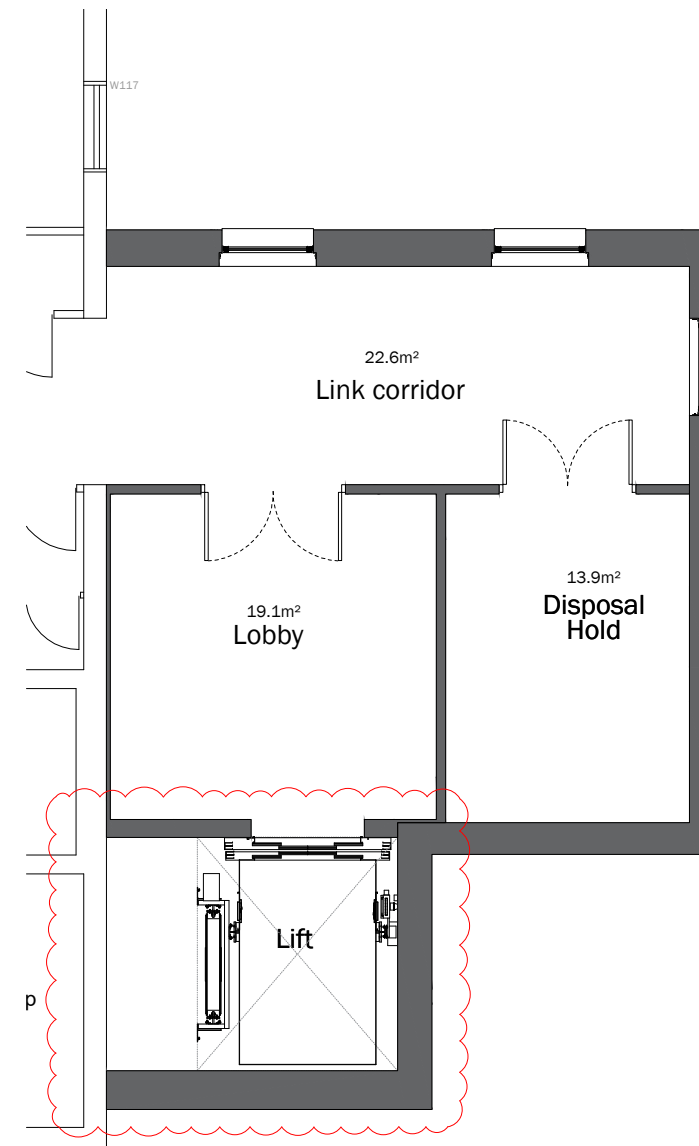
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notes:

Proposed Wall



Ground Floor plan  
1:100



First Floor plan  
1:100

P4	19.11.21	Sheet and drawing number updated to exi format. Lift core size adjusted.	HC	SH
P3	22.04.21	External link corridor door relocated to suit new layout.	HC	SH
P2	21.08.20	GF Disposal hold layout updated.	HC	LV
P1	11.06.20	First Issue.	HC	LV
rev:	date:	comment(s):	name:	check:

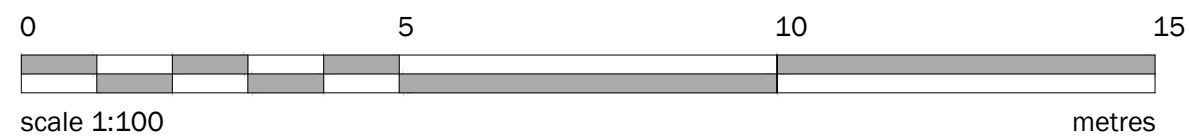


exi ref: H4072

client: Gloucestershire Hospital NHS FT  
 job: SSD - Gloucestershire Royal Hospital  
 title: GF-FF GA Plans  
 drawn: HC date: 19.11.2021  
 checked: LV scale (A3): 1:100  
 suitability: - purpose: Planning

drg no: **4072-EXI-313-P4**

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notes:

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 Proposed Wall



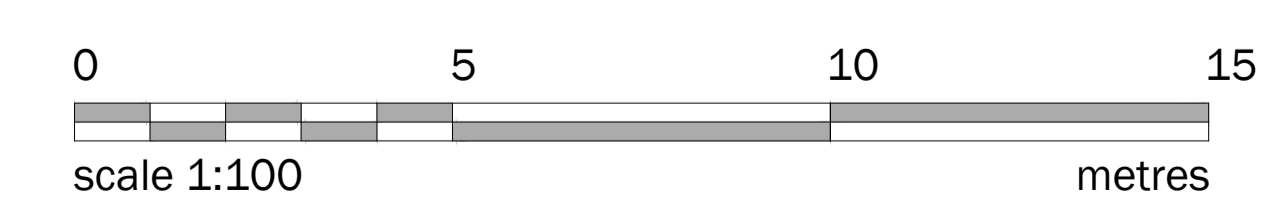
P2	19.11.21	Sheet and drawing number updated to exi format. Lift core size adjusted.	HC	LV
P1	11.06.20	First Issue.	HC	LV
rev:	date:	comment(s):	name:	check:



exi ref: H4072

client: Gloucestershire Hospital NHS FT  
 job: SSD - Gloucestershire Royal Hospital  
 title: Proposed Second Floor Plan  
 drawn: HC date: 19.11.2021  
 checked: LV scale (A1): 1:100  
 suitability: - purpose: Planning  
 drg no: **4072-EXI-314-P2**

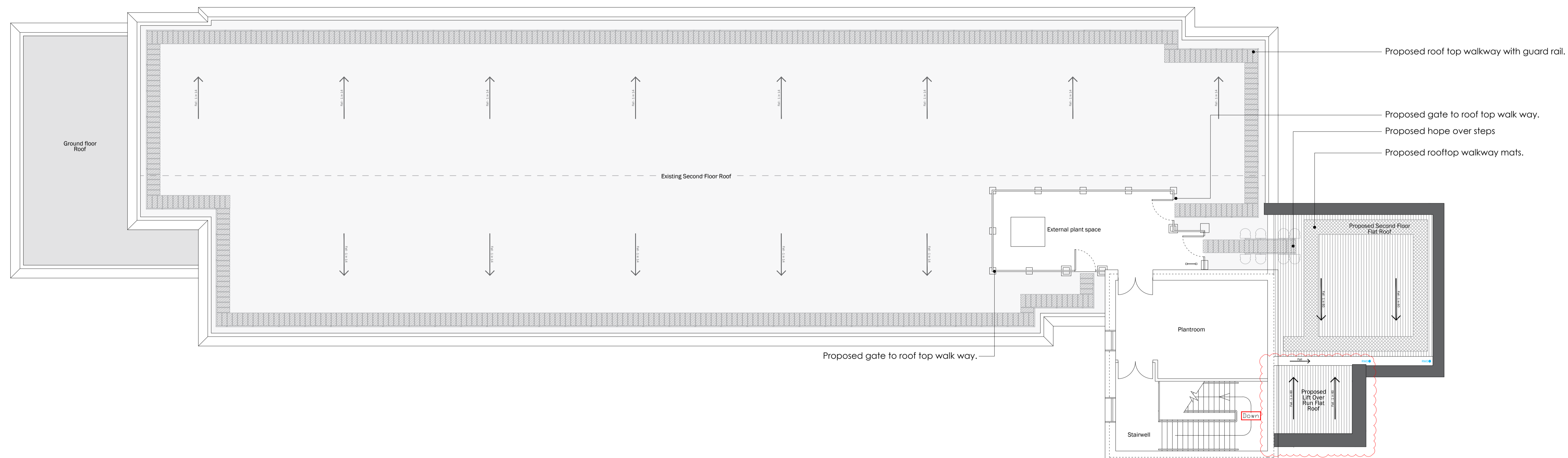
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notes:

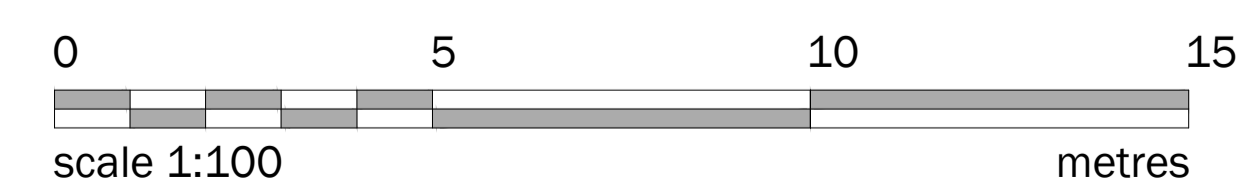


P3	19.11.21	Sheet and drawing number updated to exi format. Lift overrun size adjusted.	HC	LV
P2	22.04.21	Ducting omitted. Roof top walk way & hope over steps adjusted to suite layout changes.	HC	SH
P1	11.06.20	First Issue.	HC	LV
rev:	date:	comment(s):	name:	check:



exi ref: H4072

client: Gloucestershire Hospital NHS FT  
 job: SSD - Gloucestershire Royal Hospital  
 title: Proposed Roof Plan  
 drawn: HC date: 19.11.2021  
 checked: LV scale (A1): 1:100  
 suitability: - purpose: Planning  
 drg no: **4072-EXI-315-P3**



The Walker Suite/Butts Park Arena/Coventry/CV1 3GF