

## Householder Application for Planning Permission for works or extension to a dwelling

### Town and Country Planning Act 1990 (as amended)

#### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

### Site Location

**Disclaimer:** We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)  Northing (y)

Description

## Applicant Details

### Name/Company

Title

First name

Surname

Company Name

### Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Are you an agent acting on behalf of the applicant?

Yes

No

### Contact Details

Primary number

Secondary number

Fax number

Email address

## Agent Details

Name/Company

Title

First name

Surname

Company Name

## Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

## Contact Details

Primary number

Secondary number

Fax number

Email address

## Description of Proposed Works

Please describe the proposed works

Has the work already been started without consent?

Yes

No

## Materials

Does the proposed development require any materials to be used externally?

Yes

No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

**Type:**

Walls

**Existing materials and finishes:**

facing brick

**Proposed materials and finishes:**

facing brick

**Type:**

Roof

**Existing materials and finishes:**

concrete interlocking tiles

**Proposed materials and finishes:**

concrete interlocking tiles

**Type:**

Windows

**Existing materials and finishes:**

white upvc

**Proposed materials and finishes:**

white upvc

**Type:**

Doors

**Existing materials and finishes:**

white upvc

**Proposed materials and finishes:**

white upvc

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

gp001

## Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

Yes

No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

Yes

No

## Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

- Yes  
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes  
 No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

- Yes  
 No

## Parking

Will the proposed works affect existing car parking arrangements?

- Yes  
 No

## Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes  
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent  
 The applicant  
 Other person

## Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes  
 No

## Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff  
(b) an elected member  
(c) related to a member of staff  
(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

Yes

No

## Ownership Certificates and Agricultural Land Declaration

### Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

Yes

No

Is any of the land to which the application relates part of an Agricultural Holding?

Yes

No

### Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner\* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding\*\*

\* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

\*\* "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

**NOTE:** You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

The Applicant

The Agent

Title

mr

First Name

george

Surname

paton

Declaration Date

03/11/2022

Declaration made

## Declaration

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

richard matthews

Date

03/11/2022





EXISTING SIDE ELEVATION  
NORTHWEST 1:100

EXISTING REAR ELEVATION  
SOUTHWEST 1:100

EXISTING SIDE ELEVATION  
SOUTHEAST 1:100

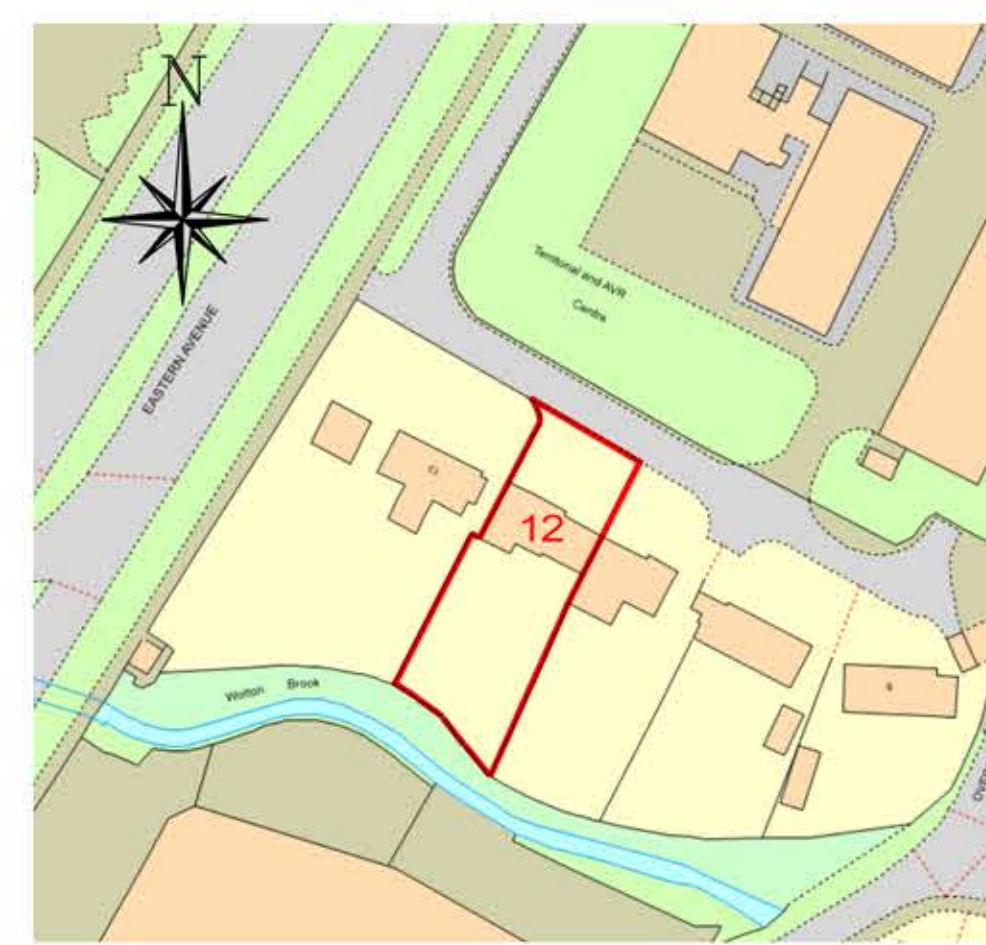


PROPOSED SIDE ELEVATION  
NORTHWEST 1:100

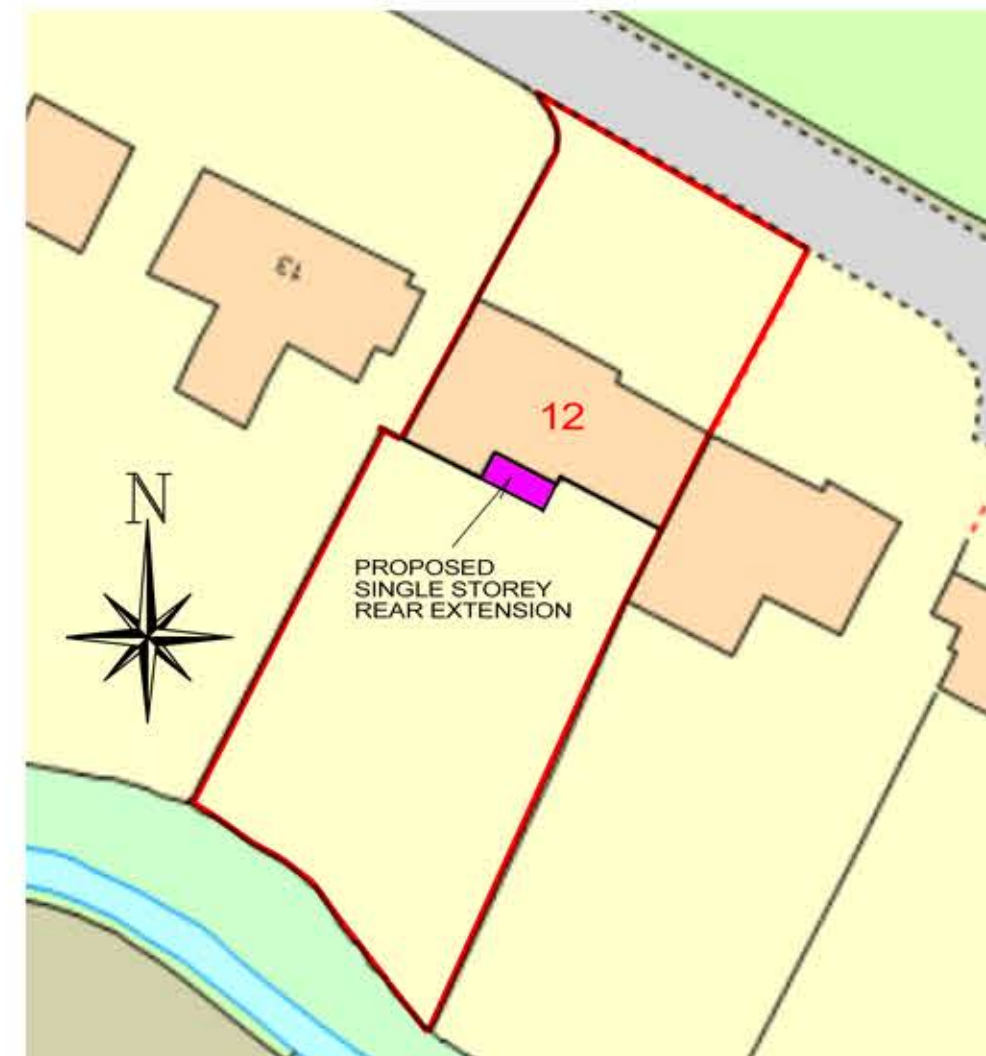
PROPOSED REAR ELEVATION  
SOUTHWEST 1:100

PROPOSED SIDE ELEVATION  
SOUTHEAST 1:100

**NOTE**  
THE CONTRACTOR IS TO CHECK AND VERIFY ALL BUILDING AND SITE DIMENSIONS, LEVELS AND SEWER INVERT LEVELS AT CONNECTION POINTS BEFORE WORK STARTS. THE CONTRACTOR IS TO COMPLY IN ALL ASPECTS WITH CURRENT BUILDING LEGISLATION - BRITISH STANDARDS SPECIFICATIONS, BUILDING REGULATIONS ETC. WHETHER OR NOT SPECIALLY STATED ON THIS DRAWING. THIS DRAWING MUST BE READ WITH AND CHECKED AGAINST ANY STRUCTURAL, GEOTECHNICAL OR OTHER SPECIALIST DOCUMENTATION. THIS DRAWING IS NOT INTENDED TO SHOW DETAILS OF FOUNDATIONS, GROUND CONDITIONS OR GROUND CONTAMINANTS. THE CONTRACTOR WILL INVESTIGATE THE BUILDING AREA AND A SUITABLE METHOD OF FOUNDATION FOR THE WHOLE BUILD SHOULD BE PROVIDED ALLOWING FOR EXISTING GROUND CONDITIONS. ANY SUSPECT GROUND CONDITIONS SHOULD BE FURTHER INVESTIGATED BY A SUITABLE EXPERT.



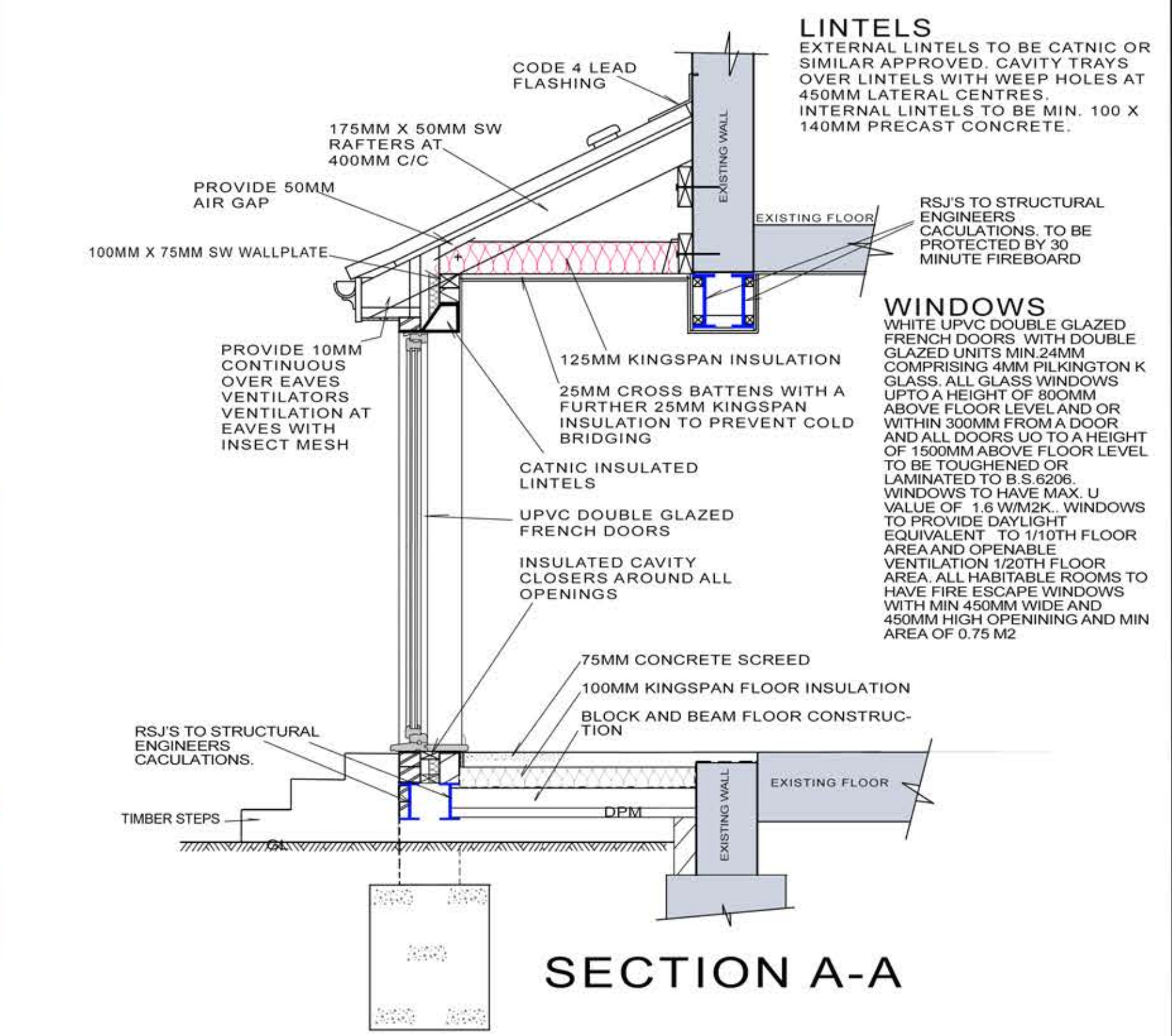
SITE PLAN 1:1250



BLOCK PLAN 1:500

**ROOF CONSTRUCTION**  
TRADITIONAL ROOF CONSTRUCTION BUILT ON SITE. PLAIN TILES TO MATCH EXISTING HOUSE ON 25X38MM TREATED SW BATTENS ON KINGSPAN NILVENT MEMBRANE ON ENGINEERED TRUSS RAFTERS AT 400MM C/C SUPPORTED AT EAVES BY 100MM X 75 MM WALLPLATE AND BY TIMBER BEARER AT RIDGE. TO BE STRAPPED DOWN 1000MM TO BLOCKWORK WITH 30X55MM GALVANISED STRAPS. ALLOW FOR LATERAL RESTRAINT TIES AT RAFTER LEVEL AT 2000MM CENTRES WITH NOGGIN AND BLOCKS SECURED TO 3 NO. RAFTERS TO GABLE WALLS. 100 X 25MM TIMBER DIAGONAL BRACING TO BE USED.  
INSULATION IN CEILING TO BE 125MM KINGSPAN INSULATION BETWEEN THE RAFTERS AND CEILING JOISTS WITH 25MM CROSS BATTENS AND A FURTHER 25MM KINGSPAN INSULATION BETWEEN BATTENS. UNDERDRAWN WITH 12.5MM PLASTERBOARD AND SKIM  
ALL ROOF VENTILATION TO COMPLY WITH BUILDING REGULATIONS DOCUMENT F2

**VENTILATION**  
WINDOW VENTILATION OPENINGS MIN. 1/20TH FLOOR AREA OF HABITABLE ROOMS. ALL WINDOWS TO HAVE TRICKLE VENTS.



SECTION A-A

**EXTERNAL WALLS**  
FACING BRICK TO MATCH EXISTING HOUSE. 100MM CAVITY WITH 65MM KINGSPAN TW50 ZERO DPC K8 INSULATION, RETAINED AGAINST INNER SKIN WITH RETAINER CLIPS. 100MM THERMALITE (OR SIMILAR) INSULATING BLOCKWORK, DRY LINED WITH 12.5MM PLASTERBOARD & SKIM COAT. INSULATION IN CAVITIES TAKEN DOWN TO FINISH IN LINE WITH THE UNDERSIDE OF THE FLOOR INSULATION. WALL TIES AT 750MM CENTRES HORIZONTALLY AND 450MM CENTRES VERTICALLY AROUND UNBONDED JAMBS WALL TIES TO BE 450MM HORIZONTALLY AND 225MM VERTICALLY. 150MM VERTICAL DPC AROUND DOOR AND WINDOW OPENINGS AND INSULATED CAVITY CLOSERS AROUND OPENINGS TO ELIMINATE COLD BRIDGING. WALLS TO BE SEALED AT EAVES LEVEL WITH INSULATED CAVITY CLOSERS.

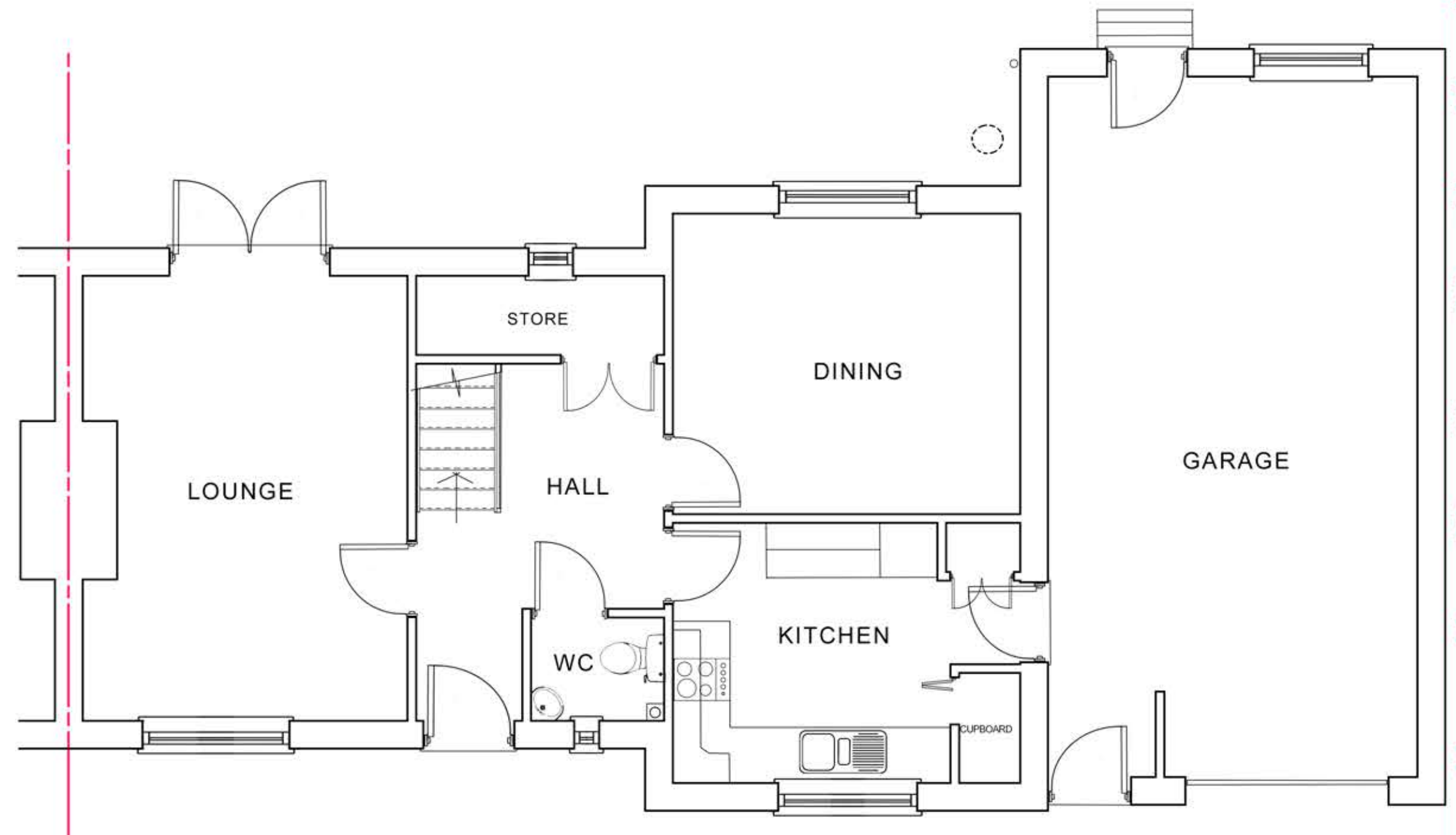
**GROUND FLOOR**  
BLOCK AND BEAM CONCRETE FLOOR. 150MM T SECTIONS AT 300MM C/C WITH DENSE CONCRETE BLOCK INSERTS. WITH 100MM KINGSPAN FLOOR INSULATION. 75MM CONCRETE SCREED ON TOP.

**DRAINAGE**  
ALLOW FOR LONG RADIUS BENDS. 40MM WASTE FROM BATHS & BASINS. 50MM FROM SINKS & SHOWERS ALL WITH 75MM SEALS. 100MM WASTE FROM W.C. WITH 50MM SEAL. WHERE ANY DRAINS PASS THROUGH WALLS WITH COMPRESSIBLE MATERIAL AROUND HOLE. ANTI-SYMPHONIC TRAPS TO BE USED FOR ALL BATHROOM APPLIANCES. DRAINPIPES 100MM SUPERSLEVE LAID AT MIN. 1 IN 60 FALL TO CONNECT UP TO EXISTING DRAINAGE RUN. INSPECTION CHAMBERS TO BE PROVIDED AS PER PLAN. STORMDRAINS: 63MM DOWNPIPES TO GULLIES WITH COPPER WIRE BALLOONS AT GUTTER JUNCTIONS. GUTTERS 100MM TRUE HALF ROUND LAID TO FALL FROM GULLIES 100MM SUPERSLEVE DRAINS TO DRAIN AWAY INTO SOAKAWAY IN REAR GARDEN DEPENDING ON GROUND CONDITIONS. SOAKAWAY TO BRITISH STANDARDS

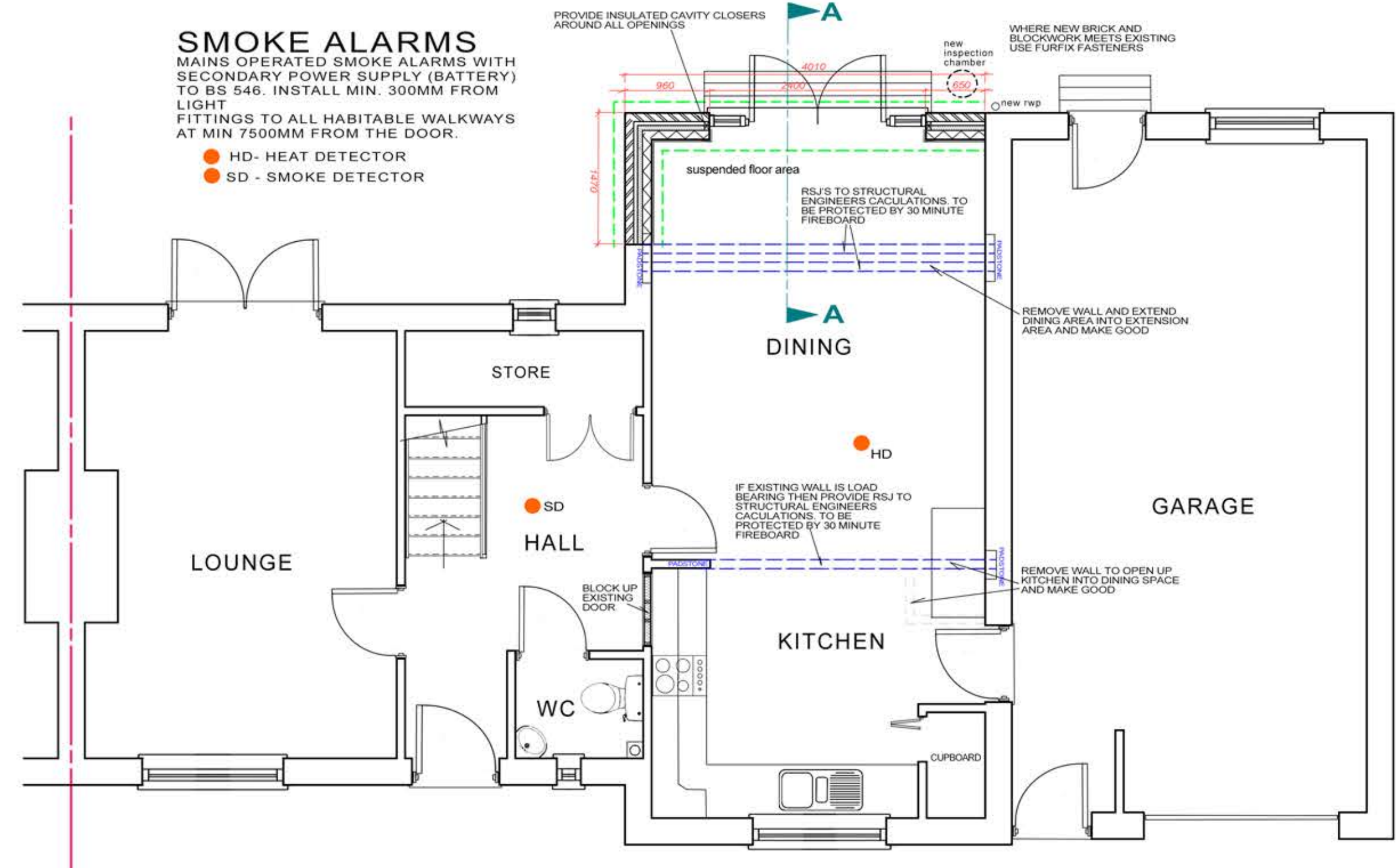
**SUBSTRUCTURE WALLS**  
INNER SKIN TO BE 100MM 7N/mm<sup>2</sup> CONCRETE BLOCK BELOW D.P.C LEVEL. USE SAME TO EXTERNAL SKIN BELOW GROUND LEVEL AND FACING BRICK ABOVE GROUND LEVEL UP TO D.P.C. BUILD IN FULL WIDTH D.P.C AT MINIMUM 150MM ABOVE GROUND LEVEL. LINK TO D.P.M. BUILD IN CAVITY TRAY IMMEDIATELY OVER D.P.C. TO FULL PERIMETER OF BUILDING. BUILD LINTELS WHERE SERVICES/DRAINS PASS THROUGH EXTERNAL WALLS. ENSURE MINIMUM 150MM CLEARANCE AROUND DRAINS WILL FLEXIBLE MATERIAL FILLING TO VOID SPACE. WEAK MIX CONCRETE CAVITY FILL TO BASE OF WALL UP TO 225MM

**FOOTINGS**  
CONCRETE STRIP FOUNDATIONS TO MIN. 1000MM BELOW GROUND LEVEL TO LOCAL AUTHORITY APPROVAL. FOOTINGS TO BE CLEAR OF ROOTS AND DEBRIS PRIOR TO POURING CONCRETE. MASS FILL TO 3 COURSES BELOW LOWEST D.P.C. LEVEL

**SMOKE ALARMS**  
MAINS OPERATED SMOKE ALARMS WITH SECONDARY POWER SUPPLY (BATTERY) TO BS 546. INSTALL MIN. 300MM FROM LIGHT FITTINGS TO ALL HABITABLE WALKWAYS AT MIN 7500MM FROM THE DOOR.  
● HD - HEAT DETECTOR  
● SD - SMOKE DETECTOR



EXISTING GROUND FLOOR PLAN 1:50



PROPOSED GROUND FLOOR PLAN 1:50

**RM Architectural Services**  
RM Architectural Services  
Design and Planning

Client: **GEORGE PATON**

Job Title: **SINGLE STOREY REAR EXTENSION TO NO.12 CARNE PLACE, BARNWOOD, GLOUCESTER, GLOS**

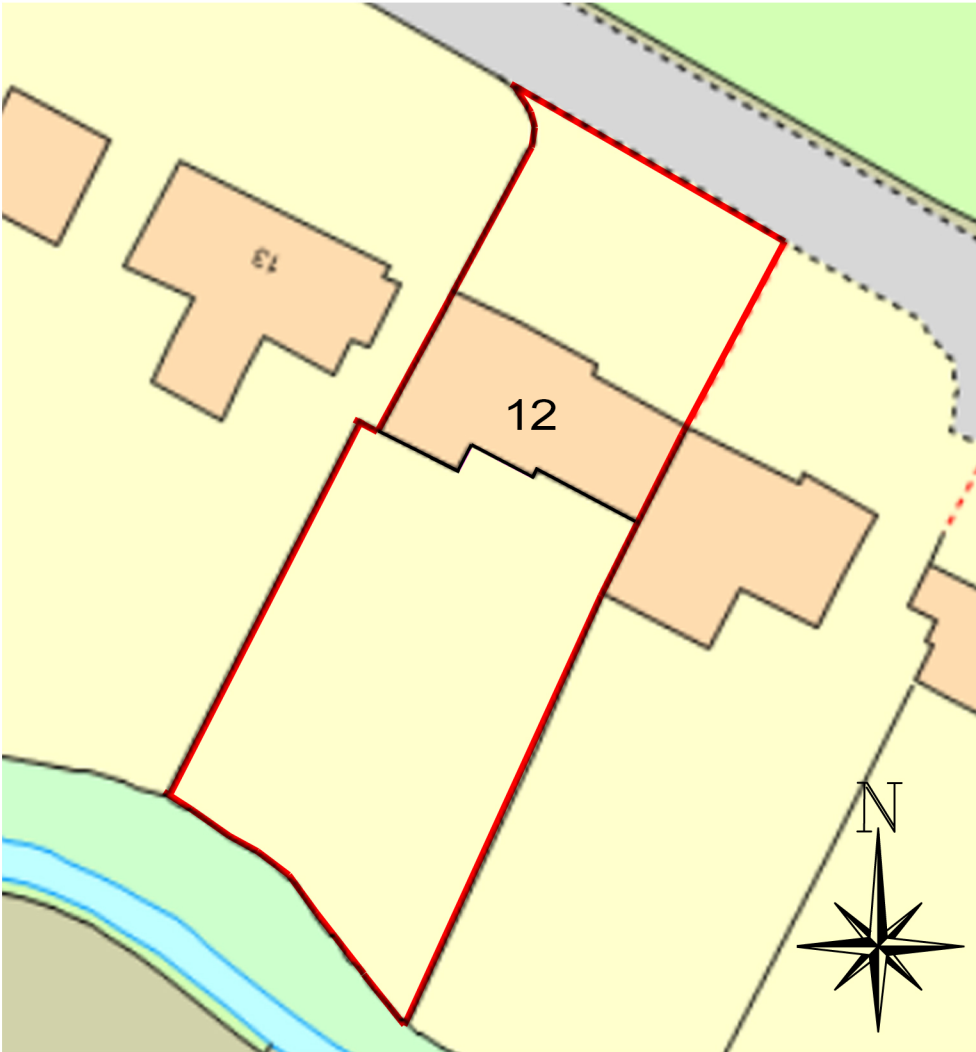
Dwg Title: **EXISTING AND PROPOSED PLANS AND ELEVATIONS SITE AND BLOCK PLAN SECTION AND DETAILS**

Scale: 1:50 1:100 1:1250 1:200  
1:25

Date:

Dwg No. **GP001**





EXISTING BLOCK PLAN 1:500



## Householder and other minor extensions in Flood Zones 2 and 3

**This guidance is for domestic extensions; and non-domestic extensions where the additional footprint created by the development does not exceed 250 square metres. It should NOT be applied if an additional dwelling is being created.**

We recommend that:

### Planning Authorities

- 1) Refer the applicant to the standing advice pages on the Environment Agency website or provide them with a copy of this page for them to include as part of the planning application submission.
- 2) Check the planning application to ensure that one or other of the mitigation measures from the table below has been incorporated.

**Applicants** complete the table below and include it with the planning application submission. The table, together with the supporting evidence, will form the Flood Risk Assessment (FRA) and will act as an assurance to the Local Planning Authority that flood risk issues have been adequately addressed. Print the completed form to a PDF writer if submitting this form electronically.

Applicant to choose one or other of the flood mitigation measures below	Applicant to provide the LPA with the supporting information detailed below as part of their FRA	Applicant to indicate their choice in the box below. Enter 'yes' or 'no'
Either ;  Floor levels within the proposed development will be set no lower than existing levels AND, flood proofing of the proposed development has been incorporated where appropriate.	Details of any flood proofing / resilience and resistance techniques, to be included in accordance with 'Improving the flood performance of new dwellings' CLG (2007)	Yes.
Or,  Floor levels within the extension will be set 300mm above the known or modelled 1 in 100 annual probability river flood (1%) or 1 in 200 annual probability sea flood (0.5%) in any year. This flood level is the extent of the Flood Zones	This must be demonstrated by a plan that shows finished floor levels relative to the known or modelled flood level. All levels should be stated in relation to Ordnance Datum <sup>1</sup>	

### Subterranean/basement extensions

Due to the risk of rapid inundation by floodwater; basements should be avoided in areas at risk of flooding.

The LPA may hold additional guidance for basement extensions.

Self-contained basement dwellings are 'Highly Vulnerable' development and should not be permitted in flood zone 3. We are fundamentally opposed to these developments.

Continued...

<sup>1</sup> Ordnance Datum or the abbreviation 'OD' is the mean level of the sea at Newlyn in Cornwall from which heights above sea level are taken. The contour

## Flood Risk Assessment for Proposed Single Storey rear Domestic Extension at 12 Carne Place, Gloucester

### Introduction

A Planning Application has been submitted to Gloucester City Council to enable the construction of a single storey domestic extension to the rear at the above address. Examination of the current Flood maps indicate that the site of the extension falls within Flood Zone 2, and as a result this flood risk assessment has become a necessary part of the Planning Application.

Guidance published by the Environment Agency indicates that in the case of minor developments of this nature the level of information should be reduced to a level sufficient to match the potential for damage. This Flood Risk Assessment has been prepared in accordance with that guidance.

### Description of Development

The works comprise the construction of a single storey extension to the rear of this semi detached dwelling. The proposed extension is to provide larger kitchen / dining area.

### Flooding Considerations

The proposal is to include the following:

The floor level of the ground floor of the extension will be at the either at the same level or not lower than the existing dwelling.

**Also the new floor will be a suspended block and beam floor with openings in the wall below. This will allow any potential flood water to pass under the floor. This was the reason the original application was refused, because of the impact the extension may have on the flood area. This design will now overcome this problem.**

Any power sockets will be located at a height to reflect any potential for flooding at the site.

### Conclusion

The potential for flooding within the site of the proposal is considered to be extremely small, but the design is sufficient to reduce or prevent damage which might result from the indicated level of flooding at the site.

**The total area of the extension is only 5.9m<sup>2</sup>. The existing ground at the rear is a non-permeable patio. This extension will create no extra impact on the drainage system as the existing rwp at the rear drains to a soakaway.**