

## Householder Application for Planning Permission for works or extension to a dwelling

### Town and Country Planning Act 1990 (as amended)

#### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

### Site Location

**Disclaimer:** We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)  Northing (y)

Description

## Applicant Details

### Name/Company

Title

Mr & Mrs

First name

Surname

McBrien

Company Name

### Address

Address line 1

77 Chestnut Drive

Address line 2

Address line 3

Town/City

Birmingham

Country

Postcode

B24 0DP

Are you an agent acting on behalf of the applicant?

Yes

No

### Contact Details

Primary number

Secondary number

Fax number

Email address

## Agent Details

### Name/Company

Title

First name

Surname

Company Name

### Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

### Contact Details

Primary number

Secondary number

Fax number

Email address

## Description of Proposed Works

Please describe the proposed works

Has the work already been started without consent?

Yes

No

## Materials

Does the proposed development require any materials to be used externally?

Yes

No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

**Type:**

Walls

**Existing materials and finishes:**

Red brick and roughcast render

**Proposed materials and finishes:**

Red brick and roughcast render

**Type:**

Roof

**Existing materials and finishes:**

Plain clay tiles to main roof. Interlocking concrete tiles to rear lean-to. Bitumen flat roof to garage.

**Proposed materials and finishes:**

Plain clay tiles to pitched roofs. Built up felt or single ply membrane with parapet to flat roof.

**Type:**

Windows

**Existing materials and finishes:**

White plastic windows

**Proposed materials and finishes:**

White plastic windows

**Type:**

Doors

**Existing materials and finishes:**

Timber door to front and white plastic doors to rear.

**Proposed materials and finishes:**

Timber or aluminium garage door to front with white plastic or aluminium doors to rear.

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

2012-00-03 As Existing Plans, Elevations & Sections; and  
2012-05-10 As Proposed Plans, Elevations & Sections.

## Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

Yes

No

If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings.

Drawing No. 2012-00-02-P1 (Block Plan As Existing & Proposed); and  
Drawing No. 2012-00-03-P2 (As Existing Plans, Elevations & Sections).

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

- Yes  
 No

If Yes, please show on the plans, indicating the scale, which trees by giving them numbers (e.g. T1, T2 etc) and state the reference number of any plans or drawings

Drawing No. 2012-00-02-P1 (Block Plan As Existing & Proposed); and  
Drawing No. 2012-00-03-P2 (As Existing Plans, Elevations & Sections).

## Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

- Yes  
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes  
 No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

- Yes  
 No

## Parking

Will the proposed works affect existing car parking arrangements?

- Yes  
 No

## Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes  
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent  
 The applicant  
 Other person

## Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes  
 No

**Authority Employee/Member**

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes
- No

## Ownership Certificates and Agricultural Land Declaration

### Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes
- No

Is any of the land to which the application relates part of an Agricultural Holding?

- Yes
- No

### Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner\* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding\*\*

\* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

\*\* "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

**NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.**

Person Role

- The Applicant
- The Agent

Title

Mr

First Name

Ceri

Surname

ap Dafydd

Declaration Date

29/06/2022

Declaration made

## Declaration

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

Ceri ap Dafydd

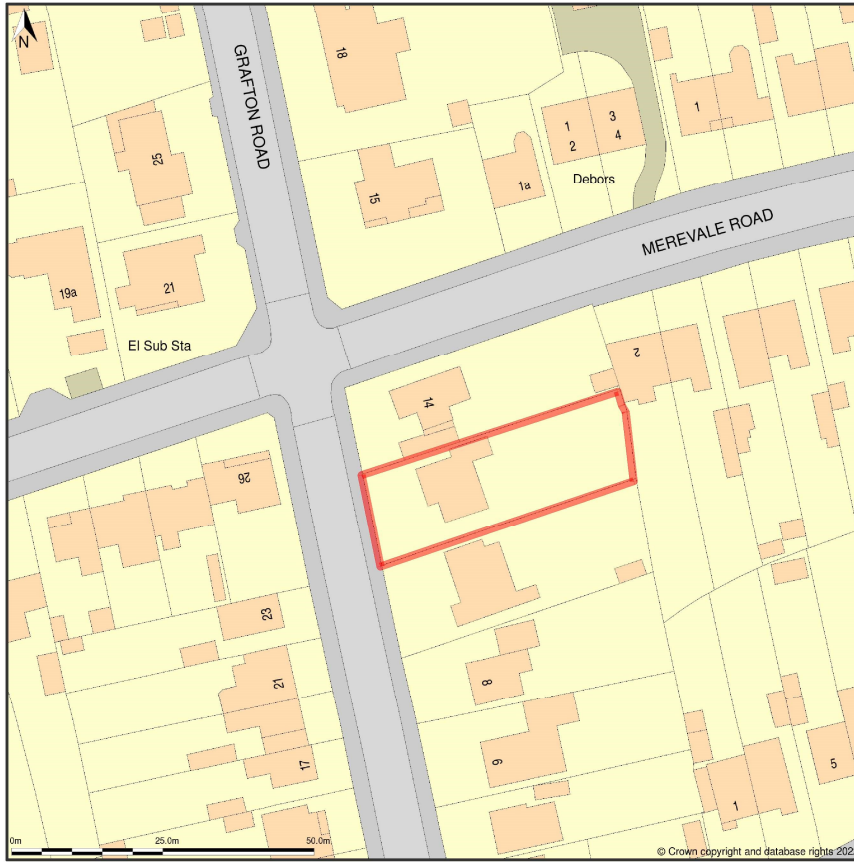
Date

29/06/2022



Site Location Plan  
Scale 1:1250 @ A4  
2012-00-01-P1

12 Grafton Road, Gloucester, GL2 OQP

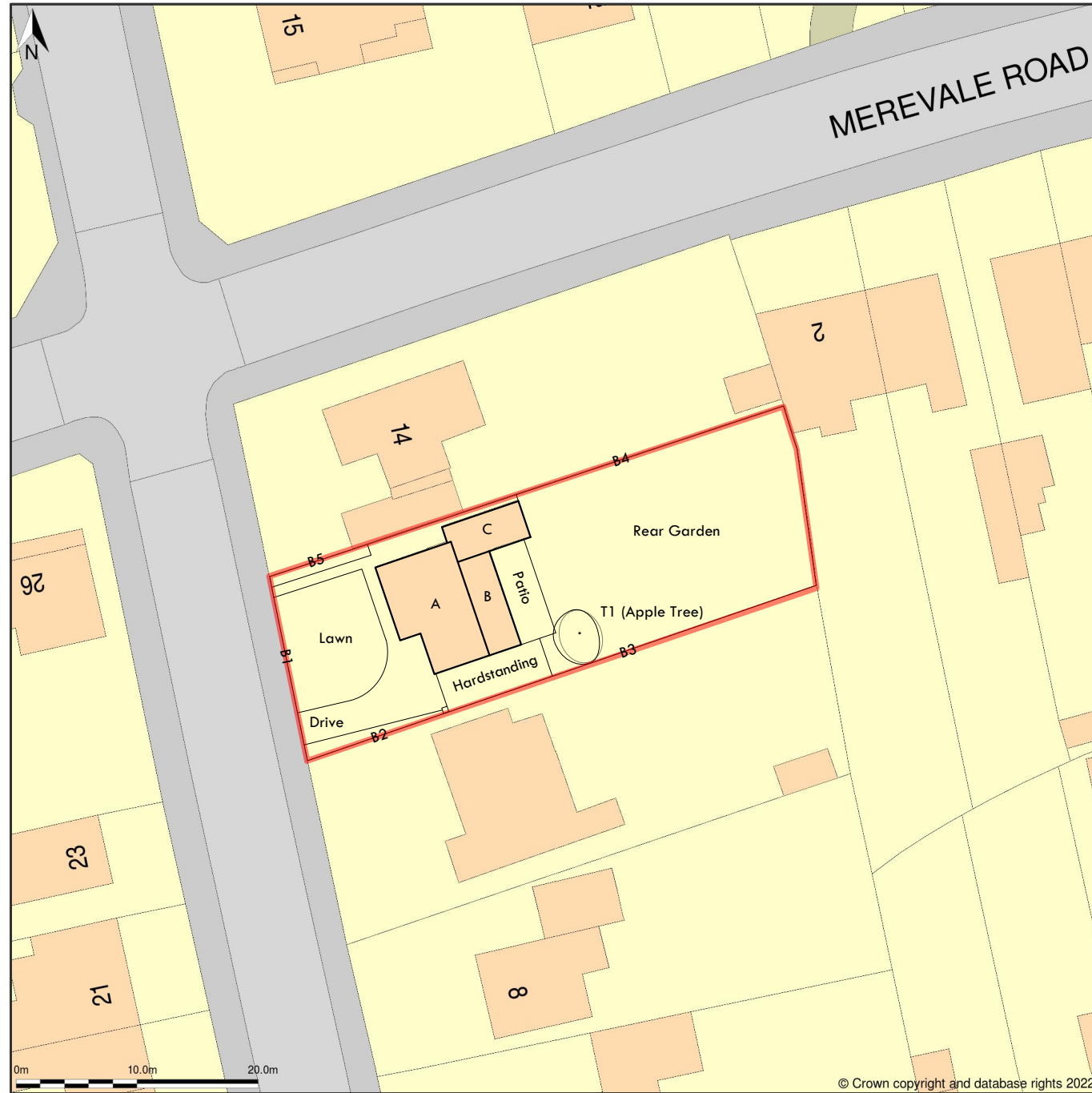


Site Plan shows area bounded by: 384780.65, 218977.05 384922.07, 219118.47 (at a scale of 1:1250), OSGridRef: SO84851904. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

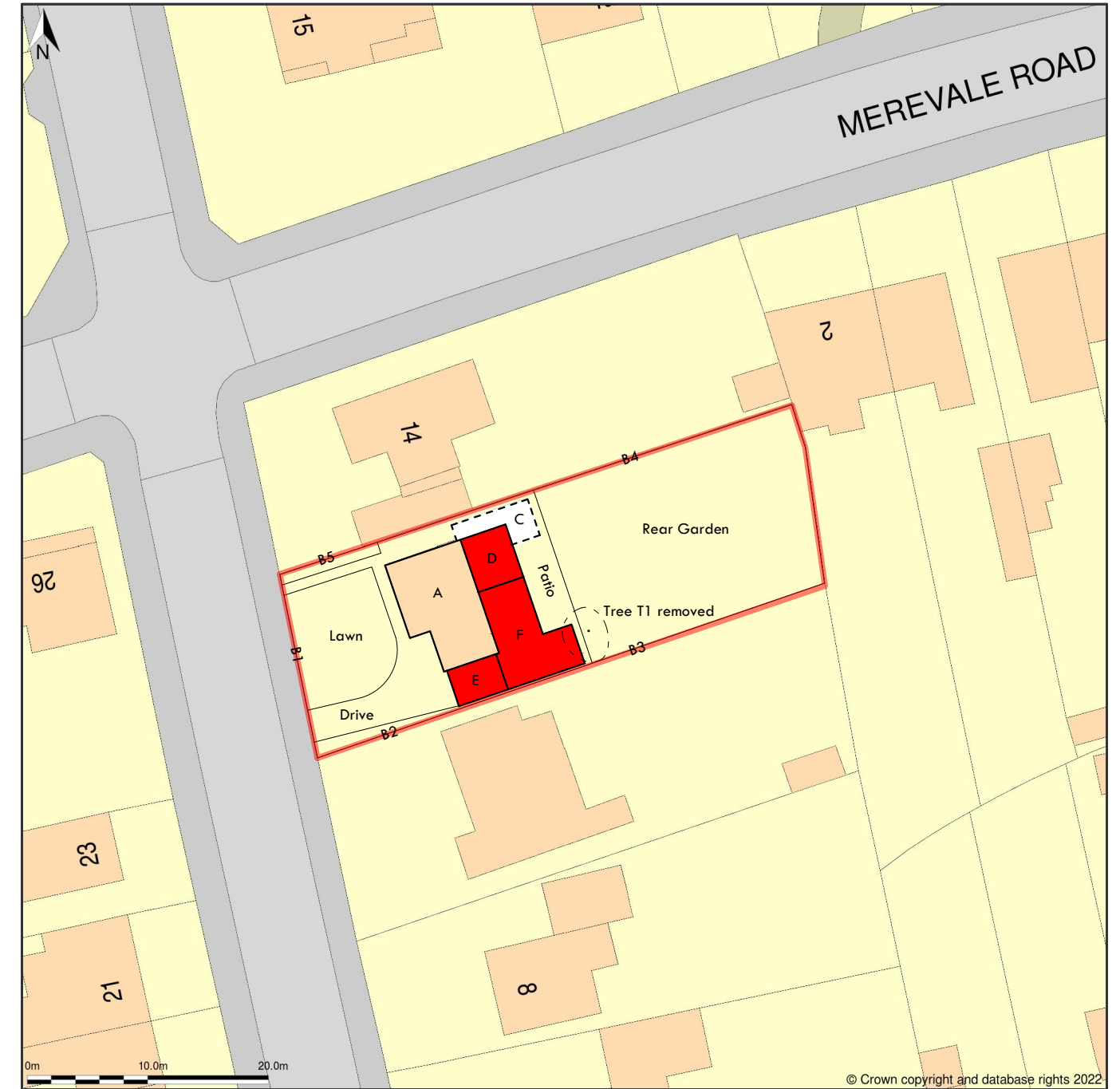
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Block Plan - As Existing



Block Plan - As Proposed



Block Plan shows area bounded by: 384817.99, 218997.91 384907.99, 219087.91 (at a scale of 1:500), OSGridRef: SO84861904. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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**KEY (buildings)**

- A. Two Storey Dwelling
- B. Single Storey Rear Lean-to
- C. Flat roofed Garage

**KEY (boundaries)**

- B1. Brick wall
- B2. Brick piers with timber pallisade infill
- B3. Timber post and panel fence
- B4. Brick piers with timber panel infill
- B5. Brick wall and hedging

Block Plan shows area bounded by: 384817.99, 218997.91 384907.99, 219087.91 (at a scale of 1:500), OSGridRef: SO84861904. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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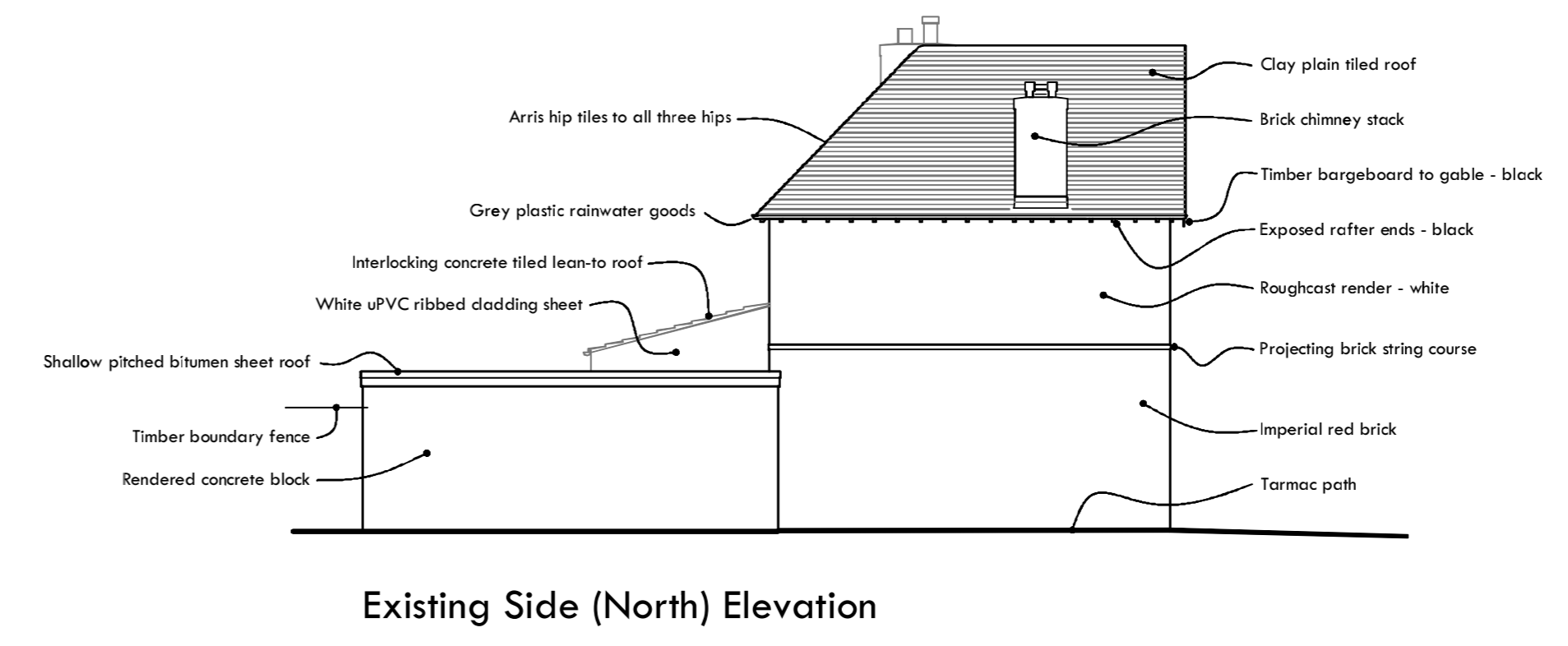
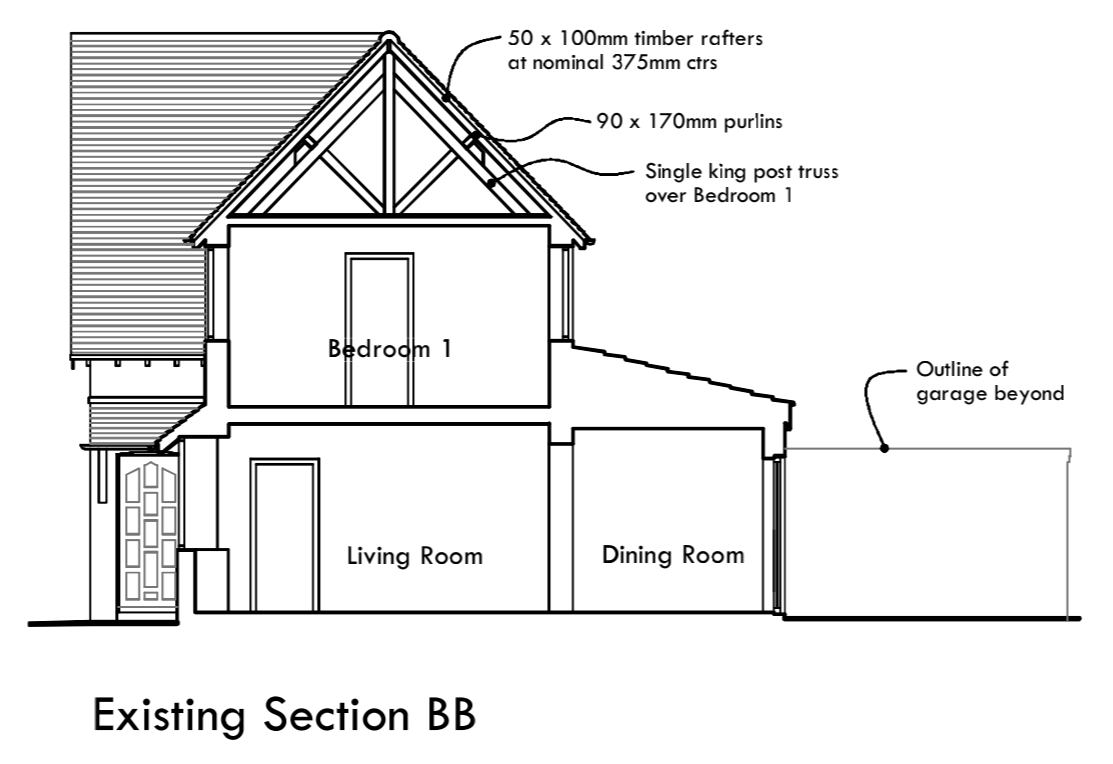
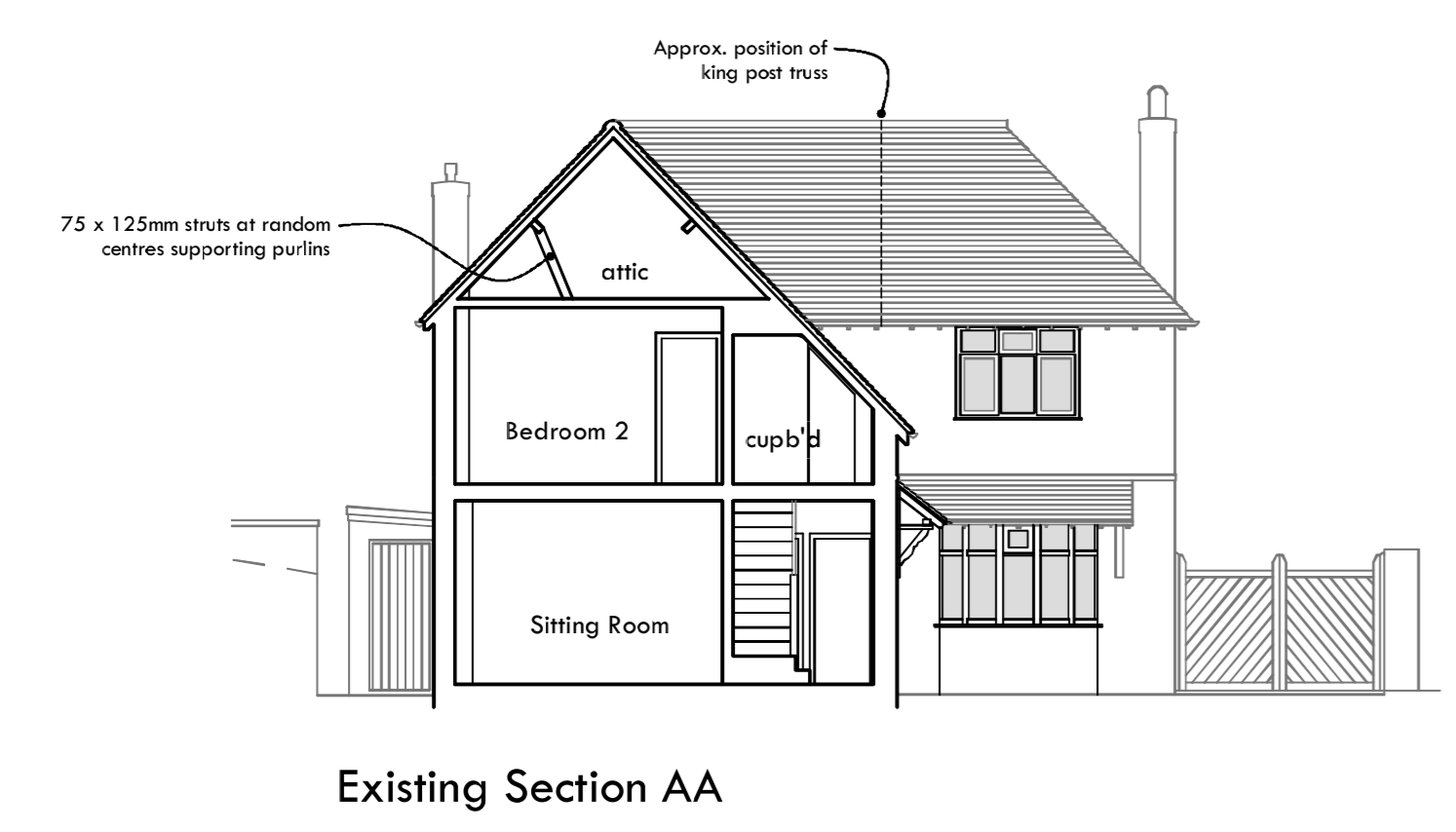
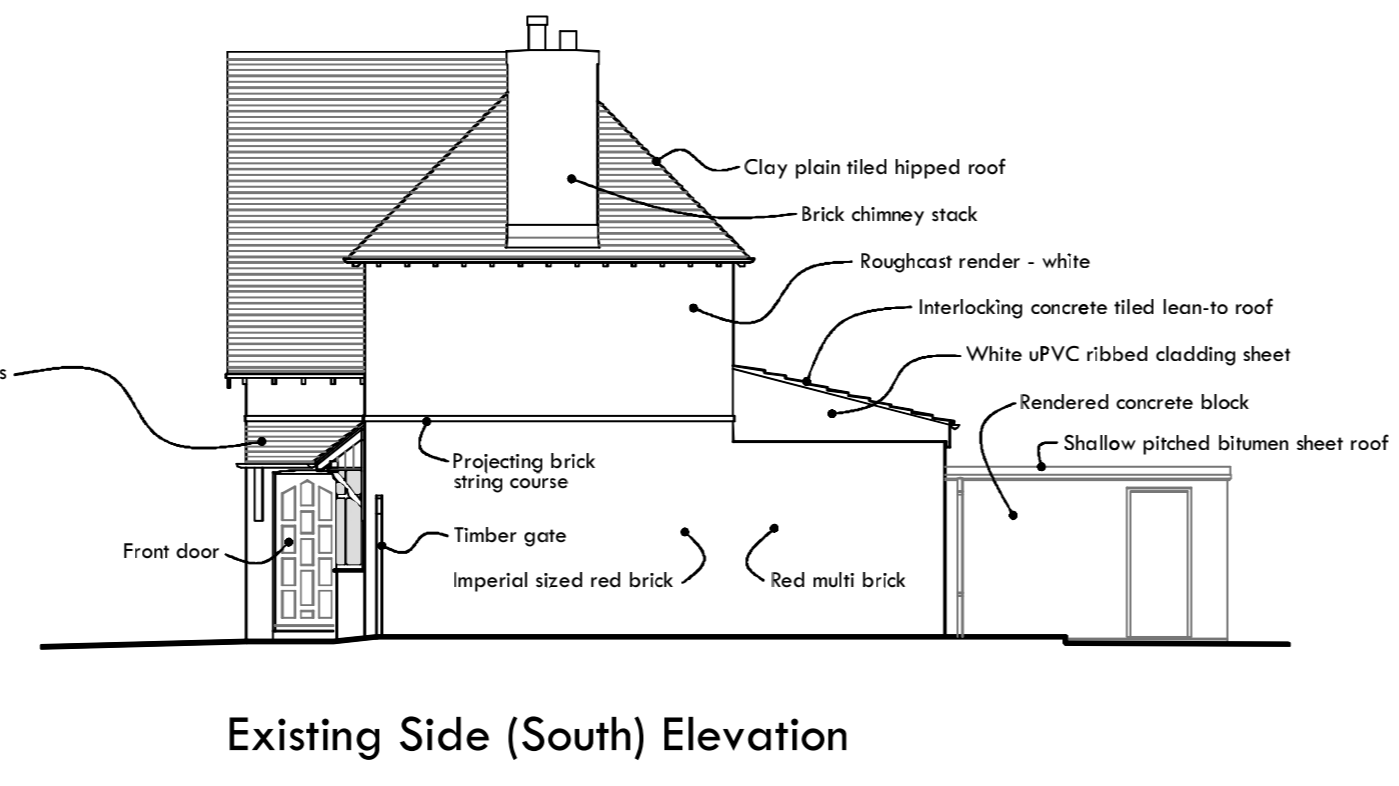
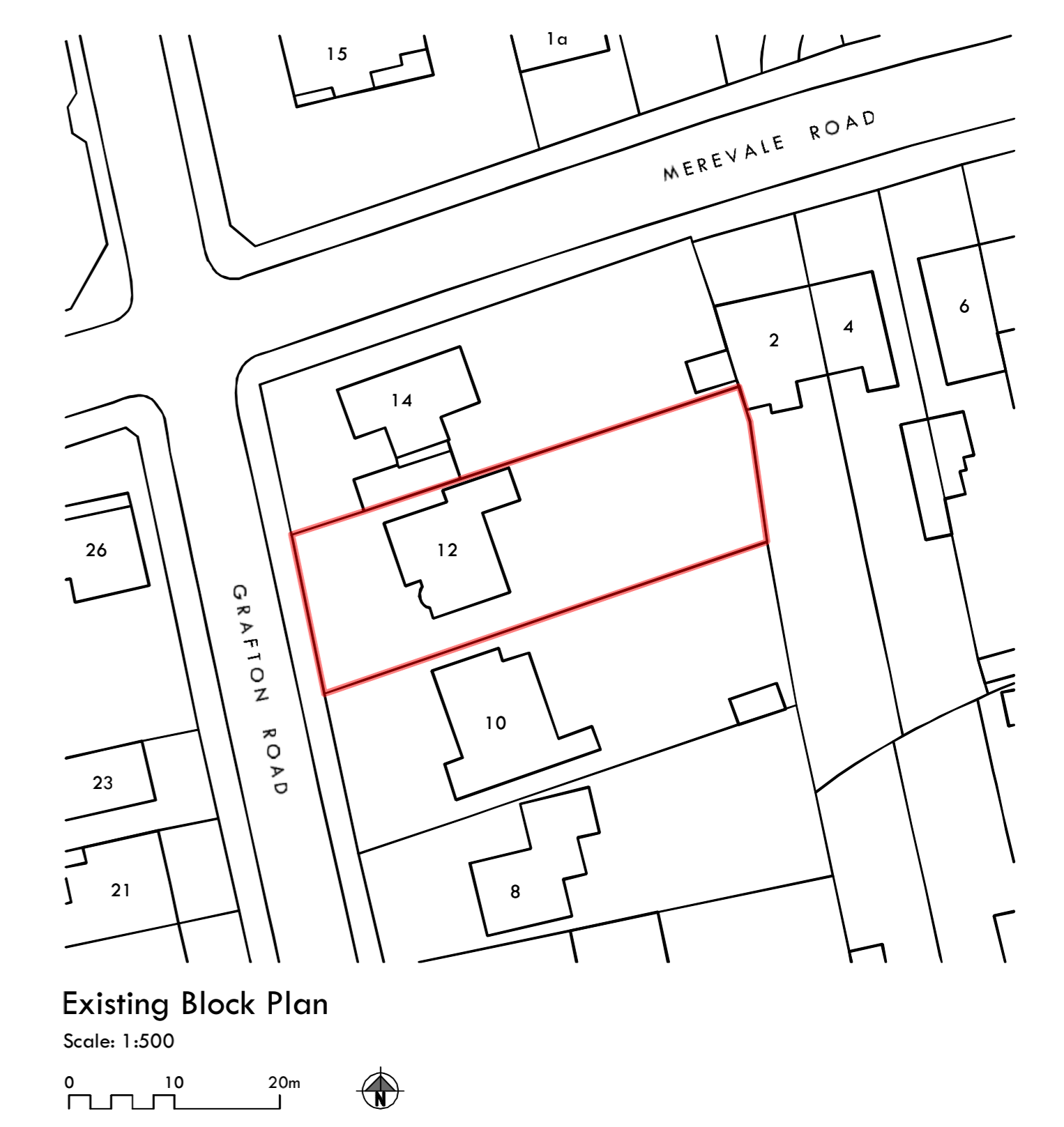
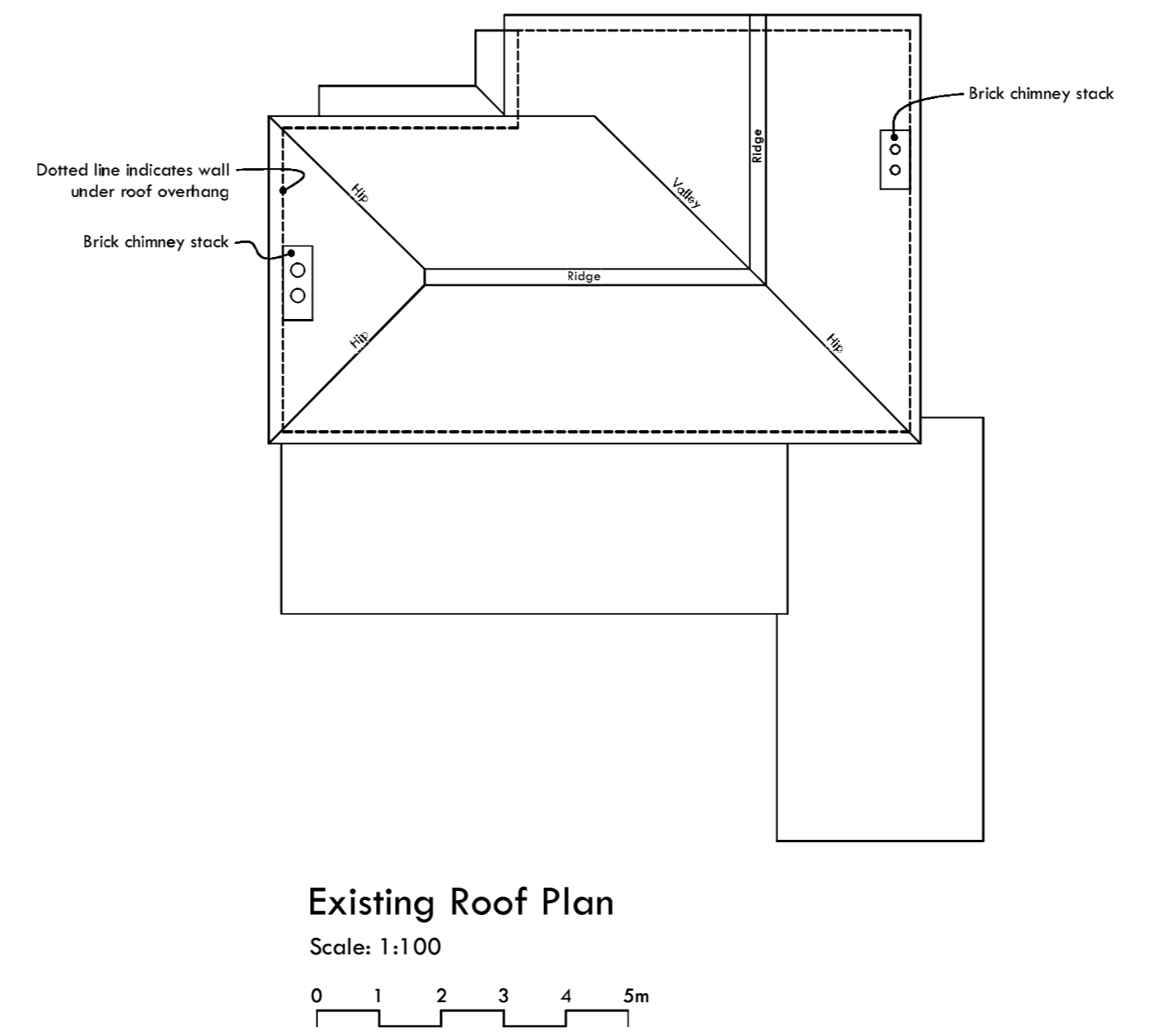
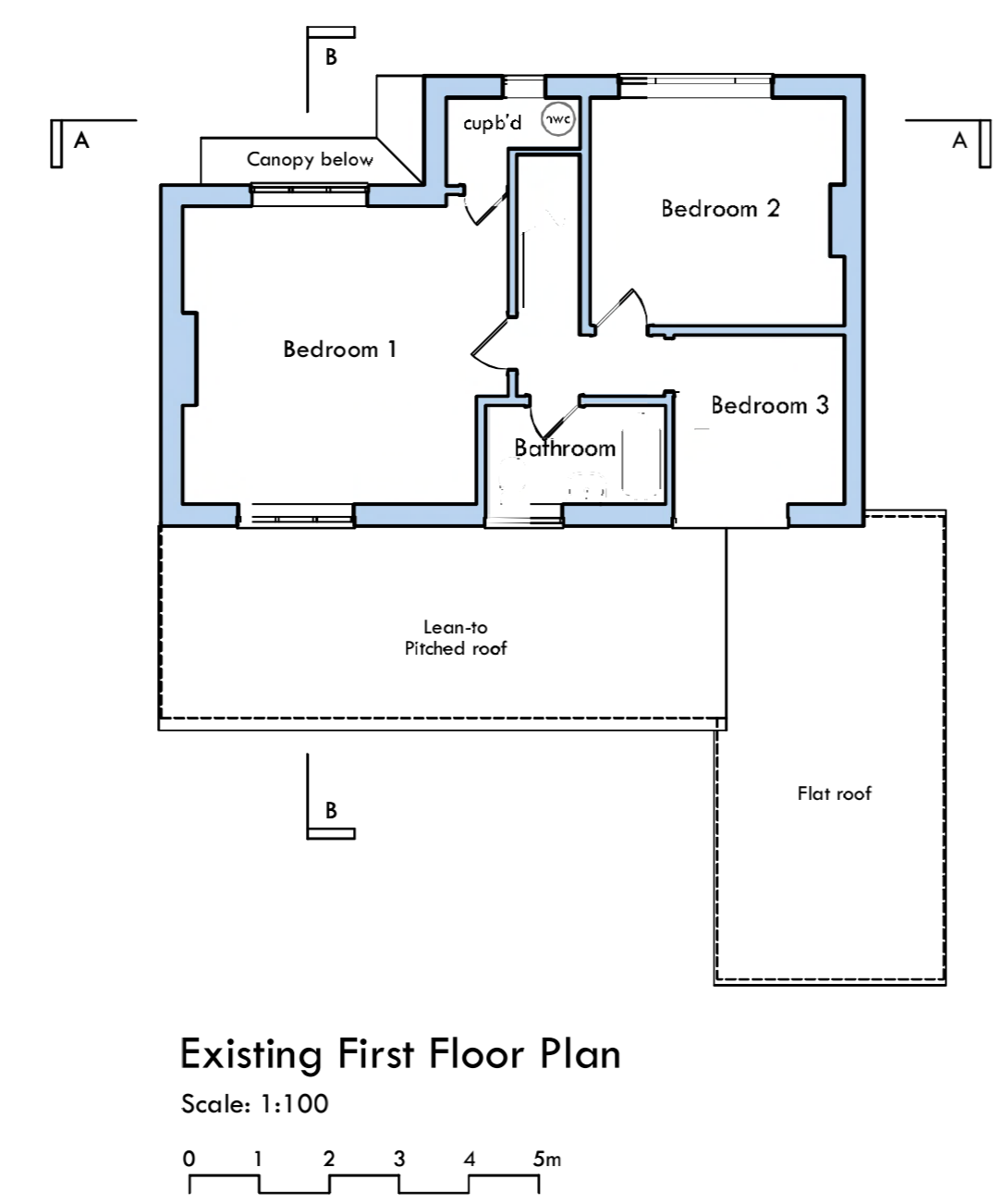
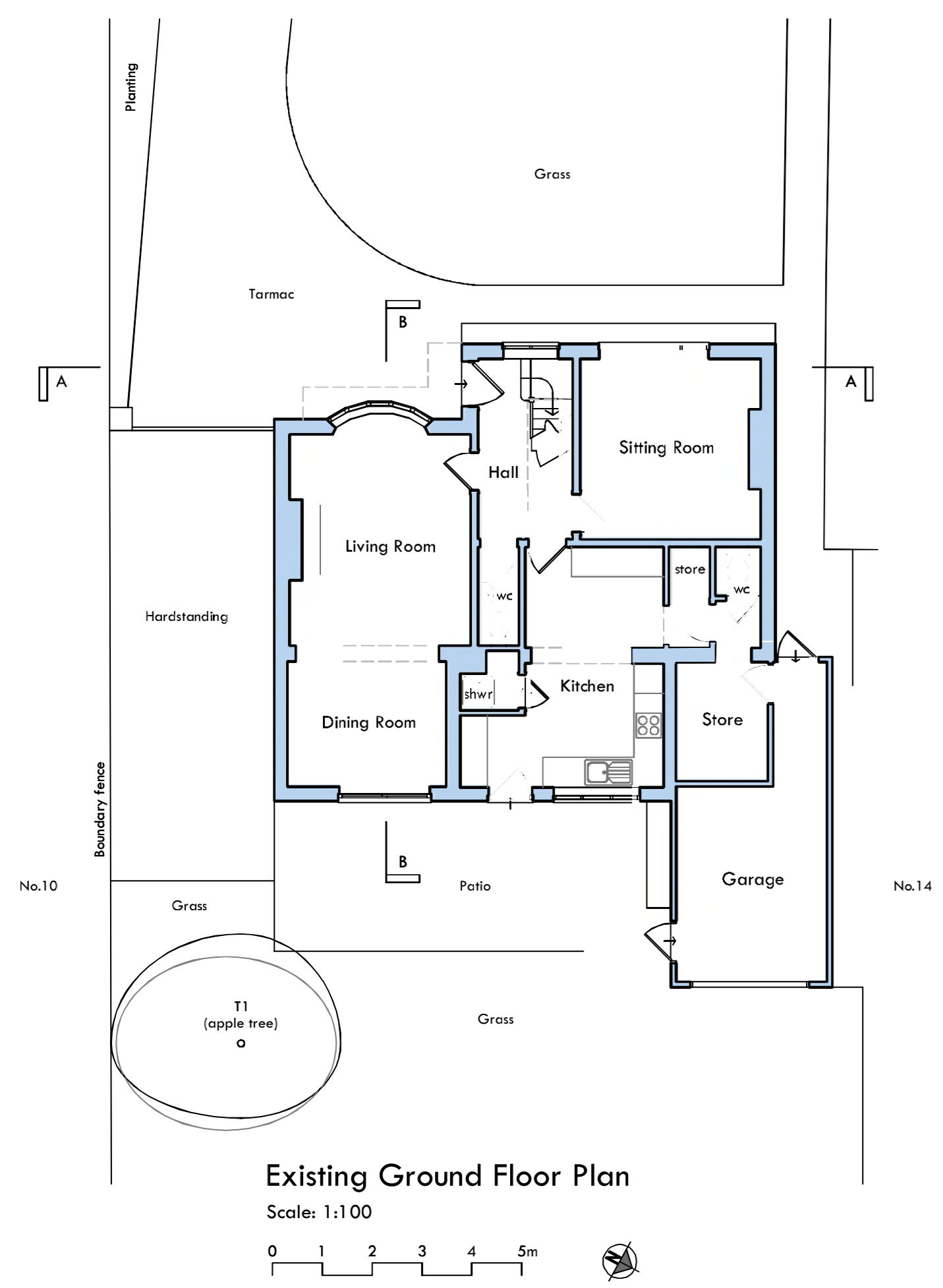
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**KEY (buildings)**

- A. Existing Two Storey Dwelling
- C. Flat roofed Garage (removed)
- D. New Two Storey Rear Extension (in lieu of existing lean-to)
- E. New Two Storey Side Extension
- F. New Single Storey Rear Extension (in lieu of existing lean-to)

**KEY (boundaries)**

- B1. As existing
- B2. As existing
- B3. As existing
- B4. As existing
- B5. As existing



Amendments		
Date	Description	Rev
Apr '22	First Issue	P1
June '22	T1 apple tree located	P1

**CERI ap DAFYDD ARCHITECT - RIBA**  
1st Floor Southgate House  
Southgate Street Gloucester GL1 1UD  
www.ceridafydd.com

Project Title  
**PROPOSED EXTENSION AND RENOVATION at 12 GRAFTON ROAD, GLOUCESTER**

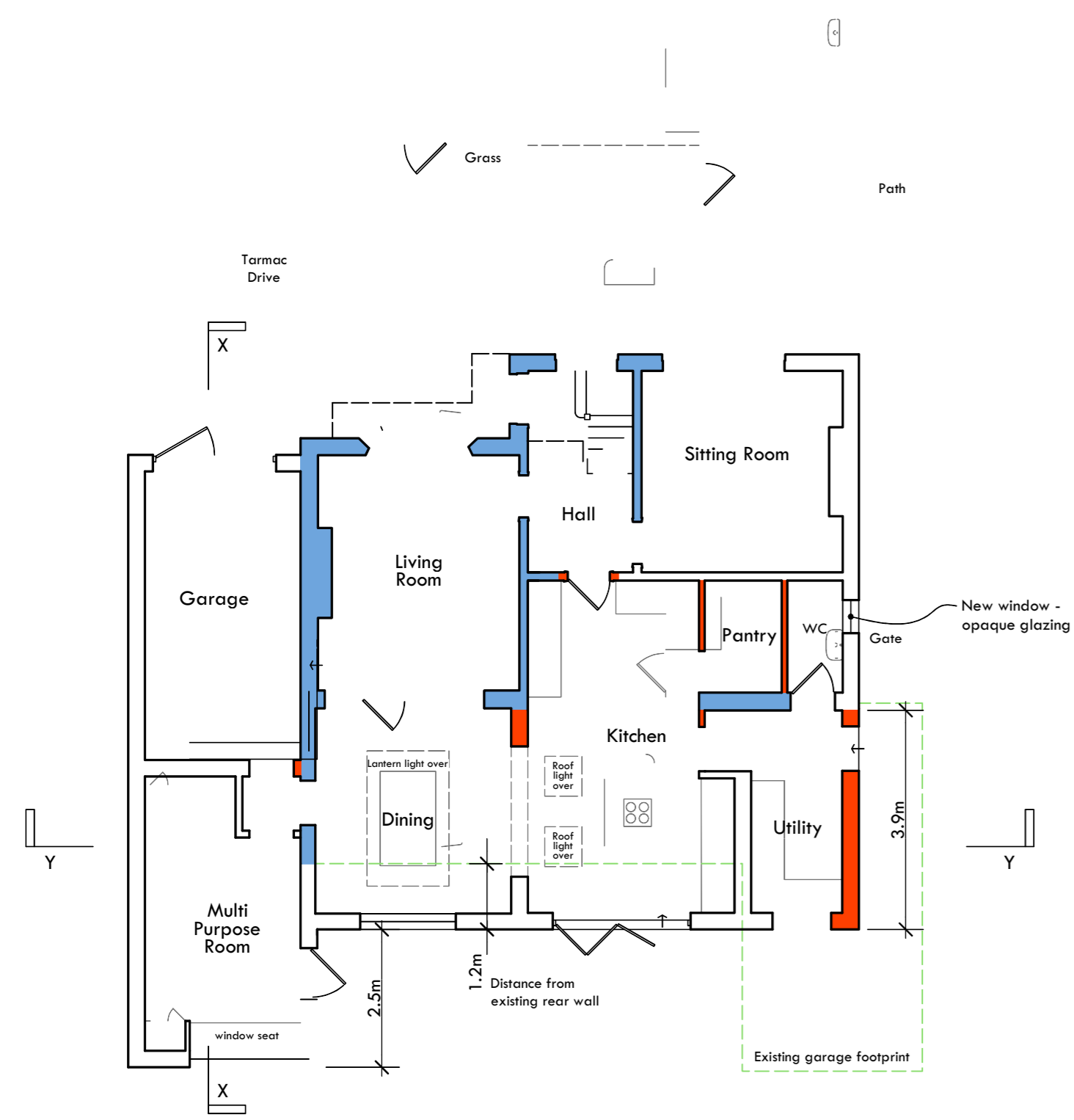
Drawing Title  
**AS EXISTING FLOOR PLANS, ELEVATIONS AND SECTIONS**

Client: Mr & Mrs. McBRIEN  
Scale: 1:100 @ A1  
Status: PRELIMINARY  
Date: APR 2022  
Drawing No.

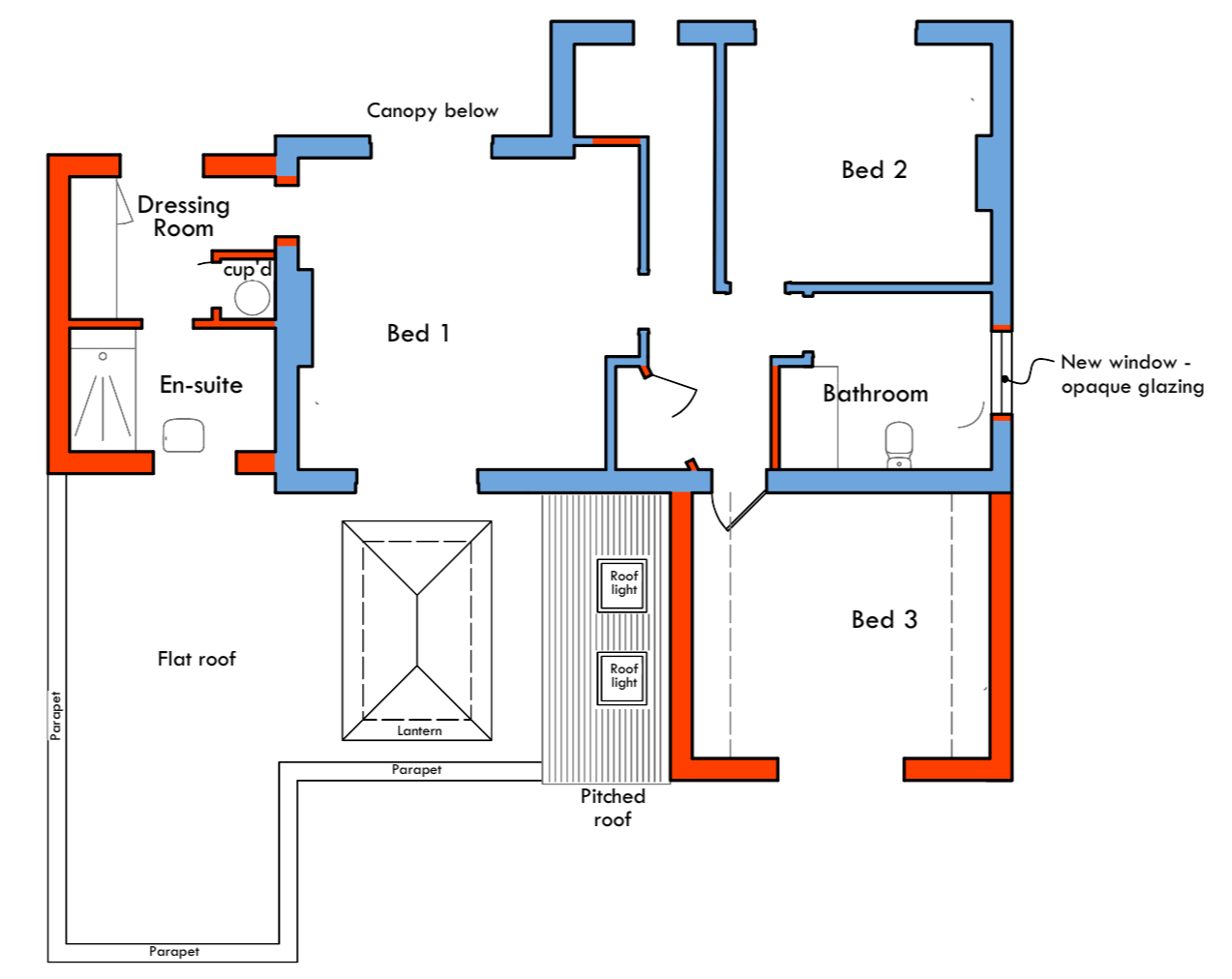


**Key**

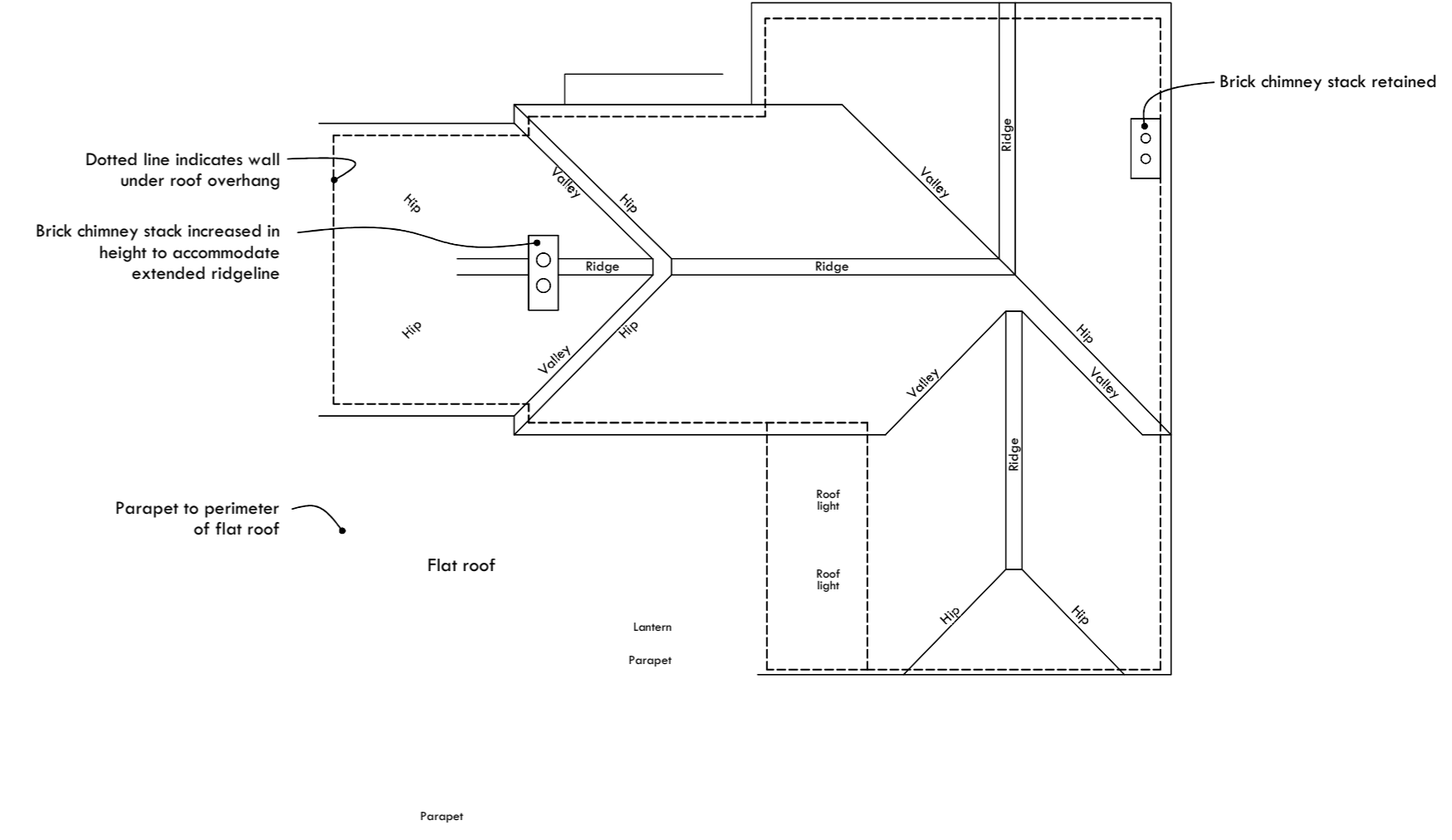
- Existing walls
- New walls
- New openings within existing walls
- Outline of existing footprint



**Proposed Ground Floor Plan**  
Scale: 1:100



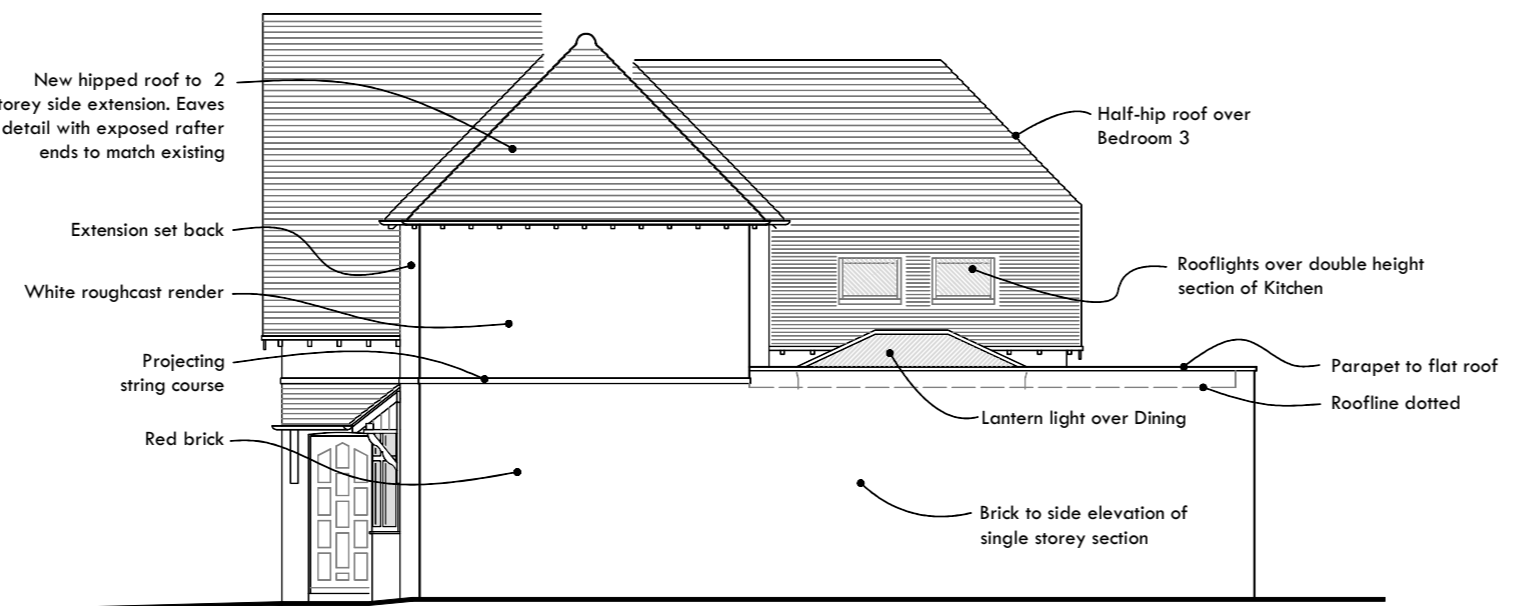
**Proposed First Floor Plan**  
Scale: 1:100



**Proposed Roof Plan**  
Scale: 1:100



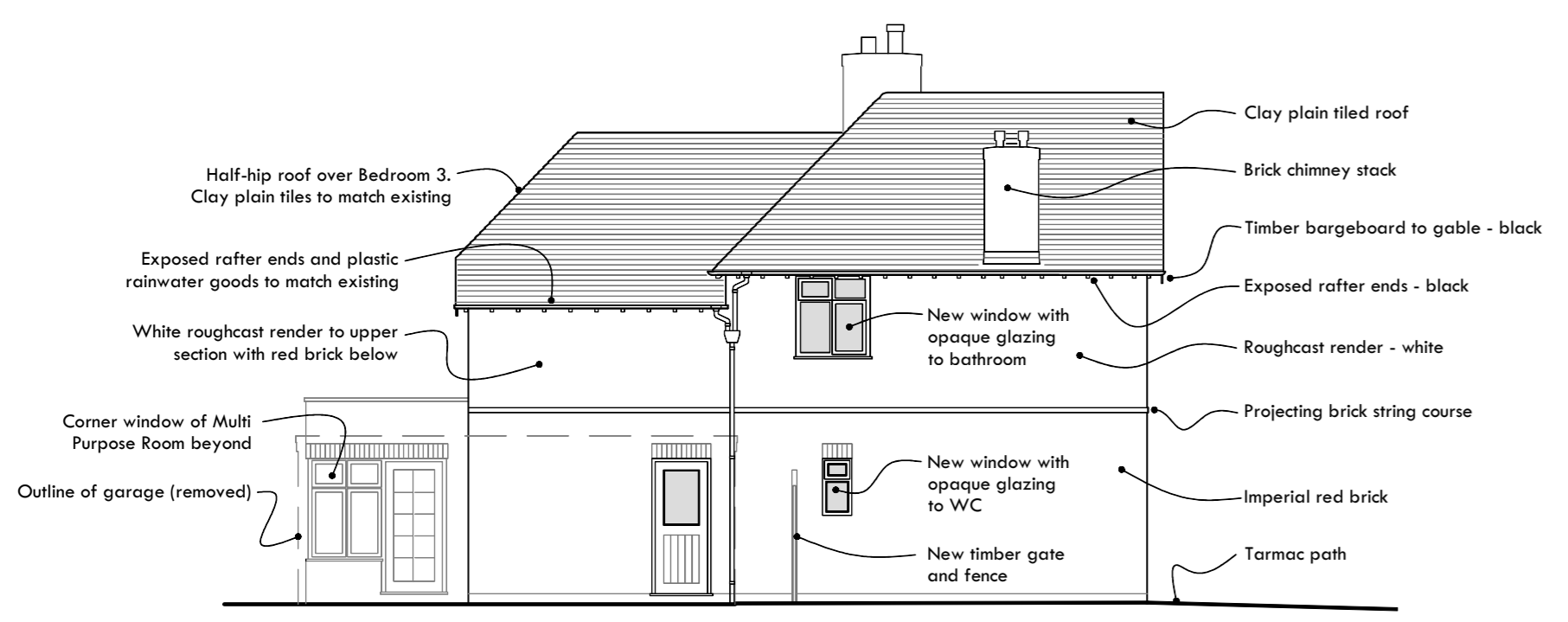
**Proposed Front (West) Elevation**  
Scale: 1:100



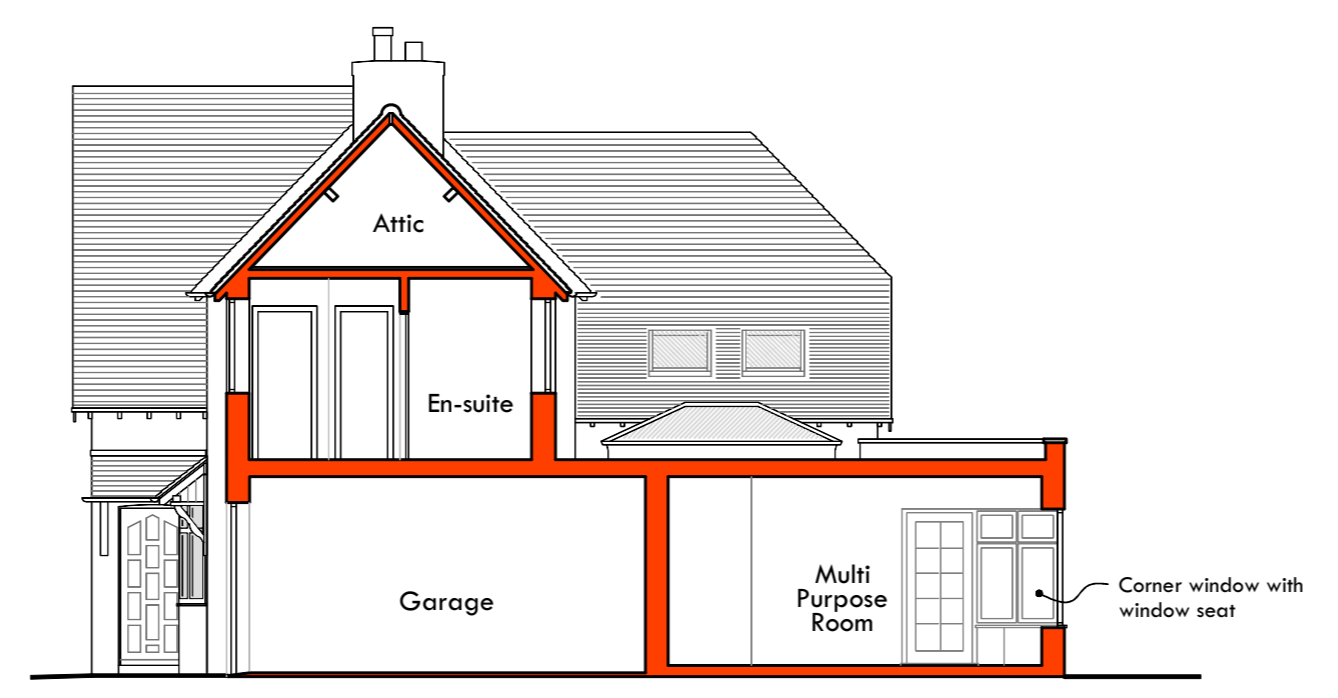
**Proposed Side (South) Elevation**



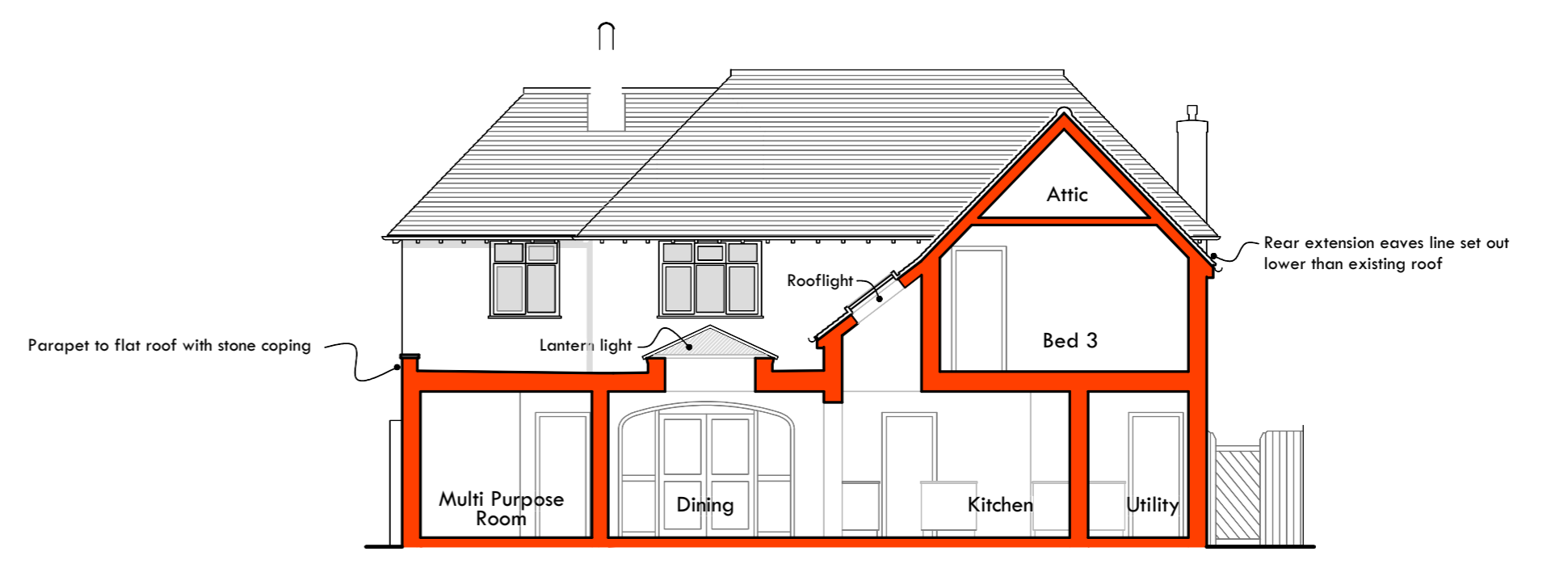
**Proposed Rear (East) Elevation**



**Proposed Side (North) Elevation**



**Proposed Section XX**



**Proposed Section YY**

Amendments		
Date	Description	Rev
June '22	First Issue	P1

**CER**

Project Title

Drawing Title

**AS PROPOSED FLOOR PLANS, ELEVATIONS AND SECTIONS**

Client: Mr & Mrs. McBRIEN  
 Scale: 1:100 @ A1  
 Status: PRELIMINARY  
 Date: JUNE 2022  
 Drawing No.