

Application for Planning Permission

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)

Northing (y)

Description

Land at School Lodge, Matson

Applicant Details

Name/Company

Title

Mr

First name

Surname

Panou

Company Name

Gloucester City Homes

Address

Address line 1

Railway house

Address line 2

Bruton Way

Address line 3

Town/City

Gloucester

Country

Postcode

GL1 1DG

Are you an agent acting on behalf of the applicant?

☒ Yes

☐ No

Contact Details

Primary number

Secondary number

Fax number

Email address

Agent Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Contact Details

Primary number

Secondary number

Fax number

Email address

Site Area

What is the measurement of the site area? (numeric characters only).

Unit

Description of the Proposal

Please note in regard to:

- **Fire Statements** - From 1 August 2021, planning applications for buildings of over 18 metres (or 7 stories) tall containing more than one dwelling will require a 'Fire Statement' for the application to be considered valid. There are some exemptions. [View government planning guidance on fire statements](#) or [access the fire statement template and guidance](#).
- **Permission In Principle** - If you are applying for Technical Details Consent on a site that has been granted Permission In Principle, please include the relevant details in the description below.
- **Public Service Infrastructure** - From 1 August 2021, applications for certain public service infrastructure developments will be eligible for faster determination timeframes. See help for further details or [view government planning guidance on determination periods](#).

Description

Please describe details of the proposed development or works including any change of use

Has the work or change of use already started?

- ☐ Yes
☒ No

Existing Use

Please describe the current use of the site

Is the site currently vacant?

- ☒ Yes
☐ No

If Yes, please describe the last use of the site

School lodge uses as residential dwelling.

When did this use end (if known)?

Does the proposal involve any of the following? If Yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated

- ☐ Yes
☒ No

Land where contamination is suspected for all or part of the site

- ☐ Yes
☒ No

A proposed use that would be particularly vulnerable to the presence of contamination

- ☐ Yes
☒ No

Materials

Does the proposed development require any materials to be used externally?

- ☒ Yes
☐ No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

Type:

Other

Other (please specify):

Materials

Existing materials and finishes:

Please refer to existing and proposed elevations.

Proposed materials and finishes:

Please refer to existing and proposed elevations.

Are you supplying additional information on submitted plans, drawings or a design and access statement?

- ☒ Yes
☐ No

If Yes, please state references for the plans, drawings and/or design and access statement

Please refer to proposed elevations and Design and Access Statement.

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicular access proposed to or from the public highway?

- ☒ Yes
- ☐ No

Is a new or altered pedestrian access proposed to or from the public highway?

- ☒ Yes
- ☐ No

Are there any new public roads to be provided within the site?

- ☐ Yes
- ☒ No

Are there any new public rights of way to be provided within or adjacent to the site?

- ☐ Yes
- ☒ No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

- ☒ Yes
- ☐ No

If you answered Yes to any of the above questions, please show details on your plans/drawings and state their reference numbers

Please see proposed layout drawings.

Vehicle Parking

Does the site have any existing vehicle/cycle parking spaces or will the proposed development add/remove any parking spaces?

- ☒ Yes
- ☐ No

Please provide information on the existing and proposed number of on-site parking spaces

<p>Vehicle Type: Cycle spaces</p> <p>Existing number of spaces: 0</p> <p>Total proposed (including spaces retained): 16</p> <p>Difference in spaces: 16</p>
<p>Vehicle Type: Cars</p> <p>Existing number of spaces: 0</p> <p>Total proposed (including spaces retained): 11</p> <p>Difference in spaces: 11</p>

Trees and Hedges

Are there trees or hedges on the proposed development site?

☒ Yes

☐ No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

☒ Yes

☐ No

If Yes to either or both of the above, you may need to provide a full tree survey, at the discretion of the local planning authority. If a tree survey is required, this and the accompanying plan should be submitted alongside the application. The local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

Assessment of Flood Risk

Is the site within an area at risk of flooding? (Check the location on the Government's [Flood map for planning](#). You should also refer to national [standing advice](#) and your local planning authority requirements for information as necessary.)

☐ Yes

☒ No

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

☐ Yes

☒ No

Will the proposal increase the flood risk elsewhere?

☐ Yes

☒ No

How will surface water be disposed of?

☒ Sustainable drainage system

☐ Existing water course

☐ Soakaway

☐ Main sewer

☒ Pond/lake

Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

To assist in answering this question correctly, please refer to the help text which provides guidance on determining if any important biodiversity or geological conservation features may be present or nearby; and whether they are likely to be affected by the proposals.

a) Protected and priority species

☐ Yes, on the development site

☒ Yes, on land adjacent to or near the proposed development

☐ No

b) Designated sites, important habitats or other biodiversity features

- ☐ Yes, on the development site
☒ Yes, on land adjacent to or near the proposed development
☐ No

c) Features of geological conservation importance

- ☐ Yes, on the development site
☒ Yes, on land adjacent to or near the proposed development
☐ No

Supporting information requirements

Where a development proposal is likely to affect features of biodiversity or geological conservation interest, you will need to submit, with the application, sufficient information and assessments to allow the local planning authority to determine the proposal.

Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the local planning authority has been submitted.

Your local planning authority will be able to advise on the content of any assessments that may be required.

Foul Sewage

Please state how foul sewage is to be disposed of:

- ☒ Mains sewer
☐ Septic tank
☐ Package treatment plant
☐ Cess pit
☐ Other
☐ Unknown

Are you proposing to connect to the existing drainage system?

- ☒ Yes
☐ No
☐ Unknown

If Yes, please include the details of the existing system on the application drawings and state the plan(s)/drawing(s) references

Please refer to proposed drainage strategy.

Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

- ☒ Yes
☐ No

If Yes, please provide details:

Please see proposed floor plans.

Have arrangements been made for the separate storage and collection of recyclable waste?

- ☒ Yes
☐ No

If Yes, please provide details:

Please see proposed floor plans.

Trade Effluent

Does the proposal involve the need to dispose of trade effluents or trade waste?

- Yes
- No

Residential/Dwelling Units

Does your proposal include the gain, loss or change of use of residential units?

- Yes
- No

Please note: This question is based on the current housing categories and types specified by government.

If your application was started before 23 May 2020, the categories and types shown in this question will now have changed. We recommend that you review any information provided to ensure it is correct before the application is submitted.

Proposed

Please select the housing categories that are relevant to the proposed units

- Market Housing
- Social, Affordable or Intermediate Rent
- Affordable Home Ownership
- Starter Homes
- Self-build and Custom Build

Social, Affordable or Intermediate Rent

Please specify each type of housing and number of units proposed

Housing Type:
Flats / Maisonettes

1 Bedroom:
9

2 Bedroom:
0

3 Bedroom:
0

4+ Bedroom:
0

Unknown Bedroom:
0

Total:
9

Proposed Social, Affordable or Intermediate Rent Category Totals	1 Bedroom Total	2 Bedroom Total	3 Bedroom Total	4 Bedroom Total	Unknown Bedroom Total	Bedroom Total
	9	0	0	0	0	9

Existing

Please select the housing categories for any existing units on the site

- ☐ Market Housing
- ☐ Social, Affordable or Intermediate Rent
- ☐ Affordable Home Ownership
- ☐ Starter Homes
- ☐ Self-build and Custom Build

Totals

Total proposed residential units

9

Total existing residential units

0

Total net gain or loss of residential units

9

All Types of Development: Non-Residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?
Note that 'non-residential' in this context covers all uses except Use Class C3 Dwellinghouses.

- ☒ Yes
- ☐ No

Please add details of the Use Classes and floorspace.

Following changes to Use Classes on 1 September 2020: The list includes the now revoked Use Classes A1-5, B1, and D1-2 that should not be used in most cases. Also, the list does not include the newly introduced Use Classes E and F1-2. To provide details in relation to these or any 'Sui Generis' use, select 'Other' and specify the use where prompted. Multiple 'Other' options can be added to cover each individual use. [View further information on Use Classes.](#)

Use Class:
Other (Please specify)

Other (Please specify):
F2

Existing gross internal floorspace (square metres):
67

Gross internal floorspace to be lost by change of use or demolition (square metres):
67

Total gross new internal floorspace proposed (including changes of use) (square metres):
67

Net additional gross internal floorspace following development (square metres):
0

Totals	Existing gross internal floorspace (square metres)	Gross internal floorspace to be lost by change of use or demolition (square metres)	Total gross new internal floorspace proposed (including changes of use) (square metres)	Net additional gross internal floorspace following development (square metres)
	67	67	67	0

Loss or gain of rooms

For hotels, residential institutions and hostels please additionally indicate the loss or gain of rooms:

Employment

Are there any existing employees on the site or will the proposed development increase or decrease the number of employees?

- ☐ Yes
☒ No

Hours of Opening

Are Hours of Opening relevant to this proposal?

- ☐ Yes
☒ No

Industrial or Commercial Processes and Machinery

Does this proposal involve the carrying out of industrial or commercial activities and processes?

- ☐ Yes
☒ No

Is the proposal for a waste management development?

- ☐ Yes
☒ No

Hazardous Substances

Does the proposal involve the use or storage of Hazardous Substances?

- ☐ Yes
☒ No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- ☒ Yes
☐ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- ☒ The agent
☐ The applicant
☐ Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- ☒ Yes
☐ No

If Yes, please complete the following information about the advice you were given (this will help the authority to deal with this application more efficiently):

Officer name:

Title

First Name

Surname

Reference

Date (must be pre-application submission)

Details of the pre-application advice received

We are advised by officers that the revised scheme requires a new application. Once the new full planning application is validated the applicant will withdraw application 19/01110/FUL and applications 19/01084/DSUF and 19/01080/LBC will be updated for consistency with the new full planning application.

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- ☐ Yes
☒ No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- ☐ Yes
☒ No

Can you give appropriate notice to all the other owners/agricultural tenants? (Select 'Yes' if there are no other owners/agricultural tenants)

☒ Yes

☐ No

Certificate Of Ownership - Certificate B

I certify/ The applicant certifies that:

- ☒ I have/The applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner* and/or agricultural tenant** of any part of the land or building to which this application relates; or
- ☐ The applicant is the sole owner of all the land or buildings to which this application relates and there are no other owners* and/or agricultural tenants**.

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural tenant" has the meaning given in section 65(8) of the Town and Country Planning Act 1990

Owner/Agricultural Tenant

Name of Owner/Agricultural Tenant:

***** REDACTED *****

House name:

Number:

Suffix:

Address line 1:

Address Line 2:

Town/City:

Postcode:

GL1 9FW

Date notice served (DD/MM/YYYY):

29/04/2022

Person Family Name:

Name of Owner/Agricultural Tenant:

***** REDACTED *****

House name:

Number:

Suffix:

Address line 1:

Address Line 2:

Town/City:

Postcode:

GL1 2TJ

Date notice served (DD/MM/YYYY):

29/04/2022

Person Family Name:

Person Role

☐ The Applicant

☒ The Agent

Title

Mr

First Name

John-Rhys

Surname

Davies

Declaration Date

02/05/2022

☒ Declaration made

Declaration

I / We hereby apply for Full planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

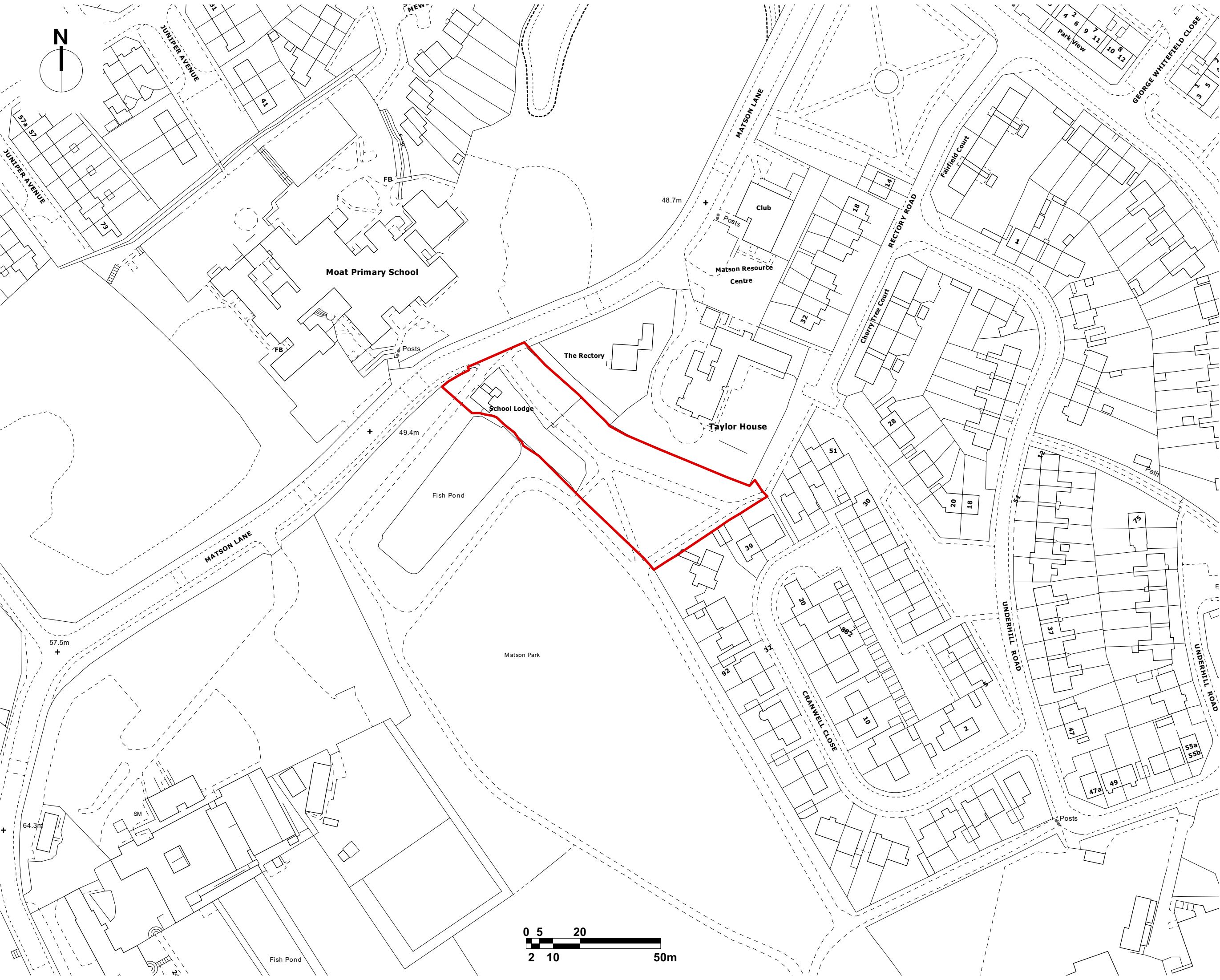
☒ I / We agree to the outlined declaration

Signed

Neil Mantell

Date

02/05/2022



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REVISIONS

REV: DATE - DRAWN - CHECKED: NOTES

-: 27.03.18 - ATto - CC:

Drawing created.

A: 29.05.18 - ATto:

Site boundary ammended.

B: 25.07.18 - CC:

Site boundary ammended.

C: 11.11.20 - DC:

Site boundary revised.

DRAWING TITLE

Site Location Plan

PROJECT

School Lodge, Matson

CLIENT

Gloucester City Homes

SCALE

1:1250@A3

DATE

Mar 2018



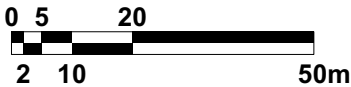
DRAWING NO.

REV

5591-P-01

C

Matthews Warehouse, High Orchard Street
Gloucester Quays, GL2 5QY





29 April 2022
Our Ref: JRD/18.272

Mr Adam Smith
The Planning Department
Gloucester City Council
92 Westgate Street
Gloucester
GL1 2PE

Dear Mr Smith,

**THE TOWN & COUNTRY PLANNING ACT 1990 (AS AMENDED) AND THE TOWN & COUNTRY
PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015
LAND AT SCHOOL LODGE, MATSON**

We herewith enclose, on behalf of our client Gloucester City Homes, a planning application in respect of land at School Lodge, Matson Lane, Matson, Gloucester for a proposed development of 9 residential apartments, change of use of existing School Lodge building for a community use (Use Class F2), open space, landscaping, SUDS, car parking and associated works. The application submission includes:

- Application forms;
- Site location plan;
- Existing plans and elevations;
- Proposed plans and elevations;
- Planning Statement;
- Design and Access Statement;
- Transport Assessment;
- Drainage Strategy Report;
- Proposed lighting scheme;
- Tree Survey, Impact Assessment and Tree Protection Method Statement;
- Ecology Assessment and Bat Method Statement;
- HRA Shadow Appropriate Assessment;
- Archaeological Assessment;
- Heritage Assessment;
- Landscape and Visual Appraisal;
- Energy Statement; and
- Waste Minimisation Statement;

The required planning application fee for the sum of £4158 will be paid via planning portal directly by the applicant.

Background

This application follows pending applications at the same site by the same applicant; 19/01084/DSUF; 19/01110/FUL & 19/01080/LBC for a similar development of 10 no. dwellings.

This new submission is made for a new full application which presents a revised scheme in response to officer comments. The proposal is now for one less dwelling and for the existing School Lodge to have a community use rather than be converted to a dwelling. The design of the proposed apartment building has been amended reducing the height and overall massing of the structure compared to that originally proposed. The building has been reduced from three storey to two, whilst changes to its form and appearance have been made with the resulting structure more akin to a terrace of cottages.

We are advised by officers that the revised scheme requires a new application. Once the new full planning application is validated the applicant will withdraw application 19/01110/FUL and applications 19/01084/DSUF and 19/01080/LBC will be updated for consistency with the new full planning application.

Site Location & Description

The subject site measures approximately 0.345ha and comprises vacant land located to the north of Matson Park, Gloucester. The northern part of the site comprises a derelict two storey fishing lodge and area of hardstanding, directly to the west of this lies a small fishing lake. The southern part of the site comprises an area of grassland and vegetation including a footpath network which links to Matson Park, a large area of Public Open Space. Mature vegetation forms the immediate boundaries of the site to the north east, south and south west.

The site is further bound to the north by Matson Lane (a single carriageway 30mph road) and Moat Primary School, to the east by 'Taylor House' (a small commercial premises), to the south by existing residential development along Cranwell Close and to the west by Matson Park. A Public Right of Way Crosses the site from north to south.

Vehicular access to the site is available off Matson Lane, which connects to the wider highway network via Matson Avenue. There are footways along both the northern and southern side of Matson Lane with provide pedestrian connectivity to the wider area.

Proposed Development

The proposed development comprises the following principle components:

- 9no. 1 bedroom flats;
- Refurbishment of the existing lodge building to provide a community use;
- Public open space;
- Landscaping;
- SUDs;
- Car parking; and
- Associated works.

Further detail relating to the proposed development, landscape, access, flood risk, drainage, ecology and heritage is contained within the Planning Statement accompanying this application.

Summary and Justification for Approval

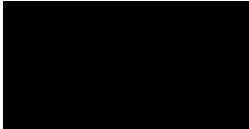
As outlined in the Planning Statement accompanying this planning application, it is considered that the principle of proposed development is acceptable in land use policy terms. Furthermore, the scheme accords with the relevant policies of the development plan together with guiding principles of the National Planning Policy Framework and there are no technical constraints precluding development. It



is considered that the delivery of affordable housing to meet the needs of the existing community also weighs heavily in its favour.

For the reasons outlined above, the proposed development is commended to the local authority and planning permission should be granted. We look forward to receiving confirmation of receipt, however should you have any queries or require further information, please do not hesitate to contact us.

Yours Sincerely,



John-Rhys Davies MRTPI
Principal Planner
LRM Planning



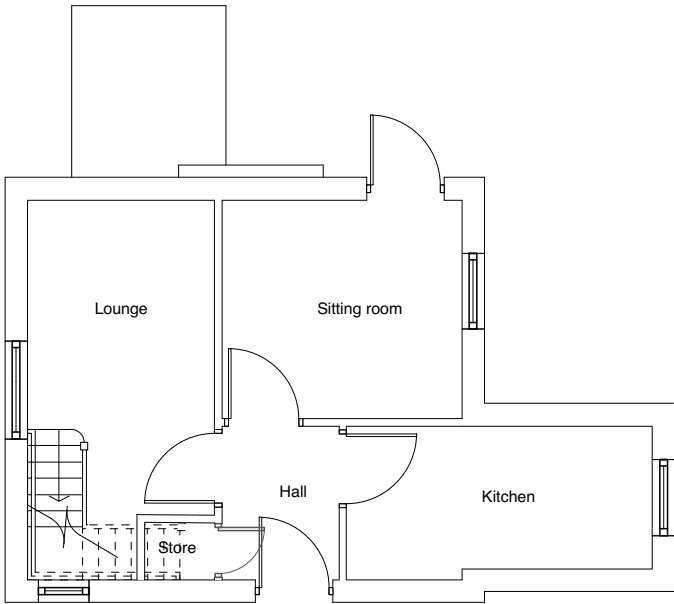
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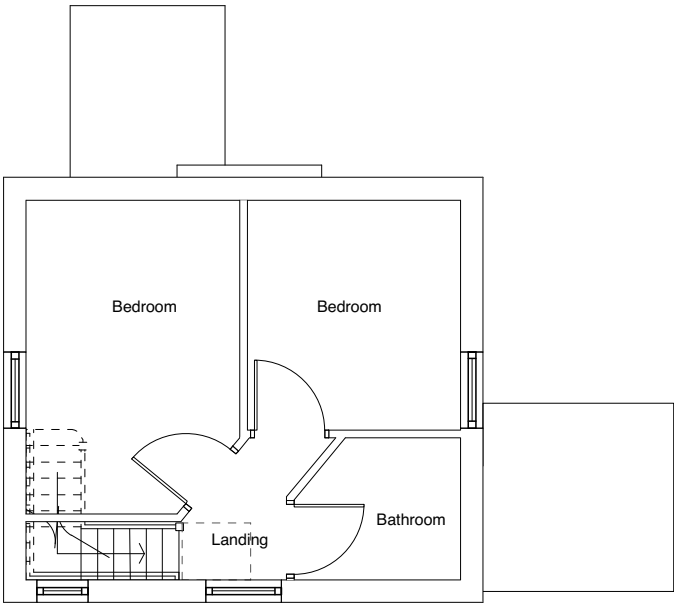
REVISIONS

REV: DATE - DRAWN - CHECKED: NOTES

-: 25.07.19 - SS - XX:
Drawing created.



Ground Floor



First Floor

DRAWING TITLE

Existing Floor Plans
School Lodge

PROJECT

School Lodge, Matson

CLIENT

Gloucester City Homes

SCALE 1:100@A3
DATE July 2019



DRAWING NO. 5591-P-02
REV -



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REVISIONS

REV: DATE - DRAWN - CHECKED: NOTES

-: 10.11.20 - DC - CC:
Drawing created.



DRAWING TITLE

Existing Site Layout

PROJECT

School Lodge, Matson

CLIENT

Gloucester City Homes

SCALE 1:500@A3

DATE Nov 2020



DRAWING NO. **REV**

5591-P-05 -

Matthews Warehouse, High Orchard Street
Gloucester Quays, GL2 5QY

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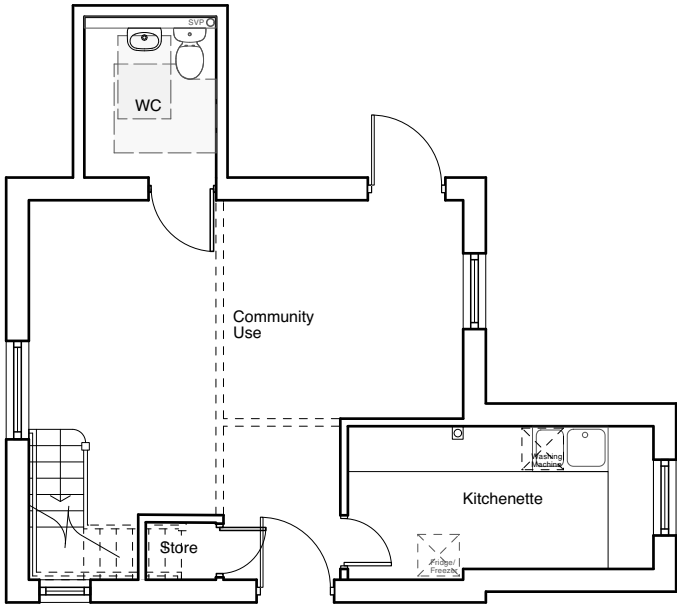
REVISIONS

REV: DATE - DRAWN - CHECKED: NOTES

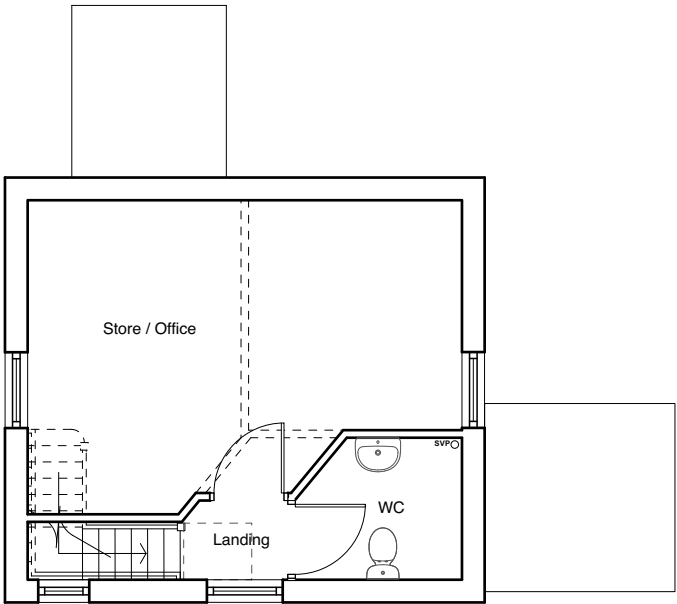
-: 25.07.19 - SS - CC:
Drawing created.

A: 03.02.20 - CC:
Internal layout revised to retaining existing walls and room layout.

B: 10.02.22 - DC:
Internal layout amended to accomodate community use.



Ground Floor



First Floor

DRAWING TITLE

Proposed Floor Plans
School Lodge

PROJECT

School Lodge, Matson

CLIENT

Gloucester City Homes

SCALE 1:100@A3

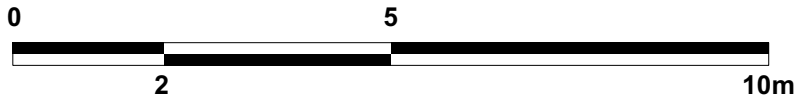
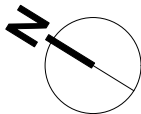
DATE July 2019



DRAWING NO. REV

5591-P-203 B

Matthews Warehouse, High Orchard Street
Gloucester Quays, GL2 5QY



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REVISIONS

REV: DATE - DRAWN - CHECKED: NOTES

-: 28.01.20 - JLP - CC:
Drawing created.
A: 22.09.20 - BM - CC:
Updated following new elevations.
B: 23.02.22 - DC:
Street scene revised following site plan amendments.



Indicative proposed street scene from Matson Lane

DRAWING TITLE

Indicative Proposed Street Scene

PROJECT

School Lodge, Matson

CLIENT

Gloucester City Homes

SCALE 1:200@A3
DATE Jan 2020



DRAWING NO. 5591-P-705
REV B

Matthews Warehouse, High Orchard Street
Gloucester Quays, GL2 5QY

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REVISIONS

REV. DATE - DRAWN - CHECKED: NOTES

-: 26.02.20 - SS:
A: 21.07.20 - DC - CC:
Site plan revised following planning officers comments.
B: 29.07.20 - DC - CC:
Site plan updated with revised units. Bin and bike store now located within ground floor of accommodation block.
C: 10.09.20 - BM - CC:
Site plan updated with revised units.
D: 22.10.20 - DC:
Boundary treatment to rear of parking spaces adjacent to pond changed to knee rail. Stone pillars to adjacent to site access retained.
E: 12.11.20 - DC:
Schedule of accommodation updated following floor plan revisions.
F: 26.11.20 - DC:
Access track to north of School Lodge connecting to fishing pond reduced to 3.5m in line with Highways comments. Schedule updated with revised floor areas.
G: 10.02.22 - DC:
Site plan updated. Reduction of proposed residential units to 9no flats. Existing lodge building to be converted into community use.
H: 21.02.22 - DC:
Hardstanding and bike rack positions around School Lodge revised. Additional parking space added.
J: 22.04.22 - DC:
Rainwater garden locations added.

DRAWING TITLE

Proposed Site Layout

PROJECT

School Lodge, Matson

CLIENT

Gloucester City Homes

SCALE

1:500@A3

DATE

Feb 2020



DRAWING NO.

REV

5591-P-1000

J

Matthews Warehouse, High Orchard Street
Gloucester Quays, GL2 5QY

N

Schedule of Accommodation:

Unit 1	1B2P Flat @ 50.2sqm
Unit 2	1B2P Flat @ 50.3sqm
Unit 3	1B2P Flat @ 50.3sqm
Unit 4	1B2P Flat @ 50.2sqm
Unit 5	1B2P Flat @ 53.4sqm
Unit 6	1B2P Flat @ 54.2sqm
Unit 7	1B2P Flat @ 50.3sqm
Unit 8	1B2P Flat @ 52.9sqm
Unit 9	1B2P Flat @ 67.7sqm

9 Units

Converted Building - Community Use

Key:

- Site Boundary
- Shared Surface
- Footpath
- Road
- Granite setts
- 900mm Metal Railings
- 1800mm Close Boarded Fence
- 450mm High Knee Rail
- Retained Stone Pillars
- Grass
- Retained Trees
- Proposed Trees
- Proposed Planting
- Line of Public Right of Way
- Trees to be removed
- RPZ
- Rainwater Gardens




NOTES

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REVISIONS

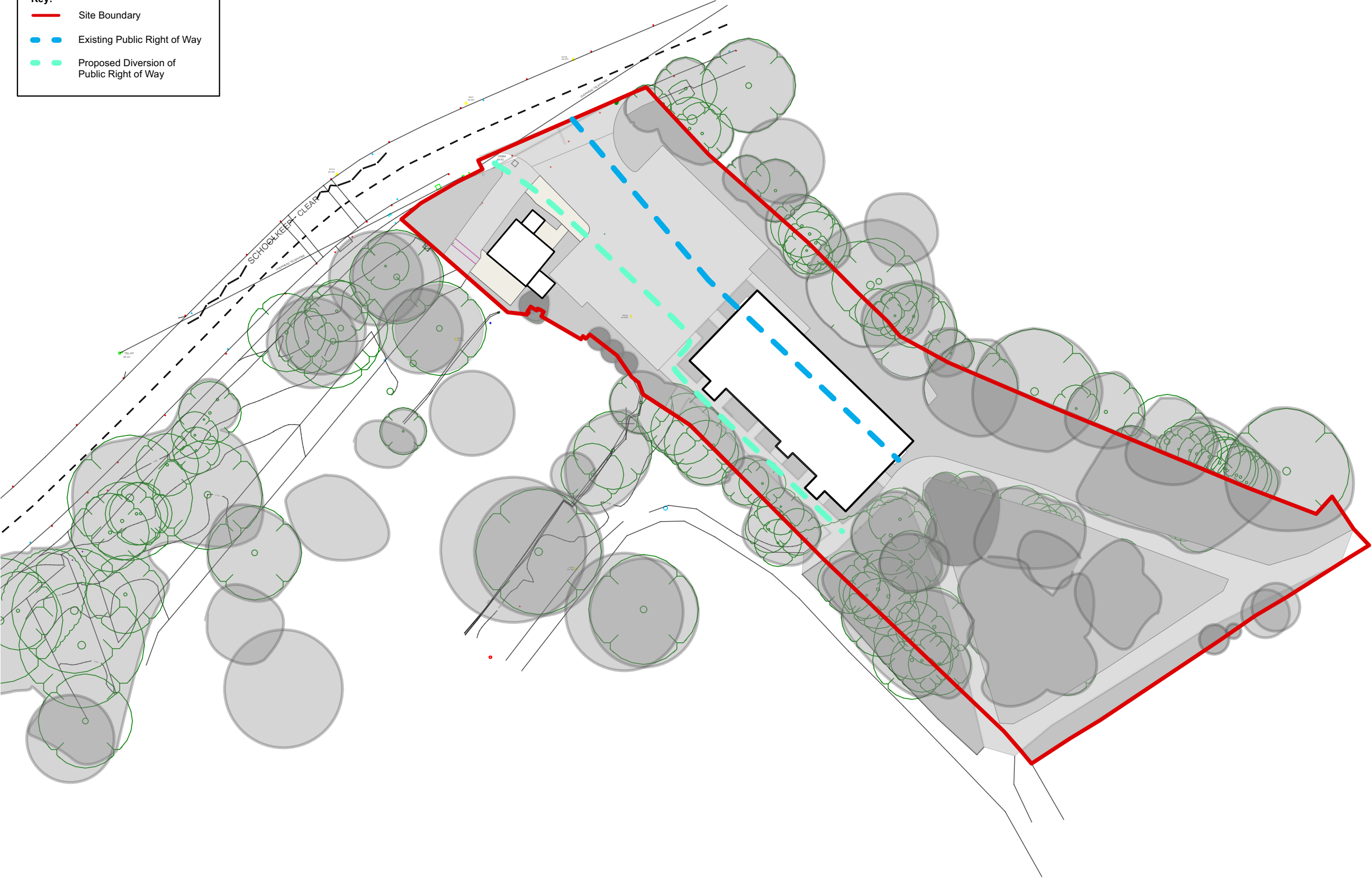
REV: DATE - DRAWN - CHECKED: NOTES

~: 15.09.20 - BM - CC:
Drawing created.
A: 21.02.22 - DC:
Layout updated following site plan revisions.



Key:

- Site Boundary
- Existing Public Right of Way
- Proposed Diversion of Public Right of Way



DRAWING TITLE

Proposed Diversion of Public Right of Way

PROJECT

School Lodge, Matson

CLIENT


Gloucester City Homes

SCALE 1:500@A3
DATE Sept 2020



DRAWING NO. 5591-P-1100
REV A

Matthews Warehouse, High Orchard Street
Gloucester Quays, GL2 5QY



Key:

- Site Boundary
- Existing Public Right of Way
- Proposed Diversion of Public Right of Way

School

Matson Resource
Centre

www.quattrodesign.co.uk

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REVISIONS
REV: DATE - DRAWN - CHECKED: NOTES
-: 15.09.20 - BM - CC:
Drawing created.

Posts

The Rectory

School Lodge

Taylor House

+ 49.4m

Fish Pond

39

DRAWING TITLE
Proposed Diversion of Public Right of Way OS

PROJECT
School Lodge, Matson

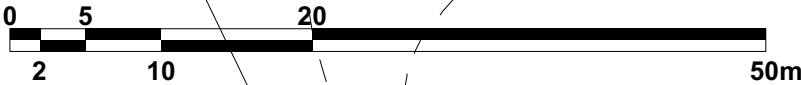
CLIENT
Gloucester City Homes

SCALE 1:500@A3
DATE Sept 2020



DRAWING NO. 5591-P-1200
REV -

Matthews Warehouse, High Orchard Street
Gloucester Quays, GL2 5QY



Landscaping Key:

1. *Rosemary officinalis* (5No.)

2. *Hypericum 'Hidcote'* (24No.)

3. *Hebe 'Midsummer Beauty'* (12No.)

4. *Viburnum trrus* 'Eve Price' (11No.)

5. *Philadelphus 'Belle Etoile'* (11No.)

6. *Rosa Kent 'Poultov'*(10No.)

7. *Brachyglottis 'Sunshine'* (3No.)

8. *Salvia officinalis 'Purpurascens'* (15No.)

9. *Lavandula angustifolia 'Hidcote'* (3No.)

10. *Bergenia cordifolia* (3No.)

11. *Euonymus fortunei 'Emerald gaiety'* (4No.)

12. *Heuchera 'Plum pudding'* (5No.)

Existing trees removed

Common Beech 'Fagus Sylvatica'

Existing Trees Retained

Grass

Rainwater Gardens
(planting details TBC
within conditions)

www.quattrodesign.co.uk

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REVISIONS

REV: DATE - DRAWN - CHECKED: NOTES
-: 16.09.20 - BM - CC:
Drawing created.
A: 23.02.22 - DC:
Planting layout and schedule updated following revised site layout.
B: 25.04.22 - DC:
Rainwater gardens added. Proposed planting amended accordingly.

DRAWING TITLE

Soft Landscaping Plan

PROJECT

School Lodge, Matson

CLIENT

Gloucester City Homes

SCALE 1:500@A3

DATE Sept 2020

DRAWING NO. REV

5591-P-1500 B

Matthews Warehouse, High Orchard Street
Gloucester Quays, GL2 5QY

Road - Asphalt Surface

Footpath - Asphalt Surface

Road - Shared surface - Block Paviour

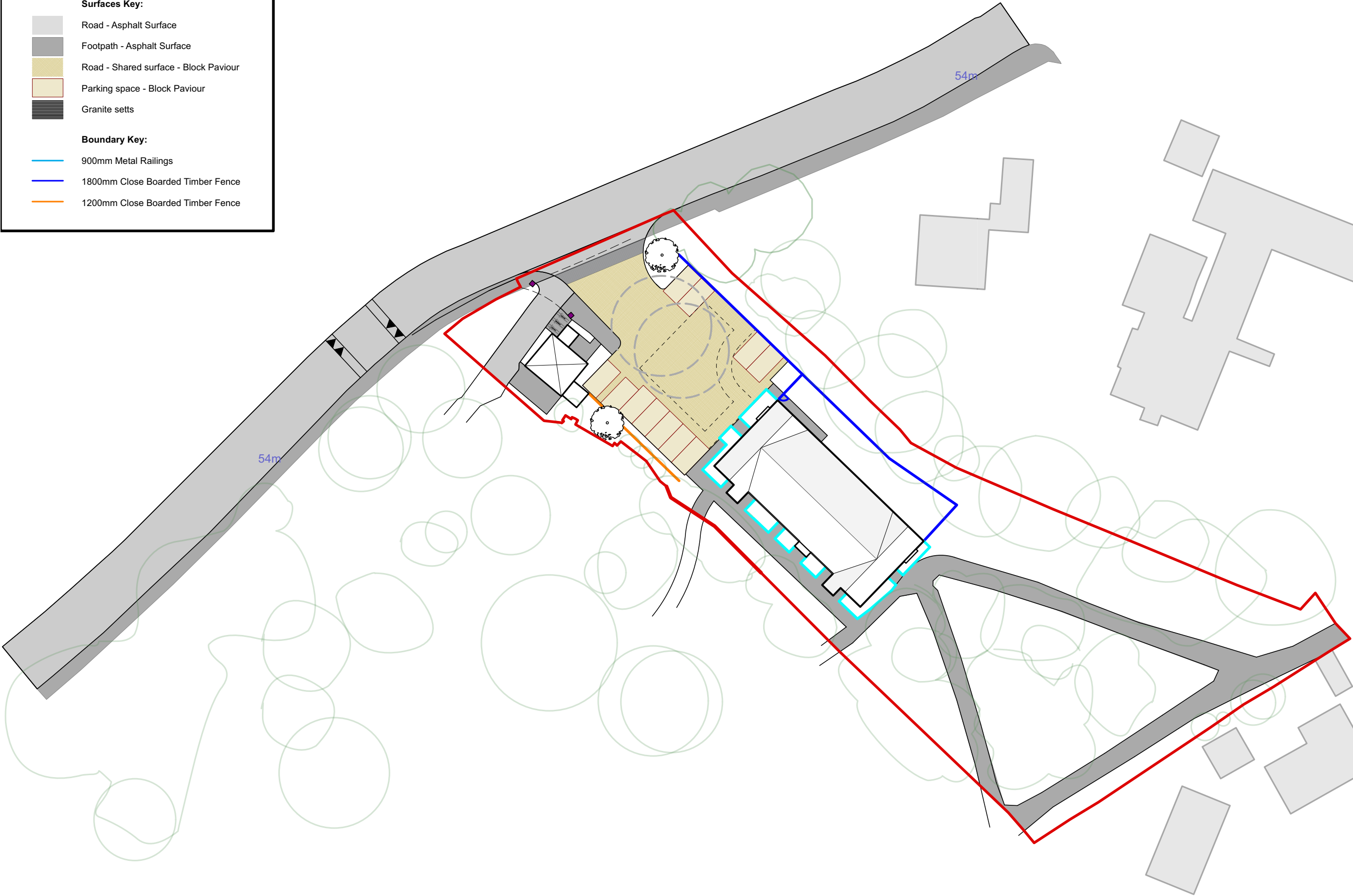
Parking space - Block Paviour

Granite setts

900mm Metal Railings

1800mm Close Boarded Timber Fence

1200mm Close Boarded Timber Fence



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REVISIONS
REV: DATE - DRAWN - CHECKED: NOTES
-: 22.09.20 - BM - CC: Drawing created.
A: 21.02.22 - DC: Hard landscaping updated following site plan revisions.

DRAWING TITLE
Hard Landscaping Plan

PROJECT
School Lodge, Matson

CLIENT
Gloucester City Homes

SCALE 1:500@A3
DATE Sept 2020



DRAWING NO. 5591-P-1800
REV A

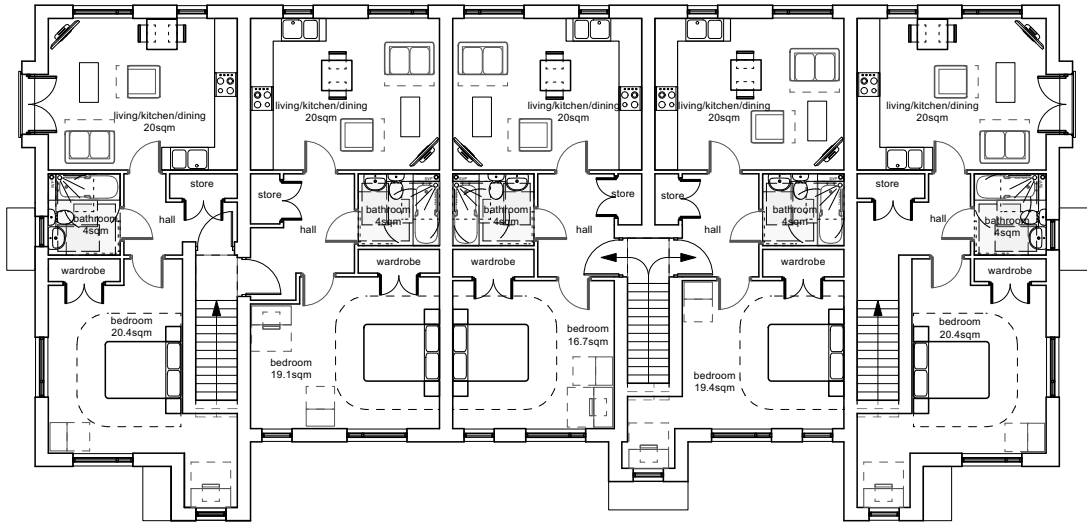
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REVISIONS

REV: DATE - DRAWN - CHECKED: NOTES

- : 10.09.20 - BM - CC:
Drawing created.
A: 03.11.20 - CC:
Amendments to stair widths and flat sizes
B: 12.11.20 - DC:
Lobby to top of Flat 9 stairs removed. GIAs updated.
C: 26.11.20 - DC:
Recessed porch to Plots 1 and 4 replaced by
rextenal canopy to bring GIA to NDSS.
D: 09.12.20 - LM - CC:
Floor plans updated.



Plot 5
1B2P Flat @ 53.4sqm

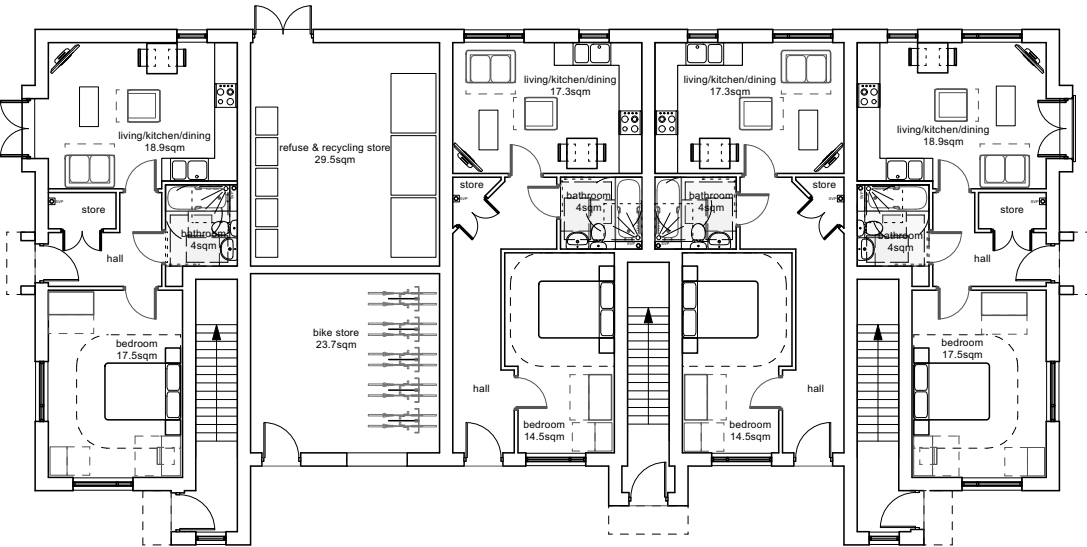
Plot 6
1B2P Flat @ 54.2sqm

Plot 7
1B2P Flat @ 50.3sqm

Plot 8
1B2P Flat @ 52.9sqm

Plot 9
1B2P Flat @ 67.7sqm

First Floor



Plot 1
1B2P Flat @ 50.2sqm

Bin and Bike store

Plot 2
1B2P Flat @ 50.3sqm

Plot 3
1B2P Flat @ 50.3sqm

Plot 4
1B2P Flat @ 50.2sqm

Ground Floor

DRAWING TITLE

Proposed Floor Plans

PROJECT

School Lodge,
Matson Lane

CLIENT

Gloucester City Homes (GCH)

SCALE 1:200@A3

DATE Sept 2020



DRAWING NO. REV

5591-P-2000 D

Matthews Warehouse, High Orchard Street
Gloucester Quays, GL2 5QY



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REVISIONS

REV: DATE - DRAWN - CHECKED: NOTES

-: 10.09.20 - BM - CC:
Drawing created.
A: 22.10.20 - DC:
Obscured glazing indicated to lower sections of full height windows. Materials key updated.
B: 03.11.20 - CC:
Window to bike store removed.
C: 26.11.20 - DC
Side elevations revised in line with amended floor plans w/ plot 1 and 4 now having external canopy porch.
D: 09.12.20 - LM - CC:
Elevations updated.



Plot 5
Plot 1
South West Elevation

Plot 6

Plot 7
Plot 2

Plot 8
Plot 3

Plot 9
Plot 4



Plot 9
Plot 4
South East Elevation



Plot 9
Plot 4
North East Elevation

Plot 8

Plot 7
Plot 2

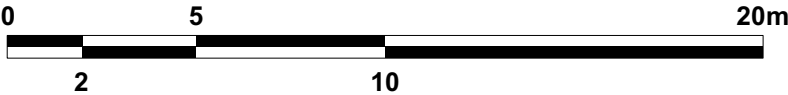
Plot 6
Bin and Bike store

Plot 5
Plot 1



Plot 5
Plot 1
North West Elevation

- Key
- Red brick - Running bond
 - Red brick - Soldier stack course
 - Grey roof tile
 - Grey standing seam
 - Dark grey window and door frames
 - Obscured glazing to lower sections of full height windows
 - Dark grey RWGs



DRAWING TITLE

Proposed Elevations

PROJECT

School Lodge,
Matson Lane

CLIENT

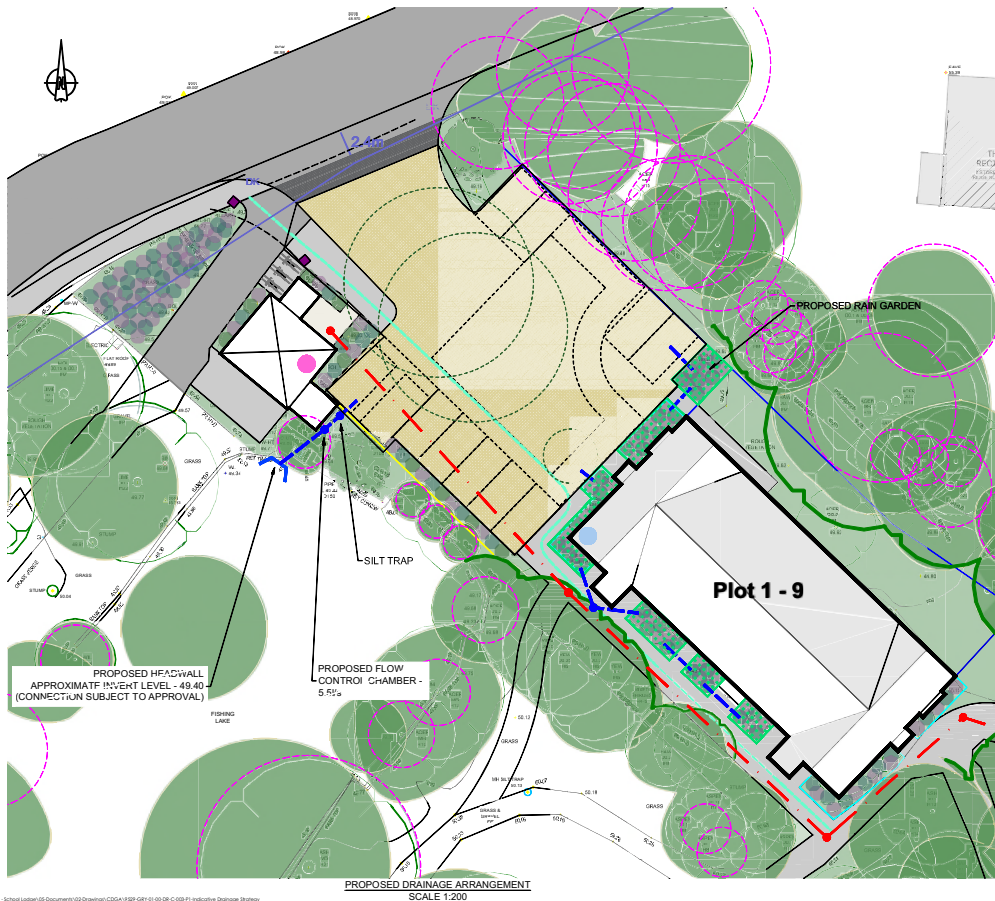
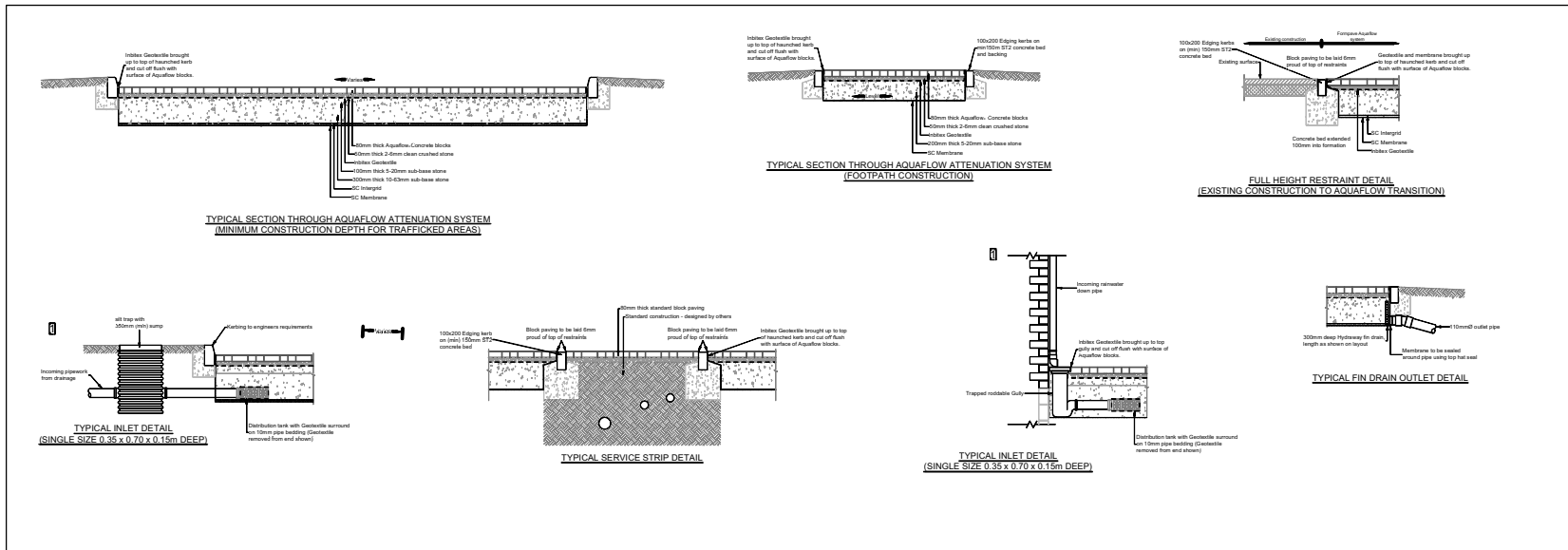
Gloucester City Homes (GCH)

SCALE 1:200@A3
DATE Sept 2020



DRAWING NO. 5591-P-7000
REV D

Matthews Warehouse, High Orchard Street
Gloucester Quays, GL2 5QY



STORM WATER SOURCE CONTROL SYSTEM

Aquaflo paving.

TYPE(S) OF PAVING
Permeable concrete block paving

REFERENCE
Aquaflo

SIZE
100 x 200 x 80 Thick

COLORS
Red brindle, Golden brindle, Natural, Charcoal, Burnt red.

SETTING OUT
Aquaflo and Aquasetts:
900 herringbone with double stretcher course around all perimeters.

KERBS
Standard kerb system or Forest Edging: both to be haunched with concrete.

LAYING COURSE*
50mm depth of 5mm. single size clean crushed stone to BS882.

GEOTEXTILE
Inbitex Geotextile as noted

SUB-BASE SPECIFICATION*
The granular sub-base material shall comprise crushed rock or concrete possessing well defined edges. It must be sound, clean, non friable and free from clay or other deleterious matter.

The material must be non plastic when tested in accordance with BS1377 Test No 4. The crushed stone used for the laying course and sub-base must have a minimum 10% fines value of 150kN when tested in accordance with BS812 Part 111.

The selected test samples not be over dried and should be soaked in water at room temperature for 48-hours before the test. The 100mm deep upper layer of sub-base material should be graded 20mm-5mm to BS882.

The 63-10mm material should be graded as follows:-

BS Sieve size	%passing
100mm	100
63mm	90-100
37.5mm	60-80
20mm	15-30
10mm	0-5

DEPTH OF SUB-BASE
It is recommended that a sub-base depth of 350mm should be used. The depth of sub-base may be varied at the discretion of the engineer.

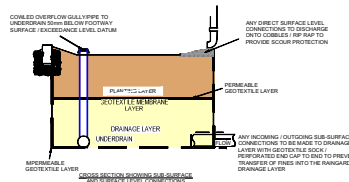
Intergrid(S) * - SC Intergrid

ASPHALT RUNNING COURSE
To be 20mm dense bitumen base course manufactured with 125pen bitumen to BS4987.

SURFACE FINISH
The blocks should be vibrated with a vibrating plate Type DVP7502 or similar. Following the first pass with a vibrating plate a light dressing of 3mm single size clean stone should be applied to the surface and brushed in, approximately 2kg per m2. (available from Formpave in 40 kg bags). Blocks should again be vibrated and any debris brushed off.

- NOTES**
- SAFETY HEALTH AND ENVIRONMENTAL INFORMATION**
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT CDM REGULATIONS 2015 AND HSG150. IN ADDITION TO THE HAZARDS/RISKS NORMALLY ASSOCIATED WITH THE TYPE OF WORK DETAILED ON THE DRAWING, PLEASE NOTE THE FOLLOWING:
- NOTES**
1. DRAINAGE DESIGN SUBJECT TO APPROVAL.
 2. DO NOTE SCALE FROM THIS DRAWING, USE FIGURED DIMENSIONS ONLY.
 3. THIS DRAWING TO BE READ IN CONJUNCTION WITH THE LATEST ENGINEERS, ARCHITECT'S DRAWINGS & SPECIFICATIONS.
 4. ALL RELEVANT DRAINAGE AND ASSOCIATED WORKS TO BE LAID IN ACCORDANCE WITH SEWERS FOR ADOPTION 7TH EDITION AND BUILDING REGULATIONS PART H (2010) UNLESS OTHERWISE STATED.

- KEY**
- PROPOSED SURFACE WATER DRAINAGE
 - PROPOSED FOUL WATER DRAINAGE
 - PROPOSED HEAD WALL
 - PROPOSED SITE BOUNDARY
 - PROPOSED PERMEABLE PAVING
 - PROPOSED RAIN GARDEN



- NOTE**
- ROAD LEVEL RAISED TO 50.50 AOD MINIMUM TO PROTECT DRAINAGE
- MAXIMUM ALLOWABLE DISCHARGE 5.5 l/s
 - CONTRIBUTING AREA 825m²
 - Q100 +40% CLIMATE CHANGE
 - TOP OF FORMATION TO BE SHAPED SO THAT APPROPRIATE GRADIENT CAN ALLOW SURFACE WATER TO BE CHANNELLED TO APPROPRIATE MANHOLES

REV	DESCRIPTION	BY	CHK	DATE

GRAYS CONSULTING ENGINEERS

34 Derry Court, Whitechapel Road, London E1 1AA

CLIENT
GLOUCESTER CITY HOMES

PROJECT TITLE
SCHOOL LODGE GLOUCESTER

DRAWING TITLE
INDICATIVE DRAINAGE STRATEGY

DRAWN GJ	CHECKED RM	APPROVED RM	DATE 17.07.2019	SHEET SIZE/SCALE 1:200@A1	GRAYS JOB No. 9529
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SUITABILITY S2	REVISION P1
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9529-GRY-01-00-DR-C-003



DO NOT SCALE

A PROPOSED 6m STANDARD TUBULAR STEEL RAISE & LOWER ROAD LIGHTING COLUMN WITH DW WINDSOR KIRIUM PRO MINI LUMINAIRE COMPLETE WITH 7 PIN NEMA SOCKET AND FRONT SHIELD.
MOUNTING HEIGHT: 6m
OUTREACH BRACKET ARM: POST TOP
LAMP: 8xLED
REF NO: KIRIUM PRO MINI 8LED 2.7k B5 CLO 250mA
OPTIC SETTING: B5
TILT: 0
GLAZING: FLAT GLASS
CONTROL GEAR: INTEGRAL ELECTRONIC DALI DIMMABLE
ISOLATION: SECONDARY ISOLATOR FITTED WITH BS88 FUSE
SWITCHING: 35/18 PECU
FOUNDATIONS: PLANTED
QUANTITY: 1

B PROPOSED 6m STANDARD TUBULAR STEEL ROAD LIGHTING COLUMN WITH DW WINDSOR KIRIUM PRO1 LUMINAIRE COMPLETE WITH 7 PIN NEMA SOCKET AND SHIELDS WHERE REQUIRED.
MOUNTING HEIGHT: 6m
OUTREACH BRACKET ARM: POST TOP
LAMP: 8 x LED
REF NO: KIRIUM PRO1 8LED 2.7k C1 CLO 850mA
OPTIC SETTING: C1
TILT: 0
GLAZING: FLAT GLASS
CONTROL GEAR: INTEGRAL ELECTRONIC DALI DIMMABLE
ISOLATION: SECONDARY ISOLATOR FITTED WITH BS88 FUSE
SWITCHING: 35/18 PECU
FOUNDATIONS: PLANTED
QUANTITY: 4

- NOTES:**
1. LIGHTING AND ELECTRICAL INFRASTRUCTURE LOCATIONS ARE INDICATIVE AND SUBJECT TO FURTHER DESIGN DEVELOPMENT.
 2. LIGHT SPILL CONTOURS HAVE BEEN CALCULATED USING A MAINTENANCE FACTOR (MF) OF 1.0 AND DO NOT TAKE ACCOUNT OF LANDSCAPING TO REPRESENT A WORST-CASE SCENARIO.
 3. REQUIREMENTS FOR LUMINAIRE SHIELDS AND FURTHER ENVIRONMENTAL MITIGATION TO BE DEVELOPED FURTHER WHERE REQUIRED.
 4. LIGHTING DESIGNED TO BS5489-1:2020.
 5. THIS DRAWING IS FOR PLANNING PURPOSES ONLY. NOT FOR CONSTRUCTION.

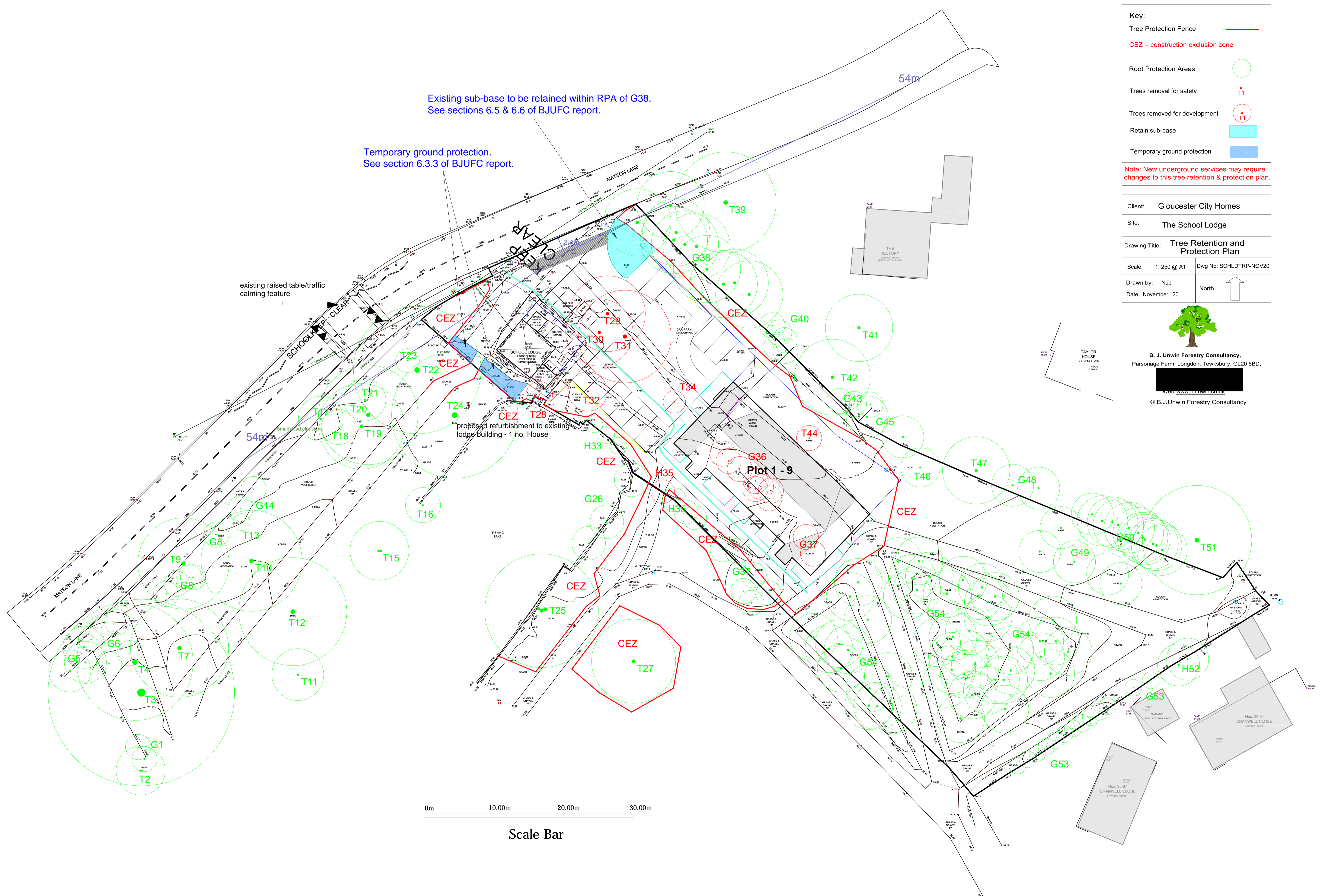
REV	DATE	BY	DESCRIPTION	CHK	APP
P01	05/06/2019	OJM	FIRST ISSUE	NO	KD
P02	05/01/2021	KD	UPDATED TO INCLUDE NEW UNDERPIN	PT	PAB
P03	14/02/2022	WSP	UPDATED TO INCLUDE NEW UNDERPIN	AC	WSP

DRAWING STATUS: S2 - FOR INFORMATION



Unit 9 The Chase, John Tate Road, Foxholes
Business Park, Hertford, SG11 7NN, UK
wsp.com

CLIENT:	GLoucester City Homes
PROJECT:	QUATTRO DESIGN ARCHITECTS
SITE/PROJECT:	SCHOOL LODGE, MATSON
TITLE:	PROPOSED LIGHTING LAYOUT
SCALE @ A1:	NTS
PROJECT NO:	70062229
DESIGNED BY:	OJM
DATE:	September 19
DRAWING NO:	70062229-1300-01
REV:	P03
© WSP UK Ltd	

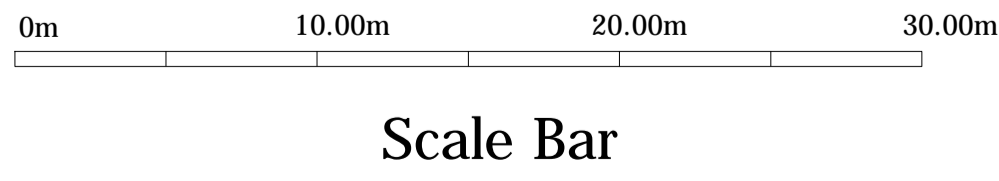


Existing sub-base to be retained within RPA of G38.
See sections 6.5 & 6.6 of BJUFC report.

Temporary ground protection.
See section 6.3.3 of BJUFC report.

existing raised table/traffic
calming feature

proposed refurbishment to existing
lodge building - 1 no. House



Key:

- Tree Protection Fence
- CEZ = construction exclusion zone
- Root Protection Areas
- Trees removal for safety
- Trees removed for development
- Retain sub-base
- Temporary ground protection

Note: New underground services may require changes to this tree retention & protection plan.

Client:	Gloucester City Homes
Site:	The School Lodge
Drawing Title:	Tree Retention and Protection Plan
Scale:	1: 250 @ A1
Dwg No:	SCHLDRP-NOV20
Drawn by:	NJJ
Date:	November '20
North	↑

B. J. Unwin Forestry Consultancy,
Parsonage Farm, Longdon, Tewksbury, GL20 6BD.
Web: www.bjunwin.co.uk
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