

Downings Malthouse Baker's Quay, Gloucester

Heritage Assessment



Report prepared for:
Rokeby Developments

CA Project: CR0989

CA Report: CR0989_1

April 2022



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prepared by	
date	
approved by	
signed	
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issue	

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SUMMARY

Project Name: Downings Malthouse
Location: Baker's Quay, Gloucester
NGR: 382560, 217914

In February 2022, Cotswold Archaeology (CA) was commissioned by Rokeby Merchant (Gloucester) Ltd, to undertake a Heritage Statement in respect of the alterations of development proposals for the grade II listed Downings Malthouse and immediately surrounding area at Baker's Quay which is subject to a new planning application. The Site is part of a consented application for the redevelopment of Baker's Quay (Planning Application 15/01144/FUL); however, a new application is being prepared for an amended development design.

The listed Downings Malthouse includes five different elements; the High Orchard Street Warehouse, the High Orchard Street Silo (remains of 1876 Kiln), Malthouse 2, Malthouse 2 Kiln, and the Downings Cottages (which are not included as part of this application). A concrete silo is also part of the Downings Malthouse complex; however, is not included within the listing designation. Aside from the High Orchard Street Warehouse, the buildings were the subject of permitted emergency works in 2020 when their roofs and interiors were removed due to extreme safety concerns. They now exist as facade shells.

The proposed development will comprise the restoration and conversion of Malthouse 2, Malthouse 2 Kiln and the High Orchard Street Warehouse into residential apartments with some mixed uses at ground floor, alongside the construction of a new eight storey apartment block in the place of the concrete silo, which has now been demolished.

Analysis of the significance of the built heritage of the Site, and consideration of the development proposals, concludes that there will be no 'substantial harm' to any designated heritage assets, including that within the Site and heritage assets in the wider area.

The report provides analysis of differing effects of the proposals, with regard to elements of heritage significance, and impacts upon them. With regard to effects upon designated heritage assets it is concluded that the proposals would result in an overall degree of heritage enhancement to the Grade II Listed Downings Malthouse and also to the Malthouse Extension Grade II listed building.

With regard to non-designated heritage assets, paragraph 203 directs that a balanced judgment is required, having regard to the scale of any harm or loss and the significance of the heritage asset. The development proposals will not affect any known non-designated heritage assets within the Site. Archaeological investigations in the wider vicinity of the site have located medieval remains at depths of c.2m below the current ground level, with post-medieval remains surviving at depths of c.0.85m. The Site lay outside of the medieval precinct of Llanthony Priory, within farmland (orchard) and as such, there is not a notable potential for any remnant medieval structures. There is a potential for former elements of the post-medieval use of the area, although these are generally well-recorded on historic maps and would be of limited historic interest.

If the application is permitted, then a programme of archaeological monitoring and recording may be appropriate on key areas of ground preparation. This would be in accordance with paragraph 205 of the NPPF which directs that 'local planning authorities should require developers to record and advance understanding of the significance of heritage assets to be lost (wholly or in part) in a manner proportionate to their importance and the impact, and to make this evidence (and any archive generated) publicly accessible.

1. INTRODUCTION

- 1.1. In February 2022, Cotswold Archaeology (CA) was commissioned by Rokeby Developments to undertake a Heritage Assessment of a scheme associated with Downings Malthouse (hereafter the 'Building', or 'Listed Building') at Baker's Quay in Gloucester (hereafter called the Site). The redevelopment and restoration of the Site, which is a former malthouse, was permitted in 2015 under 15/01144/FUL which included redevelopment of the wider Baker's Quay. A new application with an amended development design has been prepared and this assessment has been commissioned to inform that new application.
- 1.2. The Site comprises the Grade II listed Downings Malthouse complex, which is formed of five built elements (NGR: 382560, 217914; Fig. 1), including a warehouse, two malthouse kilns and a malthouse (the fifth element, the Downings Cottages, are not part of the Site). The proposed development will comprise the repair and redevelopment of the historic buildings (including restoration, conversion and new build elements) and a new apartment building built on the site of a current modern concrete silo.
- 1.3. This assessment is informed by detailed previous studies of the Site and its buildings produced by Cotswold Archaeology, as well as a review of the baseline data to ensure it is up to date. Key informing previous reports include:
- A 'Level 4' Building Recording of the Downings Malthouse site produced in 2018 (Cotswold Archaeology 2018)
 - An Addendum to the 'Level 4' Building Recording report produced in 2020 (Cotswold Archaeology 2020) when increased safe access was facilitated to previously unsafe areas of the Building – see [Appendix 4](#)
 - A Heritage Assessment of the Site and former proposals for development produced in 2020 (Cotswold Archaeology 2020), which included details from the Level 4 survey, to support earlier pre-application proposals for redevelopment and conversion of the Site – the report is not appended
- 1.4. The present 2022 Heritage Assessment is informed by this detailed heritage analysis of the Site, as well as:
- A revised Historic Environment Record search from Gloucester City Council historic environment team

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- A revised site inspection, and inspection of the surrounding existing and emerging townscape
 - Review of the revised development proposals, including the design drawings and Viewpoints provided by the Landscape and Visual Impact Assessment (LVIA)
 - On this basis, a statement of the physical and non-physical effects of the proposed development

Objectives and professional standards

- 1.5. The above approach is based upon the requirements regarding heritage set out in the NPPF Chapter 16 'The Historic Environment'. The information provided provides a suitable and 'proportionate' level of information to inform an understanding of the heritage significance of the elements of the historic environment which may be affected by the proposals (as required by Paragraph 194 of the NPPF), and also provides informed conclusions on any adverse and beneficial effects. This approach is also informed by the guidance provided in the Historic England publication 'Historic Environment Advice Note 12: Statements of Heritage Significance' (HE 2019), commonly referred to as 'HEAN12'.
- 1.6. Cotswold Archaeology is a Registered Organisation with the Chartered Institute for Archaeologists (CIfA). The research and reports informing this Heritage Assessment were informed by the Standards and Guidance provided by CIfA as follows:
- 'Standard and Guidance for Historic Environment Desk-Based Assessment' (CIfA 2020)
 - 'Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures' (CIfA 2020)
- 1.7. The Level 4 survey informing this Heritage Assessment was carried out in accordance with the Historic England publication 'Understanding Historic Buildings: A Guide to Good Recording Practice'. A Level 4 survey is a 'comprehensive analytical record', and is appropriate for buildings of special importance. Consideration on the 'setting' of heritage assets has been carried out in accordance with the methodology recommended in the Historic England publication 'The Setting of Heritage Assets: Historic Environment Good Practice Advice in Planning: 3 (2nd Edition)' (HE 2017).

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- 1.8. Several other relevant volumes of guidance are referred to with regard to assessing heritage significance, described below.

Statute and policy context

- 1.9. The Site is located in the local authority of The Site is located in the local authority of Gloucestershire City Council. A new Joint Core Strategy (JCS), between Gloucester City Council, Tewkesbury Borough Council, and Cheltenham Borough Council, was adopted in December 2017. This plan sets out the development aims for the wider area up to 2031. Policy SD8, sets out the local policy in regard to the historic environment and is detailed in full in Appendix 1.
- 1.10. The adopted Local Plan for Gloucester City Council is the 1983 Local Plan, which in light of the JCS and changes to the NPPF is no longer relevant in regard to heritage. A draft City Plan was approved for public consultation in 2019. The plan closed for consultation in February 2020 and was submitted to the Planning Inspectorate in November 2020. It was heard by the Inspector in June 2021, and the Council are now in the process of scheduling consultation on main modifications.
- 1.11. This assessment has been undertaken within the key statute, policy and guidance context presented within Table 1.1. The applicable provisions contained within these statute, policy and guidance documents are referred to, and discussed, as relevant, throughout the text. Fuller detail is provided in Appendix 1.

Statute	Description
Ancient Monuments and Archaeological Areas Act (1979)	Act of Parliament providing for the maintenance of a schedule of archaeological remains of the highest significance, affording them statutory protection.
Planning (Listed Buildings and Conservation Areas) Act (1990)	Act of Parliament placing a duty upon the Local Planning Authority (or, as the case may be, the Secretary of State) to afford due consideration to the preservation of Listed Buildings and their settings (under Section 66(1)), and Conservation Areas (under Section 72(2)), in determining planning applications.
National Heritage Act 1983 (amended 2002)	One of four Acts of Parliament providing for the protection and management of the historic environment, including the establishment of the Historic Monuments & Buildings Commission, now Historic England.
National Planning Policy Framework (2021)	Provides the English government's national planning policies and describes how these are expected to be applied within the planning system. Heritage is subject of Chapter 16 (page 55).

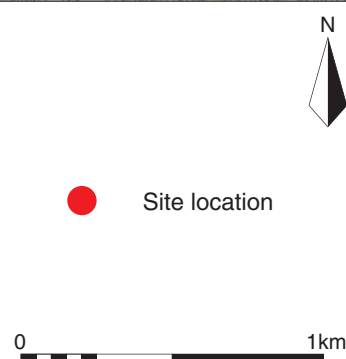
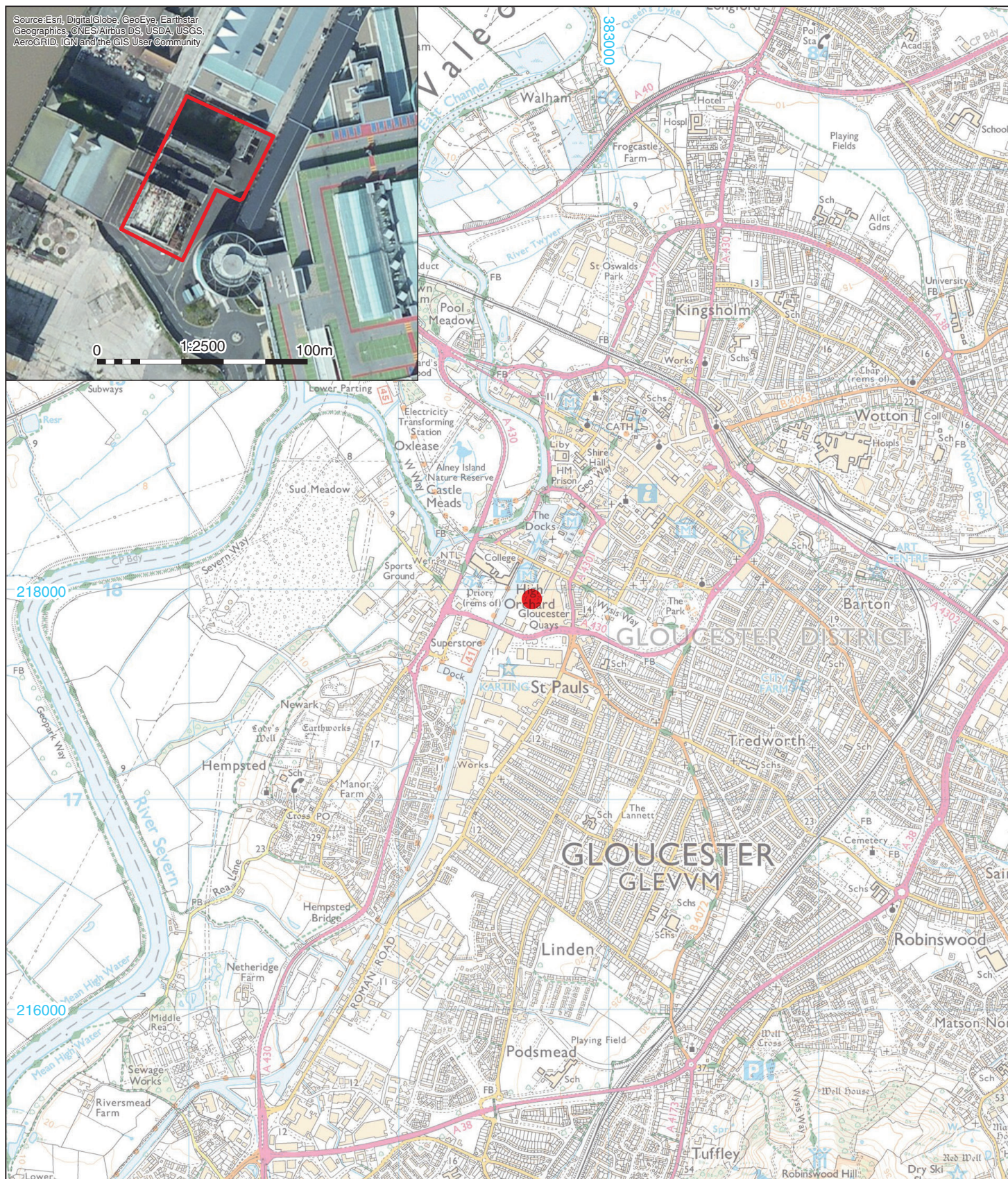
Statute	Description
National Planning Practice Guidance (updated July 2019)	Guidance supporting the National Planning Policy Framework.
Joint Core Strategy (2017)	Comprises the local development plan (local plan), as required to be compiled, published and maintained by the local authority, consistent with the requirements of the NPPF (2021). Intended to be the primary planning policy document against which planning proposals within that local authority jurisdiction are assessed. Where the development plan is found to be inadequate, primacy reverts to the NPPF (2021).

1.12. **Table 1.1** Key statute, policy and guidance

Consultation

- 1.13. The current scheme is the result of detailed consultative design development over 2021 which has involved Historic England and the Council's Conservation and Planning team. Due regard has been taken of the feedback, both on the report scope and detail, and on the scheme, of the pre-application advice from the Senior Conservation Officer (reference 20/00624/PREAPP).

Source: Esri, DigitalGlobe, GeoEye, Earthstar
Geographics, CNES/Airbus DS, USDA, USGS,
AeroGRID, IGN and the GIS User Community



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PROJECT TITLE

Downings Malthouse, Gloucester Quays,
Gloucester

FIGURE TITLE

Site location plan

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2. METHODOLOGY

Background to this scheme

The consented development

- 2.1. The Site is part of a 2015 consented application for the redevelopment of Baker's Quay (Planning Application 15/01144/FUL; Listed Building Consent 15/01152/LBC).
- 2.2. The consented application established the fact that the Baker's Quay site, which included many buildings in a poor and deteriorating condition, could be successfully restored and refurbished whilst suitably managing the heritage resource. As part of the permission, a Level 4 historic building survey was required as a Condition of planning permission and listed building consent. These works were carried out by Cotswold Archaeology and resulted in the detailed Level 4 historic building recording report. A level 4 report is the most detailed research and recording report in the Historic England guidelines 'Understanding Historic Buildings' (Historic England 2017).
- 2.3. The consented application includes permission for alteration, including demolition of the concrete silo; and for the refurbishment and restoration of Downings Malthouse, Downings Malthouse Extension and the Transit Shed; and the development of a new hotel and drive-through A3 Unit. Following a fire in 2018, it also approved the demolition and redevelopment of Provender Mill, which has now been successfully completed.
- 2.4. In 2020 Cotswold Archaeology provided a Heritage Assessment of the Site to inform a proposed revised planning application for the Site which included the construction of a five-storey apartment block in the location of the concrete silo, an additional floor to the previously consented four-storey new building on the site of the former Malthouse 1 Kiln (High Orchard Street) and various other smaller revisions to the consented scheme.
- 2.5. This scheme has since been superseded by the current proposed scheme which is detailed in Chapter 6. These plans are the result of extensive liaison and collaborative negotiations between the client team and Historic England and key officers and consultees at Gloucester City Council, the details of which are summarised in the Design & Access Statement for the application.

Building conditions and emergency works

2.6. Under the provisions of the emergency works of the permitted application additional site works have had to be undertaken since that date for Health and Safety reasons. These measures have been taken account of in the present report, and in summary include:

- Demolition of the concrete Silo
- Demolition of the internal floors of Malthouse 2 (Downings Malthouse) and its Kiln. A new steel frame and floors will be constructed within the existing walls as predicted would be necessary at the time of the application. It has been possible to save a limited number of undamaged columns and bricks which have been salvaged for use in repairing the walls and in the Atrium of the restored building
- The roof and interior of the 1876 Kiln (High Orchard Street Kiln) have been demolished under the same emergency provisions

Data sources and study area

2.7. As noted in Chapter 1, this assessment has been informed by a proportionate level of information sufficient to understand the archaeological potential of the Site, the significance of identified heritage assets, and any potential development effects. This approach is in accordance with the provisions of the NPPF (2021). Key informing previous reports include:

- A 'Level 4' Building Recording of the Downings Malthouse site produced in 2018 (Cotswold Archaeology 2018) –
- An Addendum to the 'Level 4' Building Recording report produced in 2020 (Cotswold Archaeology 2020) when increased safe access was facilitated to previously unsafe areas of the Building – see [Appendix 4](#)
- A Heritage Assessment of the Site and former proposals for development produced in 2020 (Cotswold Archaeology 2020), which included details from the Level 4 survey, to support earlier pre-application proposals for redevelopment and conversion of the Site – the report is not appended

2.8. The present 2022 Heritage Assessment is informed by this detailed heritage analysis of the Site, as well as:

- A revised Historic Environment Record search from Gloucester City Council historic environment team. It should be noted that a broad c. 1km ‘study area’ was used for the informing heritage assessments. Not all HER records are necessarily referred to in the present report: but they are when relevant to the report objectives (set out in Chapter 1, above)
- A revised site inspection, and inspection of the surrounding existing and emerging townscape
- Review of the revised development proposals
- On this basis, a statement of the physical and non-physical effects of the proposed development

2.9. A site visit was also undertaken as part of this assessment on Wednesday 11th March 2020. The primary objectives of the site visit were to assess the condition of the Listed Building within the Site, and assess the Site’s current setting in the existing and emerging townscape. The wider townscape was examined, as relevant, from accessible public areas.

Note regarding previous archaeological investigations

2.10. A considerable amount of archaeological fieldwork has previously been carried out within the 100m study area. Previous investigations, which included assessments as well as a range of intrusive works, such as watching briefs, evaluations and excavations. Those of relevance to this assessment are discussed in Section 3, below.

Assessment of heritage significance

2.11. The expression of heritage significance in this assessment report is mindful of two key definitions. Firstly, this comprises the definition of heritage significance provided in the NPPF and referred to in HEAN12, namely that: significance is ‘the value of a heritage asset to this and future generations because of its heritage interest’. Such interest may be archaeological, architectural, artistic or historic, and may derive both from the physical presence of an asset, as well as its ‘setting’.

2.12. Additionally, the English Heritage (now Historic England) publication ‘Conservation Principles’ identifies several key ‘values’ that may comprise significance, namely; evidential, historical, aesthetic and communal.

Assessment of potential development effects (benefit and harm)

- 2.13. This assessment report assesses both physical and non-physical effects: which may be both adverse and beneficial.
- 2.14. Identified effects upon heritage assets have been defined within broad ‘level of effect’ categories, as summarised in Table 2.2 below. These are consistent with key national heritage policy and guidance terminology, particularly that of the NPPF (2021).

Level of effect	Description	Applicable statute & policy
Heritage benefit	The proposals would better enhance or reveal the heritage significance of the heritage asset.	Enhancing or better revealing the significance of a heritage asset is a desirable development outcome in respect of heritage. It is consistent with key policy and guidance, including the NPPF paragraphs 190 and 206.
No harm	The proposals would preserve the significance of the heritage asset.	Preserving a Listed building and its setting is consistent with s66 of the Planning (Listed Buildings and Conservation Areas) Act (1990). Preserving or enhancing the character or appearance of a Conservation Area is consistent with s72 of the Act. Sustaining the significance of a heritage asset is consistent with paragraph 190 of the NPPF, and should be at the core of any material local planning policies in respect of heritage.
Less than substantial harm (lower end)	The proposals would be anticipated to result in a restricted level of harm to the significance of the heritage asset, such that the asset's contributing heritage values would be largely preserved.	In determining an application, this level of harm should be weighed against the public benefits of the proposals, as per paragraph 202 of the NPPF.
Less than substantial harm (upper end)	The proposals would lead to a notable level of harm to the significance of the heritage asset. A reduced, but appreciable, degree of its heritage significance would remain.	Proposals involving change to a Listed building or its setting, or any features of special architectural or historic interest which it possesses, or change to the character or appearance of Conservation Areas, must also be considered within the context of Sections 7, 66(1) and 72(2) of the 1990 Act. <i>The provisions of the Act do not apply to the setting of Conservation Areas.</i> Proposals with the potential to physically affect a Scheduled Monument (including the ground beneath that monument) will be subject to the provisions of the Ancient Monuments and Archaeological Areas Act (1979); <i>these provisions do not apply to</i>

Level of effect	Description	Applicable statute & policy
		<i>proposals involving changes to the setting of Scheduled Monuments.</i>
Substantial harm	The proposals would very much reduce the heritage asset's significance or vitiate that significance altogether.	Paragraphs 199 - 202 of the NPPF would apply. Sections 7, 66(1) and 72(2) of the Planning Act (1990), and the Ancient Monuments and Archaeological Areas Act (1979), may also apply.

Table 2.2 Summary of level of effect categories (benefit and harm) referred to in this report in relation to designated heritage assets

- 2.15. In relation to non-designated heritage assets, the key applicable policy is paragraph 203 of the NPPF (2021), which states that:

*'The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the **scale of any harm or loss** and the **significance of the heritage asset** [our emphasis].'*

- 2.16. Thus with regard to non-designated heritage assets, this report identifies the significance of the non-designated heritage asset which may be affected, and the scale of any harm or loss to that significance.

Limitations of the assessment

- 2.17. A walkover survey of the Site was conducted on Wednesday 11th March 2020 and 26 April 2022 which was undertaken in dry and clear weather conditions. Access was afforded within the Site, although internal access to the buildings was limited due to health and safety concerns.
- 2.18. It should be noted that archaeological remains can survive below-ground with no visible surface indications of their presence, and thus that unknown remains may be present within the Site.
- 2.19. Archive material held at the Gloucestershire Archives and Historic England Archives was assessed as part of the previous Level 4 Historic Buildings Survey in 2018, and information from this survey has been incorporated into the report. The archive was

not revisited for this assessment (thus any archives deposited after 2018 have not been reviewed).

3. ARCHAEOLOGICAL AND HISTORICAL BACKGROUND

Landscape context

- 3.1. The Site comprises a small area of land, within Baker's Quay, Gloucester, containing the Grade II listed Downings Malthouse and land immediately surrounding it. The listed Downings Malthouse is a complex of five buildings including the following elements, as shown on Fig. 2:

- High Orchard Street Warehouse - which is thought to date from 1848 if not earlier
- The High Orchard Street Silo, otherwise known as the 1876 Kiln – which is all that remains of the original Malthouse building (Malthouse 1)
- Malthouse 2 – which dates from 1895
- Malthouse 2 Kiln
- .

Fig. 1 Phases of development at Downings Malthouse.



- 3.2. The proposals do not include any changes to the Downings Cottages.

Geology

-
- 3.3. The Site is located on an underlying bedrock comprising a mixture of Blue Lias Formation and Charmouth Mudstone, a bedrock of mudstone which was formed within the Jurassic and Triassic Period between 183 and 210 million years ago. Tidal Flat superficial geological deposits are recorded within the Site comprising of clay, silt, and sand and are shallow-marine in origin, due to the proximity of the River Severn. This deposit was formed up to 2 million years ago in the Quaternary Period. (BGS accessed 2020).

Previous archaeological investigations

- 3.4. Within the study area there have been several previous archaeological investigations (Fig 3). This includes the following intrusive investigations:

Gloucester Quays Urban Regeneration Project (A1)

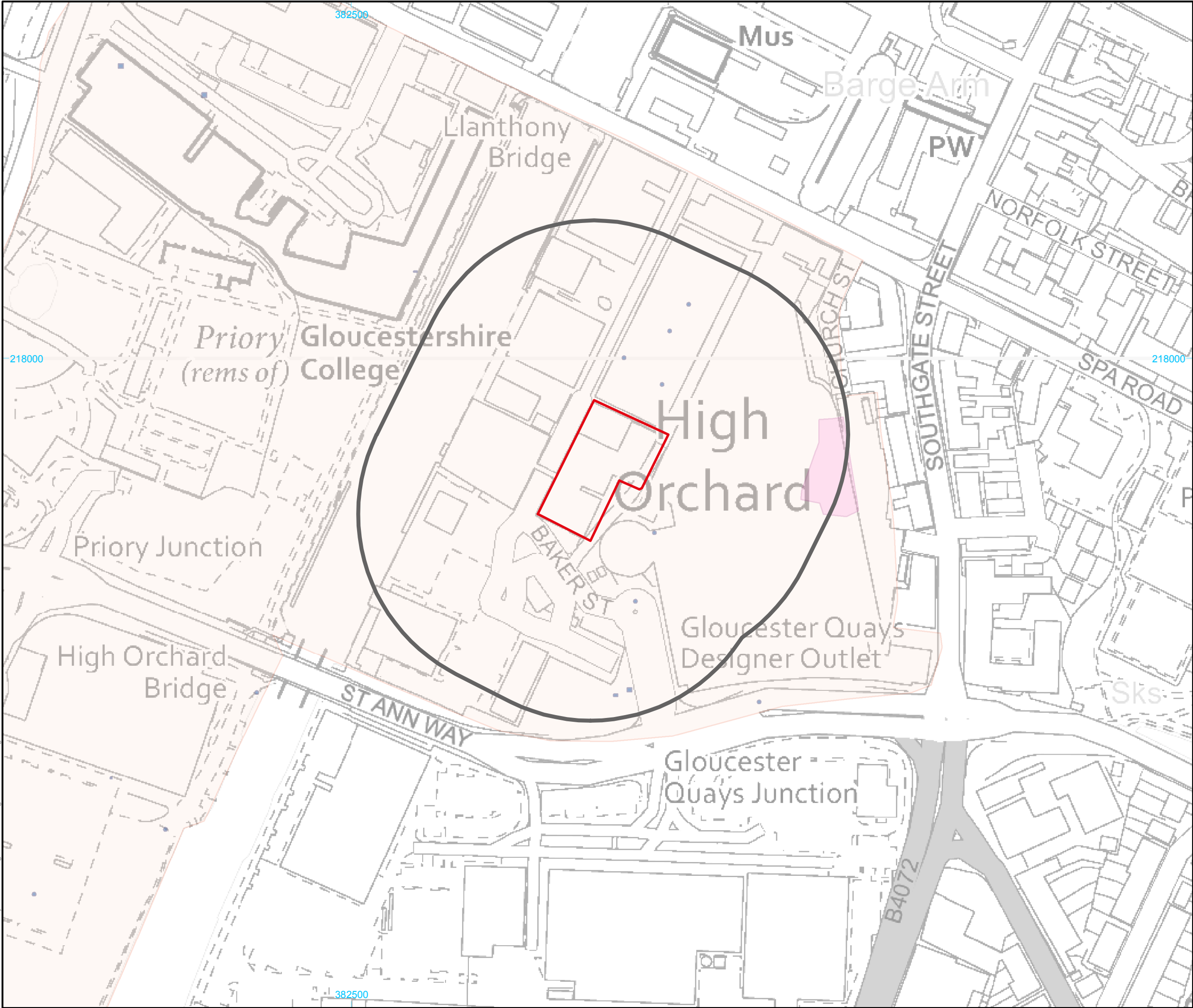
- 3.5. The Gloucester Quays regeneration project comprised a number of different archaeological investigations, as follows:
- 2000-2 Desk-Based Assessment (DBA);
 - 2003 Historical Evaluations;
 - 2003 Ground Probing radar survey;
 - 2003 Archaeological Trench Evaluation;
- 3.6. The 2020 Heritage Assessment (CA 2020) identified a low archaeological potential for Roman and early medieval archaeological features, with a higher potential for medieval and post-medieval remains. A high potential was identified for modern remains associated with the industrial expansion of Gloucester Docks.
- 3.7. The archaeological evaluation comprised 10 trenches and identified archaeological deposits and features dating from the medieval period, including a mortared limestone wall dating between 13th and 15th centuries, though no modern artefact and features associated with industrial development at the site. The evaluation indicated that deposits dating to the medieval period survive, in places, at a depth of approximately 1.6m below modern ground level. The upper-limit of post-medieval deposits is c.0.9m below modern ground level, with modern industry related deposits surviving immediately below the current ground level.

2003 Gloucester Quays Archaeological Evaluation (A2)

- 3.8. In 2003 Cotswold Archaeology carried out a trench evaluation on land at Gloucester Quays in proximity to the Site. This evaluation comprised 10 archaeological trenches which identified archaeological deposits dating from the medieval period and related to Llanthony Priory, features associated with the construction of the Gloucester and Sharpness Canal and those associated with the 19th and 20th century industrial developments. Features included an inhumation, walling and stone surfaces, material deposits associated with the widening of the canal, levelling horizons associated with the construction of railway lines, and brick wall foundations.

2007 Excavation at the former site of St. Luke's Church (A3)

- 3.9. In 2007 an excavation was carried out at the former site of St Luke's Church, c.80m west of the Site, which was deconsecrated in 1939. The excavation identified the remains of 52 individuals and a brick wall running along the eastern boundary of the churchyard. The absence of some skeletal remains was noted within some of the graves, which identified previous phases of cemetery clearance.



Legend

- Site
- Study Area
- A1
- A2
- A3



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PROJECT TITLE
The Downings Malthouse, Baker's Quay

FIGURE TITLE
Previous Investigations

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Designated heritage assets

- 3.10. The Grade II listed Downings Malthouse is located within the Site. Within close proximity are a small number of additional grade II listed buildings within Baker's Quay, including Downings Malthouse Extension (NHL Ref: 1271708), Iron Framed Shed to south of Downings Malthouse Extension (the 'Transit Shed') (NHL Ref: 1271709), Llanthony Provender Mill, (NHL Ref: 1271710), and Pillar Warehouse (NHL Ref: 1271711). Llanthony Provender Mill was demolished in 2018 as part of the first phase of the regeneration of Baker's Quay and has been replaced with a modern residential development. Pillar Warehouse was restored and converted in the late 20th century and now comprises of a restaurant and offices.
- 3.11. The Site is located just outside of The Docks Conservation Area, which starts beyond Merchants Road, to the west of the Site.
- 3.12. Within the study area there are no World Heritage Sites, Registered Parks and Gardens, or Registered Battlefields.

Prehistoric

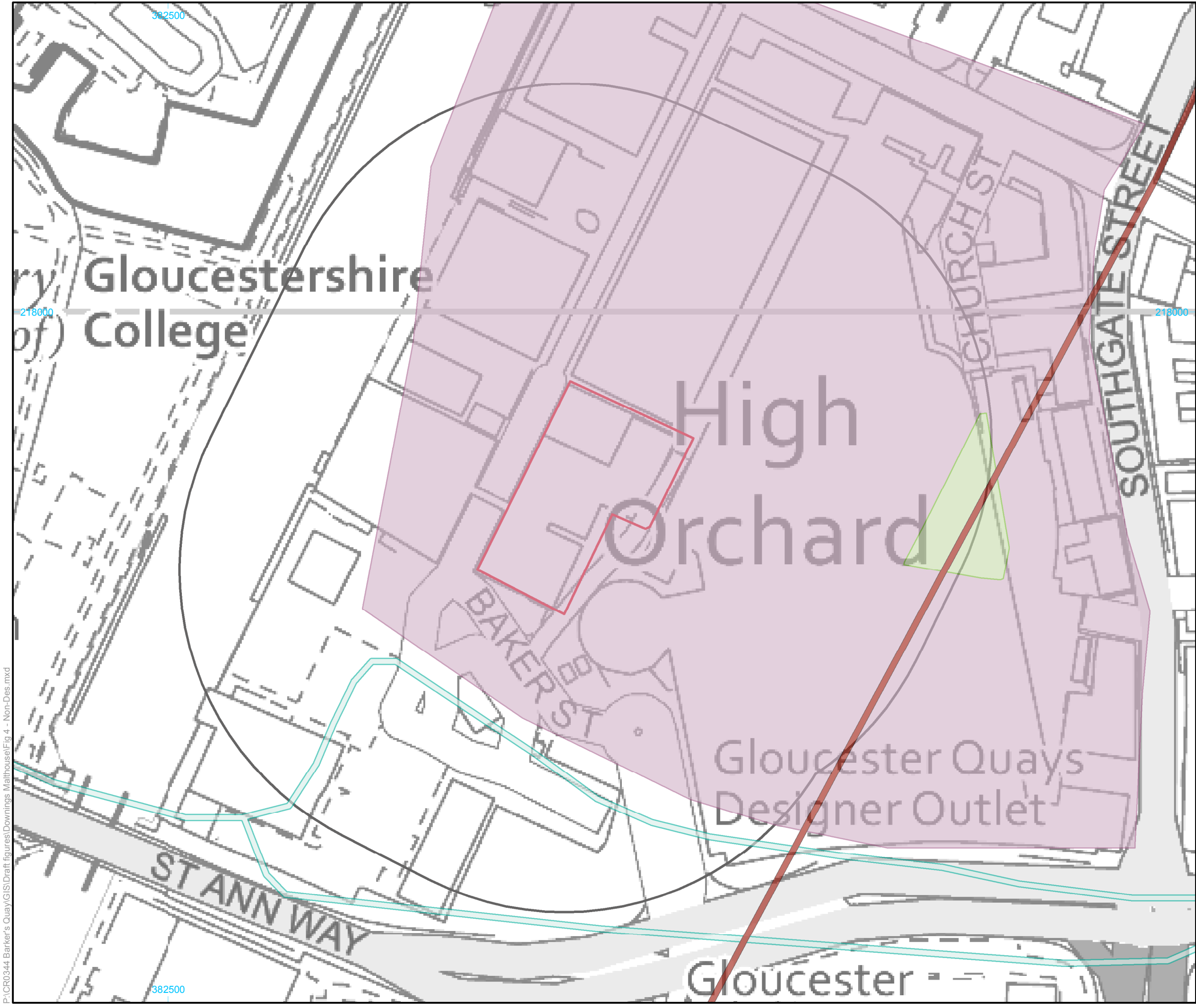
- 3.13. No prehistoric features or artefacts are recorded within the Site, or within the study area. Due to the proximity of the Site to the River Severn, c.340m to the north, it is likely that this area would have been subject to flooding as a result of changing water levels through this period (Darvill, 2007). Natural resources associated with the river and its floodplain would have made the area attractive for prehistoric settlement, particularly on gravel terraces situated above the floodplain., however, the Site does not lie on a gravel superficial drift formation. Despite a significant number of previous intrusive archaeological investigations, no prehistoric material has been uncovered.
- 3.14. Given the limited prehistoric features and earthworks within the study area it is likely that any previous sites of prehistoric activity, if they existed, have been truncated by subsequent land use or development within Gloucester. As such, there is limited potential for any prehistoric remains to survive within the Site.

Romano-British

- 3.15. Within the study area there is a Roman Road identified by Margary, which runs from Bristol to Gloucester (Fig.4, 1). A probable course of the road has been suggested through fieldwork investigations along the route, which is thought to run west of and more or less parallel to the A38. A watching brief on the corner of Southgate Street and Parliament Street, c.450m north of the Site identified road surfaces. No investigations within the study area identified any Roman features.
- 3.16. Roman settlement within Gloucester began in the late AD40's with the construction of a Roman fort at Kingsholm, c.1.5km north of Gloucester Docks. This fort was abandoned in late AD60's-70 with a new settlement established with a fort constructed at Glevum (location of the current city centre). This new fort evolved into a colonia (a city where retired soldiers were gifted land as a form of pension) once Gloucester ceased to be a front line around AD 81 (Gloucester City Council, 2007). Known Roman remains from this fort and associated settlement have been located north of Commercial Road (NHL Ref: 1002101), with Roman defences located at Eastgate, on the corner of Eastgate Street and Brunswick Road, c.800m north-east of the Site.
- 3.17. Despite the known Roman activity in proximity to the Site, limited Roman remains, or features have been identified in the substantial number of intrusive investigations within the study area. This may be as the Site was located out of the main Roman settlement or as a result of previous sites, if they existed, having been truncated by subsequent land use or development within Gloucester.
- 3.18. Given the limited number of Roman features and earthworks identified within the study area, there is a low potential for any remains to survive within the Site.

Early medieval and medieval

- 3.19. Within the north-east edge of the Site there is an area of land known as 'High Orchard' (Fig.4, 2). This land formed part of the Llanthony Priory demesne before the dissolution (Dr. Pat Hughes, 2003). The earliest documentary source dates from 1329 and note that all the built property in the area belonged to the priory, which lay to the north of the orchard, nearer the city.
- 3.20. The name 'High Orchard' can be traced as early as the 17th century when the land was described as 'pasture ground with orchard adjoining' (Hughes, 2003).



- Legend
- Site
 - Study Area
 - Roman road between Gloucester and Sea Mills (1)
 - High Orchard (2)
 - The churchyard of St Lukes Church (3)
 - The historic route of a stream known as the Sudbrook (4)



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PROJECT TITLE
The Downings Malthouse, Baker's Quay

FIGURE TITLE
**Roman and Medieval
Archaeological Remains**

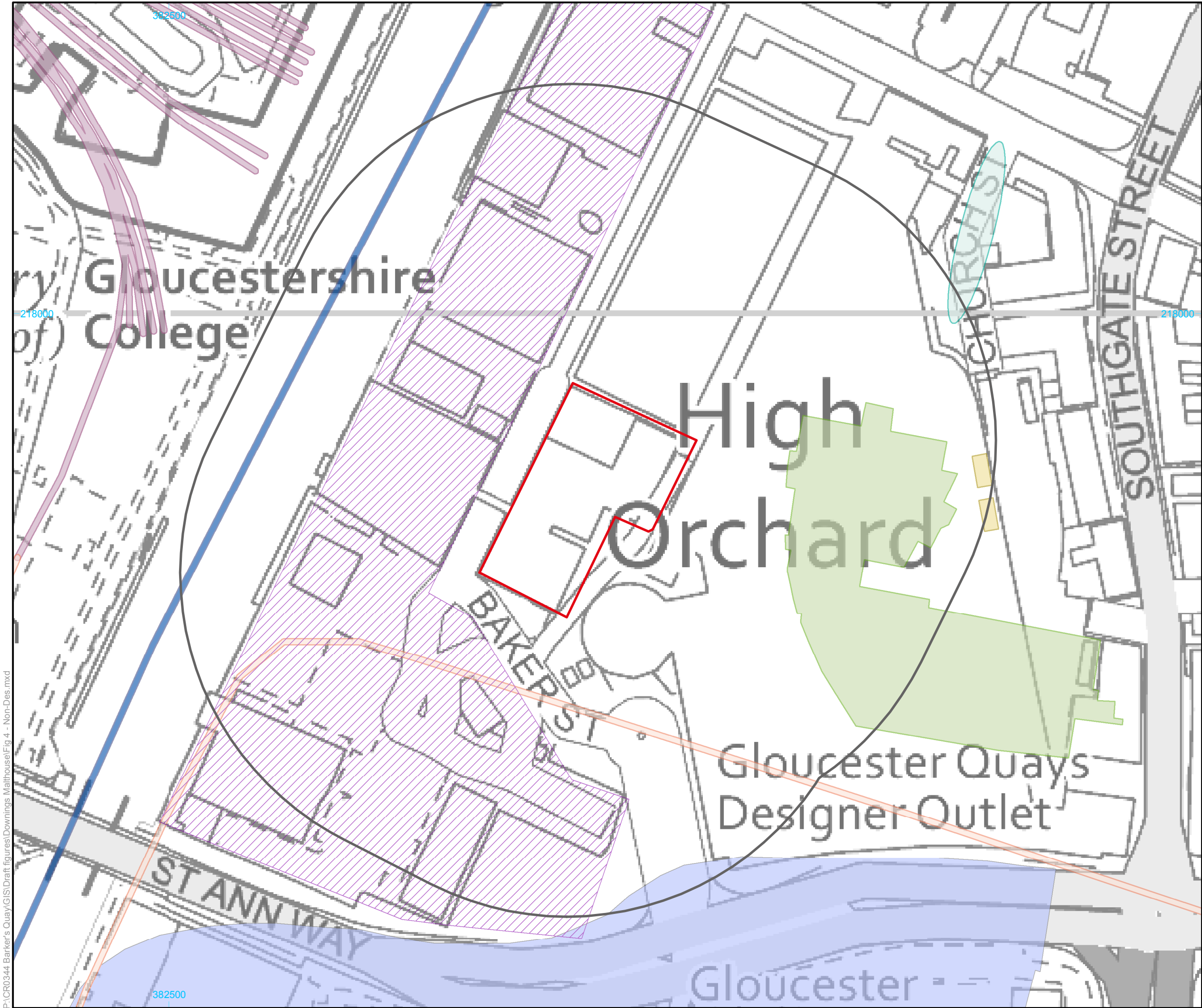
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The field was listed as pasture in 1670 and was still described as pasture when the Hempsted Enclosure Act was produced in 1815 (Hughes, 2003).

- 3.21. The former site of St. Luke's Church (Fig. 4, **3**) is located c.85m east of the Site. This Church was founded at some point within the medieval period, as indicated in the HER, but closed in 1934 with the grounds deconsecrated in 1939. The graveyard was excavated in 2007 and the remains of 52 individuals were uncovered.
- 3.22. To the south of 'High Orchard' is the known location of a historic stream, known as 'Sudbrook' (Fig. 4, **4**). During archaeological investigations in 2011 and 2012, possible shallow channels of the former course were identified, along with evidence for the infilling of the stream in the 19th century.
- 3.23. Given the known medieval remains within the study area, which have been found at depths of c.2m below current ground level, there is the potential for medieval remains to be located within the Site.
- 3.24. Previous investigations in the wider vicinity of the site have located medieval remains at depths of c.2m below the current ground level. The Site lay outside of the medieval precinct of Llanthony Priory, within farmland (orchard) outside the precinct, and there is not a notable potential for any remnant medieval structures.

Post-medieval and Modern

- 3.25. A Quay on the River Severn at Gloucester was established in the 14th century. The Quay was utilised for the import of timber and coal, which increased in the 1790's due to the expansion of foreign trade leading to the development of Gloucester as a major shipping port (Cowle, Linday 2015). In 1812 a basin with a quay front on its east side had been constructed close to the River Severn, immediately to the southwest of the historic core of Gloucester. The basin still survives and forms the main core of the dock complex.
- 3.26. In 1827, the Gloucester and Sharpness canal (Fig. 5, **5**) was completed which connected the basin, and therefore the docks and town of Gloucester, directly to the basin of the Severn estuary which is located 14 miles to the southwest (Cowle, Linday 2015). Prosperity in Gloucester continued into the 19th century, with Gloucester Docks becoming the main corn importing dock in the south west, with the areas either side of the canal developing from the late 1820's to early 1850's.



- Legend
- Site
 - Study Area
 - The Gloucester and Sharpness Canal (5)
 - Bakers Quay (6)
 - Cobbled Road (7)
 - The Bristol and Gloucester Railway (8)
 - Gloucester Railway Carriage and Wagon Company (10)
 - Atlas Iron Works (11)
 - Second World War Air Raid Shelters (12)
 - The South Wales Railway (9)



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Ordnance Survey 0100031673



PROJECT TITLE
The Downings Malthouse, Baker's Quay

FIGURE TITLE
**Post-Medieval and Modern
Archaeological Remains**

DRAWN BY	EH	PROJECT NO.	CR0344	FIGURE NO.
CHECKED BY	SH	DATE	20/04/2022	
APPROVED BY	RM	SCALE @ A4	1:1,200	5

This includes the establishment of Baker's Quay (Fig. 5, 6) in the 1840s, which is described in more detail below. To the east of Baker's Quay, c.95m north-east of the Site, a cobble road underlying Church Road was identified (Fig. 5, 7). A watching brief conducted in 2009 identified a limestone or sandstone cobbled surface.

- 3.27. The prosperity of Gloucester Docks declined in the latter half of the 19th century due to the development of larger ships, which could not navigate the canal as far as Gloucester. Construction of the docks at Sharpness in 1870, together with the introduction of the Bristol and Gloucester Railway, later absorbed by the Midlands Railway, (Fig. 5, 8) and the South Wales Railway (Fig. 5, 9), presented a better alternative to transporting goods and resulted in the demise of Gloucester based industries and importing. The warehouses at the dock were put to alternative uses and began a slow process of decline. The base for Gloucester Railways Carriages (Fig. 5, 10) was located approximately 70m south of the Site, and an Iron Works (Fig. 5, 11) was located c.40m east of the Site which was dated from 1866. The location of the Atlas Iron Works is now the location part of the Gloucester Quays shopping centre and carpark.
- 3.28. The modern period saw a brief usage of the warehouses associated with Gloucester Docks during the Second World War when they were temporarily used as grain storage facilities. Additional Second World War features within the study area include a small number of air raid shelters (Fig. 5, 12).
- 3.29. The regeneration; however, did not begin in full until the late 1980's. This revival of Gloucester Docks was initiated by the use of the canal by pleasure crafts. In 1986 and 1988 a small number of warehouse buildings were converted to be suitable for modern use and became both Council offices and the National Waterways Museum. The Northern Docks, and part of the Southern Docks, have now been converted into private residences comprising luxury flats, retail units, and restaurants. In 2008 a new lifting arm bridge was installed immediately to the south of Baker's Quay to carry St Ann Way across the canal which affords easier access to the docks from all directions.

Historic Map Regression

- 3.30. Within the medieval period, the Site was part of the land owned by Llanthony Priory and was likely used a pastures and orchards (Cowle, Lindsay 2015).

3.31. In the 1840's, the Site is located within the wider Baltic and American Timber Yard, located between Backer Street and Bristol Road (Fig. 6) and is comprised of four buildings. By 1852, the number of building structures within the Site has increased (Fig. 7). A line of the dock railway runs through the timber yard, along the western edge of the Site and the early form of High Orchard Street Warehouse can be seen in the east of the Site. The timber yard underwent further expansion during the 1800's, and by 1886, the Site includes a malthouse building, built in 1876, abutting Baker Street (Fig. 8); this malthouse (Malthouse 1) extends to cover the majority of the Site by the early 1900's and includes the 1895 second phase of the maltings (Malthouse 2) (Fig. 9). In 1960 a Concrete Silo was built to replace the older 1876 maltings in the south of the Site, of which only the gutted kiln range was retained. The Silo had a basement requiring excavation of 2m below ground level.

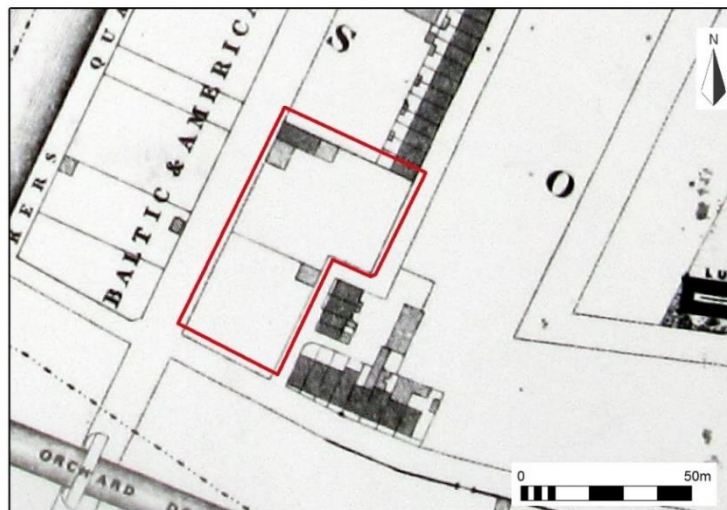
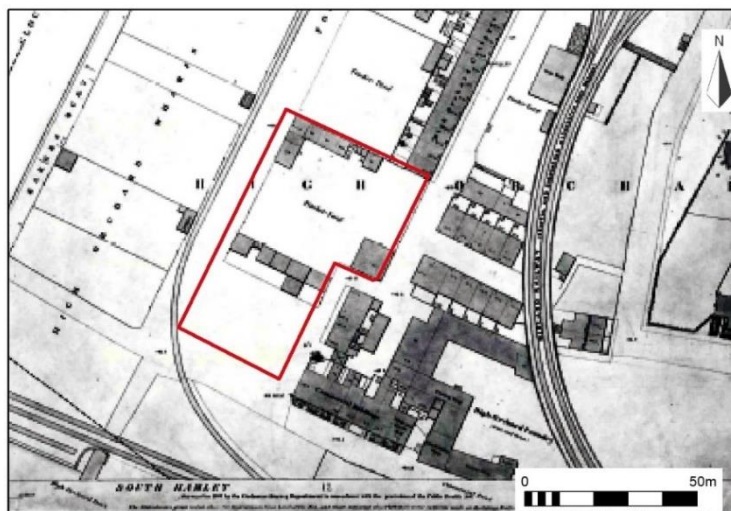


Fig. 5 1843 Tithe Map, Courtesy of the Gloucester Archives

Fig. 6 1852 Map, Gloucester Health Map, Courtesy of the Gloucester Archives



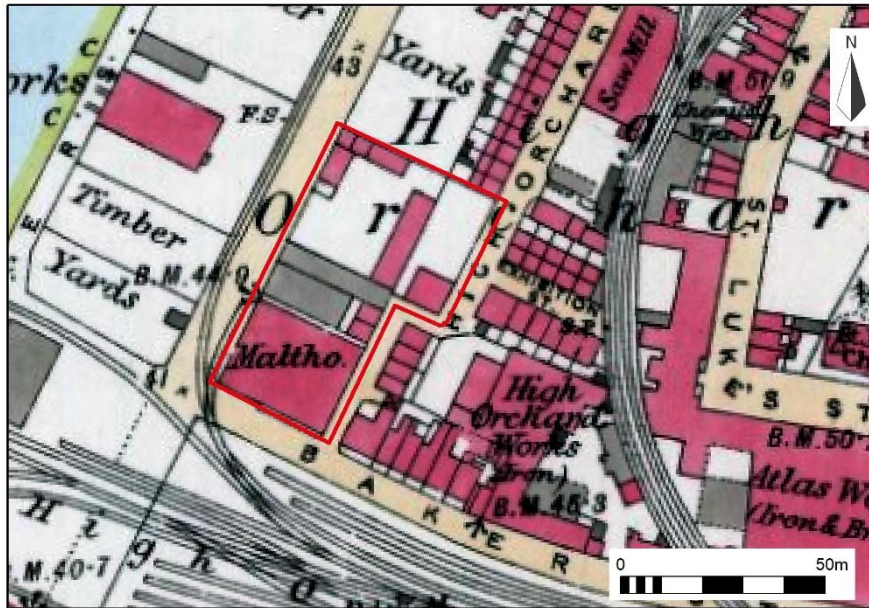


Fig. 7 1886 Map, 1st Edition OS Map, Courtesy of the Gloucester Archives

- 3.32. The dismantling of the dock railways began in the 1950's in the southern docks, south of Monk meadow c.400m south of the Site. This continued in the northern docks in the 1960's, with the only remaining line being the line from Over to Llanthony serving a cement depot, which resulted in the loss of the functional use of the railway with the Site.

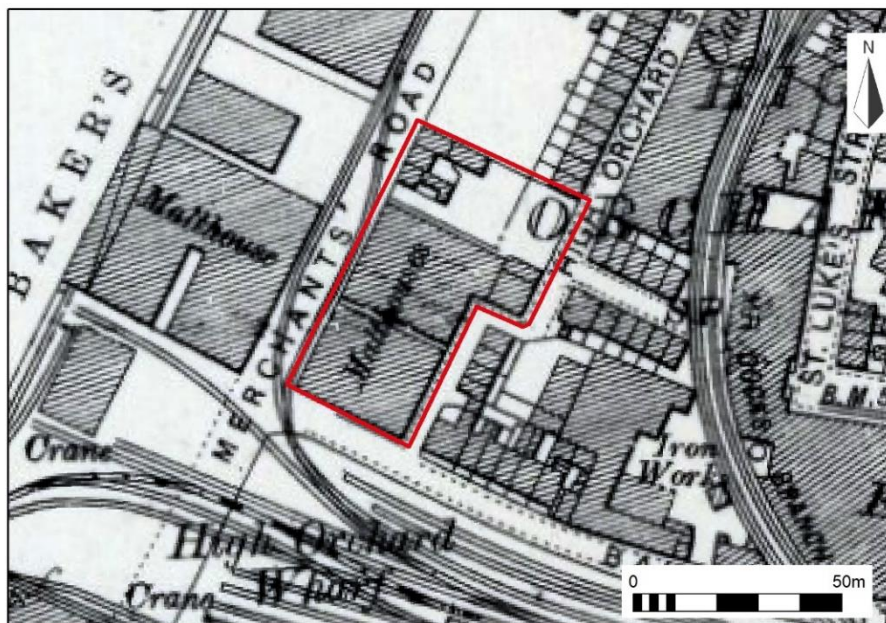


Fig. 8 1902 OS Map, 2nd Edition OS Map, Courtesy of Gloucester Archives

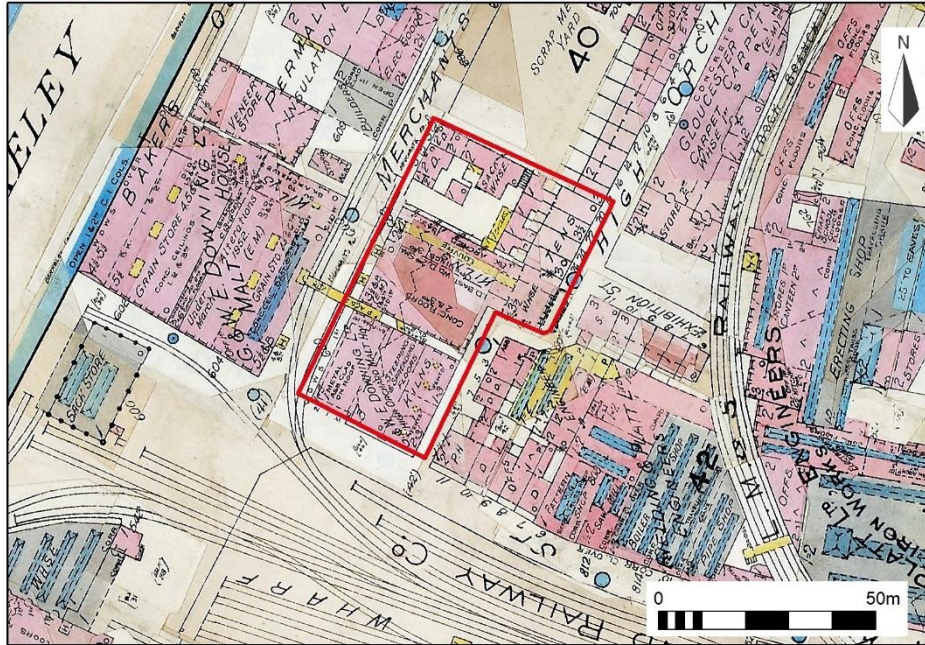


Fig. 9 1952 OS Map, Courtesy of Gloucester Archives

- 3.33. The Site is now in disrepair and a scaffolding structure has been constructed on the western, eastern, and northern elevation in order to prevent any building collapse. In April 2020, despite the presence of scaffolding the southern elevation of Malthouse 2 collapsed, highlight the vulnerable nature of the building structure.

The significance of known and potential archaeological remains within the Site

- 3.34. Previous investigations in the wider vicinity of the site have located medieval remains at depths of c.2m below the current ground level, with post-medieval remains surviving at depths of c.0.85m. However, the Site lay outside of the medieval precinct of Llanthony Priory, within farmland (orchard) and as such, there is not a notable potential for any remnant medieval structures. There is a potential for former elements of the post-medieval use of the area, although these are generally well-recorded on historic maps and would be of limited historic interest.

4. THE DOWNINGS MALTHOUSE AND ITS SIGNIFICANCE

- 4.1. Downings Malthouse forms the main built presence of the Site. In 1876 a malthouse was built known as 'Malthouse 1', with a second building known as 'Malthouse 2' added in 1895. The designation includes an earlier warehouse building (High Orchard Street Warehouse) which was on the Site prior to 1876 when the Site was part of the wider timber yard. All three parts of the Listed Buildings which fall within the Site are shown in Photo 1. In 1960, Malthouse 1 was replaced with a modern Concrete Silo which is not included within the listing. Photo 1 below offers an overview of the building's of the Site.
- 4.2. The Historic Building Survey of 2018 was conducted in line with English Heritage's (now known as Historic England) guidance '*Understanding Historic Buildings: A guide to good recording practice*', which detailed the accessible surviving fabric of the Downings Malthouse and was conducted as mitigation for the consented previous application to '*preserve by record*' the historic structures located at Baker's Quay. An Addendum of 2020 (completed after additional access was given after safety works and after receipt of additional information from a structural condition report by Jackson Perdue 2019) provides a detailed account and summary of the buildings of the Site and accompanies this report. This document should be consulted as the baseline evidence on which the following Statement of Significance is based.

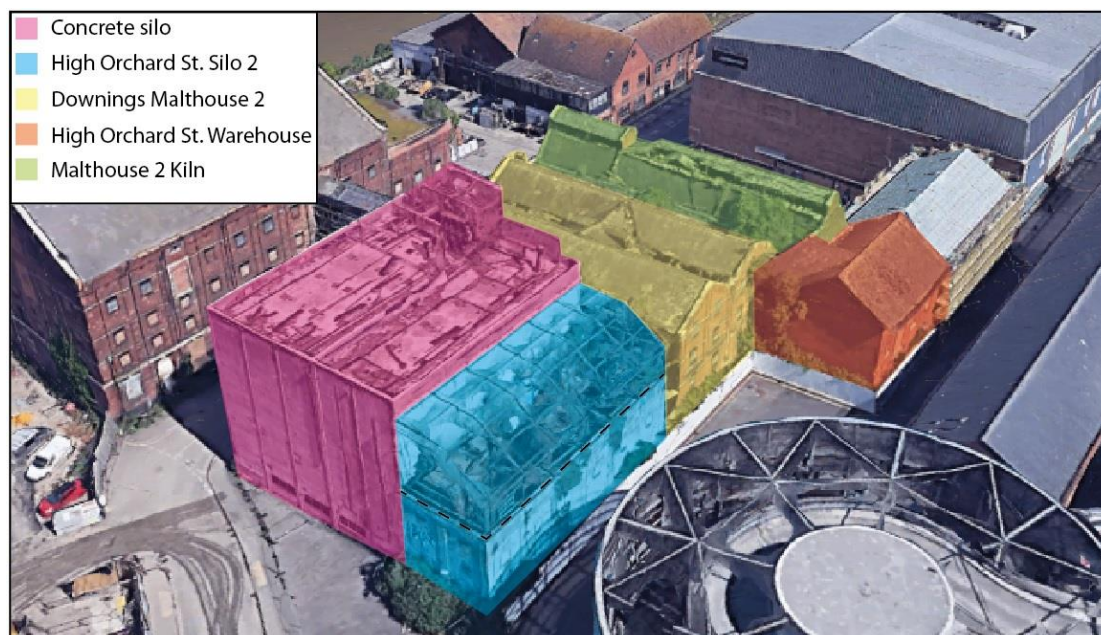


Photo 1 **Aerial overview of the Downings Malthouse building complex**

Statement of Significance

- 4.3. A statement of significance for the surviving historic elements of the Grade II listed Downings Malthouse has been produced in lines with *Statements of Significance: Analysing heritage Significance in Heritage Assets Historic England Advice Note 12* (Historic England, 2012). The expression of component ‘values’ of significance provided in English Heritage’s (now Historic England) ‘Conservation Principles’ is used to provide a suitable level of detail.

Group Value

- 4.4. The historical interest of the Downings Malthouse complex is derived from its industrial character and association with the Gloucester Docks, with the brick industrial structures illustrative of the quayside development through the 19th century. There are no functional warehouse buildings remaining at Gloucester Docks and the docks no longer function as an industrial port. Instead the historic value of the docks and warehouse buildings is from their historical (illustrative value) by preserving the location and presence of warehouse style buildings along the quays which are part of the dock yard.
- 4.5. The Downings Malthouse is included within the ‘Heritage at Risk’ Register, indicating its urgent need for conservation and/or maintenance and likely loss of this asset if its condition is allowed to further deteriorate.
- 4.6. The Downings Malthouse is part of several historic dock structures on Baker’s Quay, all have which been listed. This includes Downings Malthouse Extension (NHL Ref: 1271708), Llanthony Provender Mill (NHL Ref: 1271710), The Transit Shed (NHL Ref: 1271709), and Pillar Warehouse (NHL Ref: 1271711). There is a historical group value derived from these structures which, as a group, provide the narrative for the industrial utilisation of Baker’s Quay, associated with the railway and canal.
- 4.7. Each aspect of the Downings Malthouse complex has additional evidential, architectural, and historic value, as detailed below.

1876 Kiln

- 4.8. The Downings Malthouse 1 in its present state has limited architectural and historic interest and significance. The only surviving part is the 1876 Kiln which was gutted as part of the development of the 1960’s silo, and for which the original roof was replaced with a flat roof, on top of which is located steel structure. Many of the

windows have also been infilled within the Kiln. As such, the interior retains no historic value.

- 4.9. The exterior façade of the building does, however, have a small amount of evidential, architectural, and historical value and significance. Although this has been limited by modern development including the Concrete Silo built in the 1960's which destroyed the majority of the original malthouse features, and repair and repointing works.

Evidential Interest

- 4.10. Despite the severely deteriorated condition of the original malthouse kiln and the loss of its interior and its southern wall some limited original features remain, namely the external walls on the eastern, southern, and northern elevation. These features contribute to the evidential value of the kiln, providing information on its structure and fabric, the crafts which built it and its as built size. This interest is limited, however.

Architectural Interest

- 4.11. There is limited surviving architectural interest for the 1976 Kiln as there are limited original features, due to the loss of the western elevation, the roof and the floors. The external appearance of a kiln, in particular its distinctive roof shape, is often a distinctive feature (Patrick 2004), and as such, the loss of the roof line has resulted in a diminished architectural interest. The placement of windows was also often distinctive in Malthouse buildings and thus of architectural value (Patrick 2004) and has been lost for the western elevation and higher floor levels of the original kiln. However, aspects of the kiln do survive, its southern and eastern elevation, with the window locations still evident on the first three storeys of the kiln, despite having been boarded up, retaining architectural value.

Historic Interest

- 4.12. The Kiln structure holds some historic interest as the original kiln of the Malthouse complex, though interpretation and understanding of its appearance and function is now extremely limited due to the sparsity of surviving fabric. Its historic interest is therefore now more readily interpreted from historical literature and images than from the Building in situ.

Malthouse 2 and Kiln

- 4.13. The interior of the building had been severely deteriorated as recorded in the surveys of 2018 (Level 4 Building Recording), 2019 (structural report) and 2020 (CA Addendum). Due to the dilapidated condition there are limited features which do

survive and do provide some value for the building, although these are very similar in design to the Malthouse Extension and as noted by Amber Patrick in her note on behalf of the Ancient Monuments Society regarding the previous planning application (2015); *‘there are relatively few internal features surviving and none now of major importance’*.

- 4.14. In 2020 the interior of the Malthouse was demolished and removed due to its critical instability. The facades of the Malthouse are now currently shored up by scaffolding and are essentially the only remaining fabric of the Building. The metal grille floors of the Kiln have also been removed and the Building is now also a shell, though the form and functional features, including the semi-arch vaulting of the eastern kiln has been retained to provide ongoing interpretation of the former function of the Building.

Evidential Interest

- 4.15. Evidential value is provided through the surviving structural features, which, despite their dilapidated condition provide information and opportunities for interpretation on the design, manufacture and construction techniques of 19th century malthouse structures. Evidential interest has been lost due to the demolition and removal of the interior fabric of both Buildings though elements of fabric, such as the facades, and the east kiln in the Kiln Building, are retained for ongoing interpretation.

Architectural Interest

- 4.16. The structural layout of the Malthouse 2 and Kiln provided architectural interest and value. Amber Patrick (2004) notes that ‘long open floors usually with restricted head-room ... give maltings their characteristic external massing and distinctive internal appearance’ as well the roof-shape of a kiln which is very distinctive, the cowl and the rows of small windows that ventilate rather than light the germinating floors (Historic England 2017). However these internal plan layouts have been lost during the demolition phase of 2020 which was necessary due to the parlous condition of the floors and structural members. Thus the Buildings’ architectural value is now somewhat diminished, however these features have been preserved by record in the Building Recording Addendum in Appendix 1 of this report.
- 4.17. Malthouse 2 has exterior architectural design interest derived from elements such as the long elevation of the building with its regularly spaced windows which is a distinctive feature of malthouse buildings. The red brick façade with recessed panels, shallow arched windows with blue brick dressings, provides artistic elements within

the design that are distinctive to this building and provided interest and value, as well as being a typical industrial red brick façade which is characteristic to the local area. Malthouse 2 Kiln has a distinctive ridge cowl chimney which is a designed architectural element of the kiln providing aesthetic interest and value.

- 4.18. The Malthouse 2 building also had interior architectural interest from its open floor plan with a grid pattern of metal columns, characteristic of 19th century malthouse designs (Patrick 2004). Malthouse 2 is also unusual in its design with the floor heights at over 2m, compared to the characteristic 1.8m low floor height. This unusual design contributes to the previous architectural value of the building, however this value has now been lost due to the demolition of the interiors of the Building.

Historic Interest

- 4.19. The Malthouse 2 and kiln have illustrative historical interest as a surviving malthouse building structure with some surviving functional elements which exemplifies malthouse and kiln building structures within the 19th century and aids the understanding of the development and functioning of malthouses and specifically the way in which part of Baker's Quay was used.
- 4.20. Associative historical value is also provided through the likely connection of the Malthouse 2 and Kiln with the architect Walter B Wood of Gloucester (Conway-Janes and Higgs 2015) and other local architects and builders.

Summary of significance – Malthouse structures

- 4.21. The above assessment outlines how the surviving interest of the Malthouse Buildings has been diminished by the loss of the interiors and roofs of all the Buildings. They are essentially now shells, with only the exterior walls surviving, bar some limited features in Kiln 2. As such, the Buildings retain architectural and evidential interest inherent in their surviving facades which offer information on their design treatment and monumentality, and the more intangible qualities of historic interest inherent in their existence, albeit much diminished. As such, the overall special interest of the Buildings in their current condition is concluded to be very modest.

High Orchard Warehouse

- 4.22. The High Orchard Street warehouse survives in relatively good condition.

Evidential Interest

- 4.23. There is considerable surviving original fabric including brick masonry walls, original timber beams, stone window cills, and metal window frames. These features are of moderate heritage value as they contribute to the overall structure of the asset, but in and of themselves are materials they are not rare or of particular interest. These features have previously been recorded as part of the Level 4 Building Survey and Addendum 2020 and as such are preserved by record.
- 4.24. Evidential value is also provided through the loading door above the main door on the eastern elevation which indicate early and continued use of the warehouse, and the northern extension to the original warehouse which is linked with the construction of Malthouse 1 and kiln building structures.

Architectural Interest

- 4.25. The architectural interest of High Orchard Warehouse is derived from its surviving, if dilapidated, original appearance and structure which is a good example of a mid-19th century vernacular warehouse building.

Historic Interest

- 4.26. Illustrative value is provided by the 19th century alterations to the western end of the building to incorporate it within the Malthouse structure. This aids the understanding of the use of warehouses within a malthouse complex and the development of the Downings Malthouse.

5. THE SETTING OF HERITAGE ASSETS

5.1. This section assesses the contribution that the Site makes to the 'setting' and overall heritage significance of heritage assets in its wider environs. Relevant heritage assets are shown on Figure 11. As noted in Chapter 1, this assessment utilises the staged approach provided by the Historic England guidance 'The Setting of Heritage Assets'. 'Step 1' involves the identification of heritage assets in the wider area which may be susceptible to change within the Site. Consideration in Step 1 may conclude that various assets will not be sensitive to change, and are thus not 'progressed' through further assessment. If a heritage asset is found to be sensitive to change, then it is further assessed in Step 2, which assesses the degree to which the setting contributes to significance, or allows that significance to be appreciated.

5.2. The next chapter, Chapter 6, provides a full summary of both the physical and non-physical effects of the development. This includes the consideration of 'step 3' of the settings process, which identifies the effects of the proposal, whether beneficial or harmful, on heritage significance or the ability to appreciate it. It is the case that in order to fully articulate step 2, some consideration and guidance of the likely parameters of change as part of step 3 is required. Thus a consideration of the broad changes proposed for the site have guided the steps 1 and 2 analysis. However, Chapter 6 should be consulted for the provision of the development effects.

Step 1: Identification of heritage assets potentially affected

5.3. Step 1 of the Second Edition of Historic England's 2017 'Good Practice Advice in Planning: Note 3' (GPA3) is to 'identify which heritage assets and their settings are affected' (see Appendix 1). GPA3 notes that Step 1 should identify the heritage assets which are likely to be affected as a result of any change to their experience, as a result of the development proposal (GPA3, page 9).

5.4. A number of heritage assets were identified as part of Step 1, as potentially susceptible to impact as a result of changes to their setting. These included the following:

- The Docks Conservation Area
- Grade II Listed Downings Malthouse Extension (NHL Ref: 1271708)
- Grade II Listed Iron Framed Shed to south of Downings Malthouse (NHL Ref: 127109) known as the Transit Shed

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- Grade II Listed Llanthony Provender Mill (NHL Ref: 1271710)
 - Grade II Pillar Warehouse (NHL Ref: 1271711)
 - Grade I listed and Scheduled Monument Llanthony Priory and its associated farmhouse and remains (NHL Ref 1271693 and 1245765)

5.5. Grade II Listed Llanthony Provender Mill (NHL Ref: 1271710) has not been progressed beyond Step 1 as the Listed Building was demolished in 2016 and replaced with a modern residential structure that has no historic association with the Site. The building's heritage significance will not be affected by the proposals.

5.6. Grade II Pillar Warehouse (NHL Ref: 1271711) has not been progressed beyond Step 1 as the Listed Building is located c.150m from Downings Malthouse with both modern and historic intervening built form. It addresses the canal and Merchants Road and has no specific visual or experiential connections to Downings other than being part of the amorphous, mixed grain dock building type, canalside townscape of the wider Gloucester Quays quarter, an area which has now been largely modernised and reimaged, with the Pillar Warehouse itself being converted to modern uses. The building's heritage significance will not be affected by the proposals.

5.7. Grade I listed Llanthony Priory and its associated historic structures has not been progressed further than Step 1. This is because the presence of Baker's Quay to its east, essentially a post-medieval development, makes no contribution to the identified significance of the priory complex. The Listed Building and scheduled monument complex is located across the canal from Baker's Quay, and its significance is derived from its high evidential, historic and architectural value as an important medieval priory complex south of the city. The construction of Baker's Quay and the wider Gloucester Quays area altered the setting of the priory in the 19th century, and incremental change since then has resulted in the priory and its grounds becoming 'marooned' in a semi-industrial townscape setting, which is now evolving into a more mixed use with the construction retirement flats adjacent to the priory site and the regeneration of the quayside areas. This wider setting (as opposed to the immediate grounds of the priory) offers no information or interpretation on the specific heritage values which form the significance of the asset. As such, it is concluded that Baker's Quay, as part of the wider industrial character townscape which surrounds the priory on its eastern extent, makes no specific contribution to its significance through being part of its setting. The heritage significance of the Priory buildings and remains will not be affected by the proposals.

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- 5.8. The Site visit, and study area walkover, identified that there would be no non-physical impact upon the significance of any other heritage assets as a result of changes to the use and/or appearance of the Site.
- 5.9. In the pre-application response from the Senior Conservation Officer at the Council, important views were identified as being worthy of assessment in this settings assessment. These are specifically the canal tow path, St Anne's Way (bridge) and Llanthony Priory grounds, and are considered in this assessment.
- 5.10. Views from Llanthony Priory of the Site have been identified as above by the Senior Conservation Officer. It has been concluded that Baker's Quay does not contribute to the significance of Llanthony Priory as a medieval ecclesiastical enclave and that views east from Llanthony Priory of Baker's Quay take in broad canal framed vista of a largely amorphous industrial scale townscape. Due regard for these views from the Llanthony Priory site is given in the assessment of effects chapter (Chapter 6). However it is concluded that the present Site in these views does not notably contribute to the heritage significance of the Priory as a part of its setting.

Step 2: Assessment of setting

- 5.11. This section presents the results of Steps 2 to 3 of the settings assessment, which have been undertaken with regard to those potentially susceptible heritage assets identified in Step 1. Step 2 considers the contribution that setting makes to the significance of potentially susceptible heritage assets and how the Downings Malthouse contributes to setting. Step 3 then considers how, if at all, and to what extent any anticipated changes to the setting of those assets, as a result of development within the Site, might affect their significance. The Step 3 narrative is included in the following chapter 6, Assessment of Effects.
- 5.12. The Baker's Quay buildings identified in Step 1 as being suitable for Stage 2 assessment have been assessed together given they sit adjacent to each other within the Site.

Grade II Downings Malthouse Extension and Transit Shed

- 5.13. Downings Malthouse Extension is a malthouse building located within Baker's Quay. The building is listed Grade II. It was built in 1899-1901 as an extension to Downings Malthouse. It holds architectural, evidential and historic significance informed by its industrial design, plan form, materials, equipment and historic use.

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- 5.14. The Transit Shed is an iron framed structure built in 1867 as a transit and storage shed prior to sacks of grain being loaded onto the local rail network. Its primary significance is evidential and historic, related to the crafting of iron framing and metal, and its specific industrial use.

Physical Surroundings – what matters and why

- 5.15. The buildings were once part of a busy dockland area focussed on the manufacture and storage of raw materials, including malt, timber and grain. The physical context of the buildings were heavily industrial and punctuated with the infrastructure of both rail and canal transportation. Physical proximity and logistical efficiency were at the heart of the physical plan of the area, and dictated the relationship between buildings. This historic physical setting, including the transportation links, has been lost over time to the extent that there is no longer much physical evidence with which to interpret the way the buildings once functioned or interacted. This loss is negative to significance, in that it has diminished our understanding of the use and activity of the area.
- 5.16. The current setting of the building has evolved over a number of years, and in line with the changes seen throughout the whole of the Gloucester Quays area. With the loss of the industrial use came late 20th century abandonment which has recently been reversed with an overall regeneration scheme and a number of new developments which retain the character of the industrial buildings but within new mixed uses, including hotel, offices, restaurants and residential. The construction of the Premier Inn and new Llanthony Provender buildings, alongside the Gloucester Quays car park and numerous new buildings with smart modern road and parking infrastructure has completely altered the context of Downings Malthouse and the physical character of its surroundings.
- 5.17. Much of the new development however has an industrial character and monumentality which copies or references the former physical and architectural character of the area. As such, the modernisation of the area is neutral to significance in the sense that it was the loss of the industrial use and transport links which diminished historic and evidential value, the fact that new development has occurred does not alter this loss but does mitigate a little for it (in the sense that the industrial character of the area has been preserved in new architecture).

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- 5.18. At present the contribution of the Downings Malthouse to the significance of the Downings Malthouse Extension and Transit Shed is very limited given the dereliction of the Downings buildings and the loss of quite substantial structural fabric. Much of the main buildings exist as partial shells. Thus as they currently stand the Downings Malthouse structures offer little to no information from which to understand and interpret the overall experience of being within their curtilage nor how they interacted with the other buildings of Baker's Quay. One knows these buildings are historic and connected through the remains of their industrial scale, design and materials, but otherwise in their present condition and through being near them, one cannot discern their former use or how they 'felt' being within or around them when fully functioning.

Experience – what matters and why

- 5.19. Baker's Quay sits at the southern end of the Gloucester Quay leisure complex, and as such is not yet fully regenerated. This means that it is somewhat quieter and less active than its northern counterpart, though its location adjacent to St Annes Way, a key road within the city brings some sense of activity and bustle to the area. New development such as Costa Coffee and Premier Inn has brought some sense of activity and movement here, but it is oddly truncated by the dereliction of the Listed Buildings and lack of access northwards to Merchants Road which is empty of activity or use at present. The nature of the new development and uses means that the environs of the site are naturally quieter and more sedate than once experienced when the place was at the height of its industrial use. This loss of activity and its specific industrial character diminishes significance in that it is no longer interpretable as part of the experience of Baker's Quay.
- 5.20. As with the above loss of activity to the environs of the Site, so too the loss of the dirty, sooty, messy industrial character of the Site is negative to significance, in that the experience of the former place is now longer interpretable. In its place are smart modern car parks, hard landscaping and roadways, alongside a 'beautified' canal path. These experiential aspects of the Site are entirely modern in experience and as such are neutral in that they provide little interpretation or understanding of the former experience of the area.
- 5.21. The main view from the buildings is over the Gloucester and Sharpness Canal and south towards St Annes Way and St Annes Bridge. This experiential visual association between the buildings and the linear canal and a key road bridge allows for an understanding of the former connectivity of the wider area and the industrial

context of the complex, enabling appreciation and interpretation of the historic function of the Listed Building, and positively contributing to its significance.

- 5.22. The buildings are best appreciated from the opposite bank of the canal, which enables a wide vista of the buildings within their quayside setting (Photo 17), and from the canal itself. Views of the buildings in their setting as experienced in 2021 include the additional surrounding warehouses and modern development such as the re-developed Provender Mill, the Premier Inn building and commercial units to the south of St Ann's Bridge. Obviously this is not the same as the historic view of the Site, but one which has evolved and changed over time as the area has become regenerated and redeveloped. As such these recently-composed views contribute little to significance beyond signposting the former industrial quay, now smartened up and sporting new buildings, uses and activity.
- 5.23. Views from St Ann's Bridge take in Baker's Quay (most visibly the Malthouse Extension with its distinctive colonnade) in the foreground, with the wider Gloucester Quays complex in the far ground, both to the right (east). These views incorporate monumental industrial buildings sitting close to the canalside, very clearly signalling the former use of the canalside complex and exuding an industrial character. The views from St Ann's Bridge are thus positive to significance, offering a long linear vista of largely industrial character.
- 5.24. There is an oblique view of both Downings Malthouse and Malthouse Extension when travelling along Baker Street. The initial view takes in the contemporary circular form of part of the Gloucester Quays parking complex, then moves east taking in the newly built forms of Provender Mill and Holiday Inn on the left, and the views of both Downings Malthouse and Malthouse Extension on the right. This particular aspect of the view from Baker Street (that of the Malthouse frontages) as it curves west is positive to significance, as it is largely as historic, though of course much of the early form of the Malthouse was removed when the concrete silo was constructed (and now demolished). The rest of the views along Baker Street are incidental and are now of new development, and therefore do not contribute to significance.

Contribution of Downings Malthouse to the setting and significance of Downings Malthouse Extension and the Transit Shed

- 5.25. The above discussion on setting has identified that significant physical and experiential aspects of the setting of the Listed Buildings has been lost or eroded over

time; this is a natural result of the loss of the industrial use of the area and the subsequent regeneration into modern mixed uses catalysed by its dereliction in the late 20th century. That said, other significant aspects of the historic quayside setting are still intact and offer opportunities for interpretation; these include the canal, views north and east from along the canal and from St Ann's Bridge, the preservation of the historic industrial buildings and their distinct monumental functional character and the retention, albeit smartened and modernised, of key routes and circulation through the complex.

- 5.26. At present Downings Malthouse is in a derelict condition and due to instability only some sections of the historic building remain in situ. This includes some external walls and features, but by no means a fully interpretable set of buildings. As such, the Building has a negative impact on the important aspects of setting (and thus significance) of the Downings Malthouse Extension and Transit Shed, through its very poor condition and only partial survival diminishing the architectural and functional cohesion of the Downings group, and limiting the opportunities for interpretation of the former use, connectivity and experience of the group.
- 5.27. Therefore it follows logically that the regeneration of Downings Malthouse will bring opportunities to improve the setting of the Listed Buildings in a way which may enhance the significance of all the former industrial buildings and the overall experience and interpretation of the historic Baker's Quay.

The Docks Conservation Area

- 5.28. The Site lies just outside the Docks Conservation Area, with its boundary running along Merchant's Road. Gloucester City Council has produced an Appraisal and Management Proposals (2006) which provides an appraisal of the character and appearance of the Conservation Area, and proposals for its effective management.
- 5.29. The Appraisal summarises the key qualities of the Conservation Area thus:
- Former industrial and maritime site being redeveloped as a mixed-use site;
 - Large areas of water surrounded by historic and modern development;
 - Impressive ensemble of 19th century warehouses;
 - Modern waterside residential and commercial developments which bring a 'vibrant mixture of attractions and uses'; and
 - Well preserved dockland and ancillary buildings and structures

5.30. Baker's Quay lies within Character Area 3, the Baker's Quay and Llanthony Quay. Its distinct character is described as:

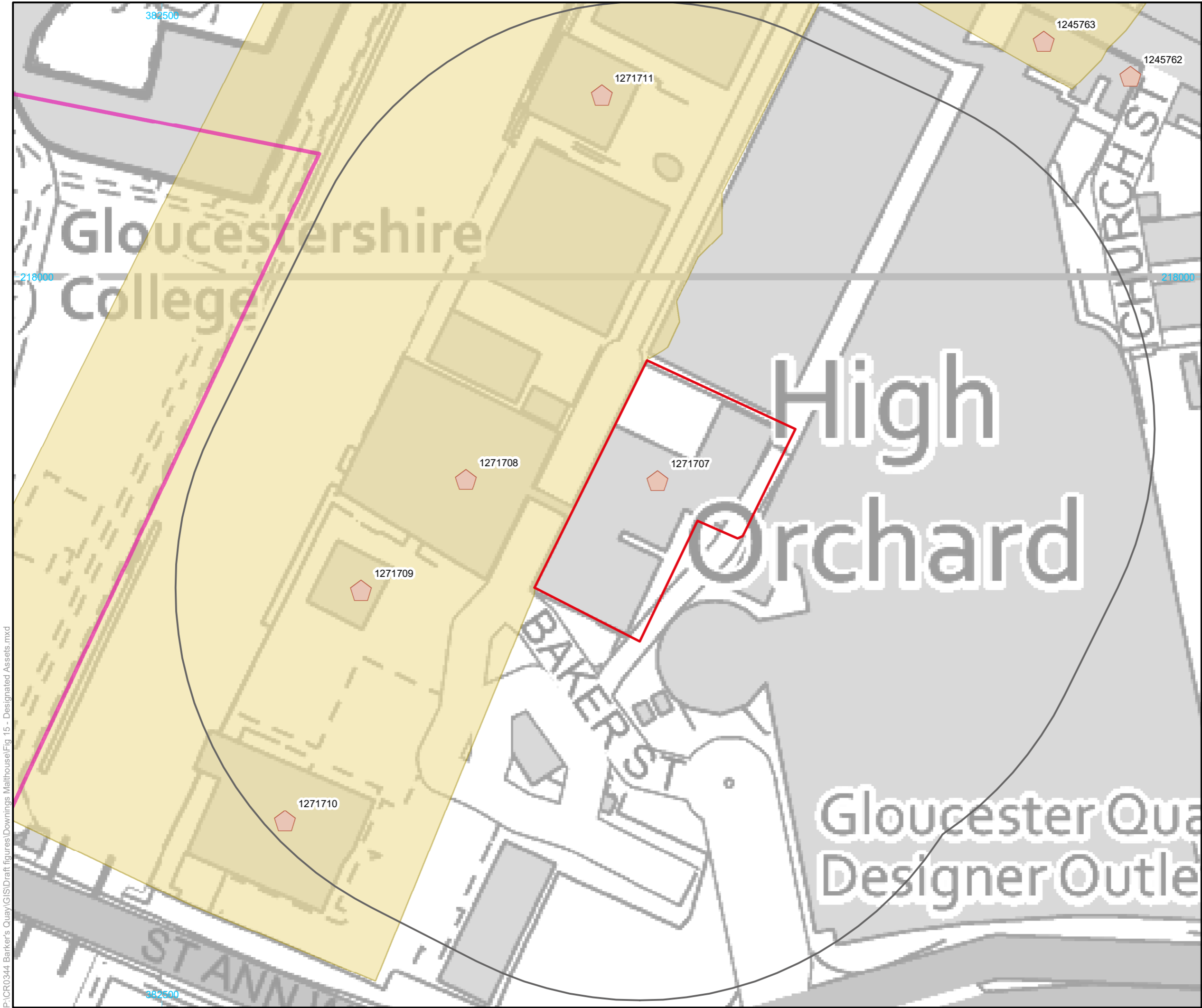
- Wide passage on northern section of Gloucester and Sharpness Canal
- Large brick industrial buildings on Baker's Quay, two of which project over the tow path on cast iron pillars
- Baker's Quay four Listed Buildings interspersed with buildings of lesser architectural and historic interest
- Open frontage on Llanthony Quay, to the east of Llanthony Priory
- Modern Gloscat Buildings beside Llanthony Priory
- Buildings on Merchant's Road set to the road edge
- Cavernous sense of enclosure between the Downings Buildings at the south end of Merchants Road
- Views south along the Gloucester and Sharpness Canal

5.31. In addition, views analysis shows an oblique view north-east from Llanthony Docks as being an 'important view'; this is directed towards the central area of Gloucester Docks. More general views identified in the Appraisal include panoramic views of water and industrial buildings, good long views north and south along the canal, and a few notable views of the cathedral tower (the most important identified as Alexandra Quay, north of Baker's Quay). The Appraisal also states:




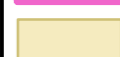

'the docks and canalside were developed as an industrial area in which no attempt was made to create attractive views or vistas'.

5.32. The Appraisal also identifies the negative issues facing this Character Area, these include the at-risk nature and sense of dereliction of the Downings group of buildings, and how Baker's Quay is not fully accessible to pedestrians.

5.33. The Listed Buildings under assessment clearly have the potential to make a positive contribution to the character and appearance of the Conservation Area through their industrial scale and vernacular design. The Appraisal is also clear that their present condition and inaccessibility makes them a negative feature of the Conservation Area at present.



Legend

-  Site
-  Study Area
-  Llanthony Secunda Priory
-  The Docks Conservation Area
-  Gradell Listed Building



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Ordnance Survey 0100031673



PROJECT TITLE
The Downings Malthouse, Baker's Quay

FIGURE TITLE
Designated Heritage Assets

DRAWN BY	EH	PROJECT NO.	CR0344	FIGURE NO.
CHECKED BY	SH	DATE	29/04/2022	15
APPROVED BY	RM	SCALE @ A4	1:1,000	

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6. ASSESSMENT OF EFFECTS

The proposed scheme

6.1. The following broadly summarises the proposed scheme:

- Conversion of the existing Malthouse 2 and Kiln building shells into a three to four storey structure housing residential apartments with basement parking. This is broadly achieved through the construction of an internal steel structure acting as a pod within the historic external envelope and would include new roof structure and coverings (matching the previous roof profiles and coverings), new window and door openings, new windows and a new entrance atrium feature within the south façade
- Construction of a contemporary tower extension to the southern elevation of the Malthouse 2 to act as the anchoring interface with a new bridge over to the Malthouse Extension
- Reuse of the 1876 Kiln walls as a street feature screening a patio area
- Construction of a standalone nine storey contemporary building broadly in the location of the former concrete silo

6.2. Each of these elements will be examined in the following table, where a discussion of effects (physical or non-physical, and neutral, harm or enhancement) will provide a specific conclusion on the level and type of effects to heritage significance stemming from each element of the proposed scheme.

6.3. Key proposed elevations, visualisations and a site plan are reproduced in Appendix 3.

The baseline significance of the Listed Buildings

6.4. In Chapter 4 this assessment analysed and concluded on the level of heritage significance inherent within the surviving elements of the Listed Buildings. This examines the current baseline values of the Buildings bearing in mind the high level of loss to evidential and architectural value stemming from the permitted emergency works, which has essentially left each Building as a façade shell. As such, whilst the historic value inherent in the survival of the group of Malthouse Buildings is still nominally interpretable, and they retain architectural value in the preservation of the designed elevations and the impression of their previous monumentality and scale, their current level of heritage significance is limited. This is a specific finding which informs this assessment of effects and should be placed in the planning balance of

harm versus benefits as per the provisions of the NPPF 2021. Specifically, the reduction in the survival and integrity of the buildings means that as their heritage significance has decreased, their ‘capacity for change’ has increased commensurately.

The contribution of the Buildings to the significance of nearby heritage assets

6.5. A detailed settings assessment guided by best practice methodology has been produced in Chapter 5 of this report. The results concluded that:

- **Downings Malthouse Extension and Transit Shed:** at present the Buildings of the Site are a negative presence in the setting of these Listed Buildings due to their derelict scaffolded condition and the overall lack of access, circulation, use and activity of the Baker’s Quay area as result of the Buildings’ condition, which limits interpretation of areas’ former use and diminishes the heritage significance of the Malthouse Extension. Thus at present there are extensive opportunities to enhance heritage significance through regeneration of the scheme Buildings
- **Llanthony Priory:** It has been concluded that Baker’s Quay as an entity does not contribute to the specific architectural, evidential and historic values which form the significance of Llanthony Priory as a medieval ecclesiastical enclave; and that views east from Llanthony Priory of Baker’s Quay take in broad canal framed vista of a largely amorphous industrial grain and scale townscape. Due regard for these views from the Llanthony Priory site are given in the following assessment (due to feedback from the Senior Conservation Officer), however it is suggested that in the current, evolved views, the Site does not notably contribute to the heritage significance of the Priory buildings and remains.

Item	Discussion	Heritage benefits/ enhancements	Heritage harm	Conclusion on overall effects on significance
Conversion of Malthouse and Kiln with new internal structure and layout including café use to ground floor of Kiln	<p>The overall principle of the residential conversion of the Malthouse and the wholesale demolition of its interiors was agreed in the 2015 planning application and subsequent Emergency Works. In addition, it may be observed that the present scheme will provide a viable use for a decommissioned historic building that is in parlous derelict condition and which would likely be permanently lost without this or a similar development.</p> <p>To some extent the Building will be better revealed to a wider proportion of the public who will live within its walls and therefore connect with and experience the Building in a way which is not presently possible. The café use of the ground floor kiln in the Kiln Building will add further interpretation and appreciation opportunities to the general public to understand the industrial past of the Building and to experience its industrial features.</p> <p>Historic fabric: The Buildings have already lost the vast majority of their internal fabric.</p> <p>A Repair and Restoration Schedule will be submitted by the applicant in due course which will outline the detailed approach to the surviving façades which will include a repair and retention strategy towards brick work and other historic fabric. The ghost sign on the western façade of the Malthouse Kiln will be repainted (colours tbc) which will further advance the public understanding of this former industrial use.</p>	<ul style="list-style-type: none"> • Assets will be placed in a viable use consistent with their conservation • Assets will be better revealed to the public through repair and reuse providing access to the assets • Surviving historic fabric such as the brick facades will be repaired and conserved 	<p>No harm stemming from the current scheme (loss of fabric and all planform has already occurred)</p>	<p>Overall enhancement to heritage significance of the Grade II Listed Downings Malthouse</p>

Item	Discussion	Heritage benefits/ enhancements	Heritage harm	Conclusion on overall effects on significance
New atrium with contemporary treatment on southern elevation of Malthouse	<p>During demolition it was necessary from a logistical point of view to create an opening in the southern façade of the Malthouse to allow access for the demolition equipment to undertake demolition and removal. This opening, which forms a large, ragged V shape in the southern façade (described as a lightwell in the 2019 building recording) presents an opportunity for creative treatment and is proposed to be retained and repaired with contemporary materials to become a striking glass atrium entrance area with lift and staircase access to the upper floors. This is designed to knit with the historic façade and to provide a striking and honest juxtaposition of old and new fabric as well providing an easily identifiable primary access to the Listed Building. Iron columns salvaged from the main Malthouse floors will be utilised within the design to reference the historic features and add interest to the atrium experience.</p> <p>As fabric loss and intervention to the façade was agreed in the emergency works, (and not part of the present application), no further harm is identified with this aspect of the scheme. The proposed design and materiality of this entrance atrium will ensure it complements the Listed Building through referencing the architectural rhythms of the Building whilst also being entirely interpretable as new design. This element will facilitate wider public access to this group of Buildings.</p>	Creatively repairs a lost section of the Building with contemporary design and materials (preserves significance rather than enhancing it)	None	Neutral effect on the Grade II Listed Downings Malthouse and the wider historic environment

Item	Discussion	Heritage benefits/enhancements	Heritage harm	Conclusion on overall effects on significance
New contemporary tower on southern elevation of Malthouse, linked to new bridge	<p>This new tower is extremely contemporary, and is designed both in simplistic styling and materiality to provide a striking contrast to the Listed Building to ensure it is interpretable as a 21st century element. It acts as a structural support for the proposed new link bridge (see below) which echoes the former link bridge to the Malthouse Extension. It is slightly taller than the Listed Building, but does not dominate or overpower it, given that the juxtaposition between old and new is entirely interpretable and actually draws the eye to the architecture of the Listed Building.</p> <p>As such the tower would exist as a clear modern addition which does not obscure or otherwise compete with the Listed Building, and it facilitates the reintroduction of the historic link bridge to Malthouse Extension, albeit in a contemporary interpretation. As such there is no harm to significance.</p>	None	None	Neutral effect on significance of the historic environment

<p>New window and door openings to Malthouse and Kiln</p>	<p>As seen in Appendix 2, a number of new window and door openings are proposed for the elevations of Malthouse 2 and Kiln. These are discussed on an elevation-by-elevation basis:</p> <p>Northern elevation (Kiln): A number of large new window openings with glazed balustrades are proposed to be inserted into this largely blank façade. There are a number of brick-blocked historic windows on this façade which will be retained in their present form to allow interpretation of this evolved feature. The new windows, which sit in groups of threes in a rhythmic symmetrical composition referencing the vertical emphasis seen in the historic design of the Listed Buildings, do bring a level of harm to the architectural interest of the Kiln Building through the loss of the large blank façade which is a distinct feature of the Building.</p> <p>Western elevation (Merchants Road): The proposed treatment for this elevation leaves the historic door and window composition relatively untouched, bar the extension of the round window openings into doorways (retaining the semi-circle of the curve as a fanlight effect). As these changes are minimal and ‘work with’ the current design of the Building, no harm is forthcoming from this aspect of the proposals.</p> <p>South-western elevation (former lightwell/passage between Malthouse 1/concrete silo and 2): The current heavily deteriorated form of this elevation can be seen in the As Existing elevations found in Appendix 3. The ‘scar’ from the demolition access alongside loss on the south-eastern corner means that much of this façade has been lost. The proposals look to recreate the historic openings in the façade whilst knitting it in to the inset modern atrium which is to be finished in a contemporary style to ensure there is sufficient contrast between the old and new elements. Essentially there will be an element of re-creation in what has always been a largely hidden façade (prior to it addressing the concrete silo it sat close to Malthouse 1 when it was in existence). The re-created elements will restore the original experience of this façade of the Building whilst also</p>	<p>Interventions support the conversion of the Building to viable apartments and ensure the success of the scheme.</p> <p>Works to the south-western elevations re-create historic window openings lost in the demolition works.</p>	<p>A degree of harm to significance as a result of the new window openings</p>	<p>Overall degree of harm to the significance of the Grade II Downing’s Malthouse Listed Building</p>
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Item	Discussion	Heritage benefits/ enhancements	Heritage harm	Conclusion on overall effects on significance
	<p>framing and anchoring the new atrium. As such, there is an element of enhancement in the re-presentation of the original façade and the repair of the scar area with a contemporary design, this also allows for an understanding of the layers of change that has occurred to the Building.</p> <p>South-east elevations (Old Orchard Street) Malthouse and Warehouse: At present the Malthouse elevations comprise a rhythmic composition of industrial dressed and arched windows as seen on other elevations of the Listed Building. The proposals involve the insertion of large double full height double windows with glass balustrades, meaning at least eight historic window openings will be lost. This results in some harm to the architectural and historic interest of the Listed Building.</p> <p>Overall the proposals for changes to the elevations bring about some reinstatement, retention and some loss. On balance the level of loss and intervention proposed does bring a degree of harm to the significance of the Listed Building.</p>			
New window frames to Malthouse and Kiln	<p>It is proposed to insert new double-glazed single pane aluminium units into the current window openings. This will engender the loss of the current historic metal windows which are of mixed industrial design (some multi-pane and some double pane); most generally have a pivot swing louvre opening function where the top and bottom sashes can pivot to provide a high level of air control.</p> <p>The loss of the historic window insertions will bring some harm to architectural and evidential value.</p>		A degree of harm to significance	Overall degree of harm to the significance of the Grade II Downing's Malthouse Listed Building

Item	Discussion	Heritage benefits/enhancements	Heritage harm	Conclusion on overall effects on significance
New roof structures to Malthouse and Kiln	<p>The roofs and structural members to both the Malthouse and Kiln are not present and were removed as part of the 2020 demolitions due to their extremely unsafe condition. The proposals involve the reinstatement of the roofs to their historic form and design, including the use of slate type tiles and the recreation of the distinctive Kiln roof ridge vent. It is proposed to insert roof lights and linear dormers into the northern roof slope of the Kiln in addition.</p> <p>The reinstatement of the roof forms of the Listed Buildings is positive to significance in that it allows for a full understanding of the former appearance and character of the Listed Buildings as opposed to the present experience which is of roofless shells. The insertion of dormers to the northern elevation is not an authentic feature and as such brings a small level of harm, but this is felt to be outweighed by the positive reinstatement of the roof with its distinctive vent and ridge profile.</p>	Reinstatement of the roofs in their former form, materiality and profile	None	Enhancement to heritage significance of the Downing's Malthouse Grade II Listed building
Hoists outshots on Malthouse (western façade)	As part of the proposals, the form of the protruding timber goods hoist on Malthouse 2 will be recreated, through a protruding timber clad window box with a Juliet balcony along with a second feature in the historic location of a second timber hoist. The re-creation of the features on Malthouse 2 are of a sympathetic design and material, referencing an historic feature and aiding interpretation and understanding of these Buildings as former industrial buildings and are therefore positive to significance.	References and offers interpretation of historic features	None	Slight enhancement to significance of the Downing's Malthouse Grade II Listed building

Item	Discussion	Heritage benefits/ enhancements	Heritage harm	Conclusion on overall effects on significance
New bridge over Merchants Road from Malthouse Extension	The former bridge between the two Listed Buildings has been lost, and the proposals look to recreate a new link feature in its place. This feature is a modern interpretation of the former bridge and as such will be highly contemporary (green smooth timber cladding, possibly incorporating some element of wind harness technology). The bridge does reference an historic feature, bringing a small amount of heritage benefit by bringing opportunity for understanding of the historic link between Malthouse 2 and the Malthouse Extension.	References and offers interpretation of historic features	None, bridge was a lost feature	Slight enhancement to the heritage significance of the Downing's Malthouse Grade II Listed building and the Malthouse Extension
Conversion of High Orchard Street Warehouse with associated alterations to the elevations	<p>The details of the Warehouse conversion largely follow the previous scheme. The main alterations to the Building involve the insertion of historically detailed window openings to the current blank south elevation to provide light to the interior apartments, which broadly utilise the existing plan of the Building. These new insertions, albeit historically detailed, will bring a very small amount of harm to architectural and evidential value (the blank facade evidencing the lack of light necessary for optimum warehouse storage).</p> <p>The addition of a hoist styled dormer on High Orchard Street, whilst not an original feature of the warehouse, will enable the attic floor to be utilised for residential and is in keeping with the openings in lower floors of the warehouse and the forms seen on the Malthouse 2 and sympathetic to the industrial functional nature and aesthetic of the warehouse.</p>	Brings the asset back into viable use in a manner consistent with its conservation	Albeit sympathetic in form and materiality and referencing historic features the new interventions will bring a small amount of harm to significance	Overall degree of harm to the significance of the Grade II Downing's Malthouse Listed Building

Item	Discussion	Heritage benefits/ enhancements	Heritage harm	Conclusion on overall effects on significance
Proposed treatment of 1876 Kiln	<p>The 1876 Kiln is presently a shell of two facades following demolition of the modern steel supporting structure and interior. The proposed treatment of the Kiln, which had undergone substantial change leading to almost total loss of significance prior to this scheme, is for it become a wall, screening a small patio area running around the north and eastern corner of the new apartment block. The Kiln, as a wall, will remain unaltered from its current truncated state, but the historic elevational treatment, which was formed of blank inset panels with small windows will be interpretable. Symmetrically placed doorways at ground level will complement the historic composition and ensure circulation around the feature.</p> <p>As a streetscene feature this façade will be quite striking, representing a remnant of the former kiln which will draw the eye and catalyse discussion and appreciation through its stark appearance. As such, it will remain as an interpretable element of the former Building group, and in a sense will be better revealed to the public, especially if it were to retain an interpretation panel.</p>	Retained in truncated form for ongoing interpretation	None (loss to significance and truncation all occurred prior to the current scheme)	No effect upon the historic environment

<p>Eight storey new building – effects on Listed Building</p>	<p>The new apartment block building lies roughly on the site of the former concrete silo but creates a larger building gap between Malthouse 2 and the silo which sat on the rough footprint of the original Malthouse on this site. The original Malthouse (see aerial photo in the Historic Building Recording Addendum) addressed the street and Baker's Quay whilst Malthouse 2 lay to the rear of Malthouse 1. Malthouse 2 was designed to have some architectural presence (though its functionality was key in its design) but that this was mostly observed from Merchants Road, as the southern façade addressed a building gap between it and Malthouse 1.</p> <p>Appendix 3 contains elevations and visualisations of the proposed new building. It is a tall modern structure, with an irregular plan and roof profile, with a highly contemporary materials palette referencing the brick vernacular of the overall quays area. Large areas of glazing and set back features such as balconies are used to create a light-touch void to solid ratio which assists in softening the overall elevational effect.</p> <p>The height of the proposed new building is significantly higher than nearby buildings and the general prevailing townscape heights. It will therefore be a landmark building in the Quays area, and present something of a 21st century gateway building when viewed from St Annes Way.</p> <p>In terms of its specific interaction with the Listed Building it is not physically attached except at basement parking level. However the height of the new building will appreciably dominate the environs of the Malthouse and somewhat overshadow the Listed Building. This is evident in the viewpoint 02 Photomontage of the submitted LVIA. As such there will be an effect of screening the Listed Building from wider views along Baker Street. This will have a direct slightly deleterious impact on the appreciation of the Listed Building.</p> <p>However, it is key to remember that the Building's significance is very much tied up in its functional industrial past (not in the beauty of its elevations for example), and that Malthouse 1 and then the concrete silo</p>	<p>A degree of enhancement through its role in integrated new placemaking incorporating both the historic and the new. The highly contemporary elements are not in isolation: they respond and interact with the retained historic elements</p>	<p>Low level of heritage harm stemming from the screening effect of the new building</p>	<p>A limited degree of harm to the heritage significance of the Grade II Downing's Malthouse Listed Building</p>
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Item	Discussion	Heritage benefits/ enhancements	Heritage harm	Conclusion on overall effects on significance
	<p>did, in the past, shield it from view along Baker Street. The extant views of its key designed elevation along Merchants Road will be unaffected. The juxtaposition of the contemporary tall building with the polite industrial vernacular building will also be interesting and draw the eye, with the character and patina of the historic building becoming framed and emphasised through the contrast.</p> <p>The nature of the visual effect of the new building created by its height will though bring a small amount of harm to the significance of the Listed Building through the effect of dominance and its screening effect (which will reduce the ability to appreciate the historic experience of the industrial townscape grain of this area), this is considered to be less than substantial and can be placed in the planning balance, including the consideration of how regeneration of this area and restoration of the Listed Building will better reveal the asset to the wider public through access.</p>			

<p>Eight storey new building – effects on nearby Listed Buildings</p>	<p>Effects on Malthouse Extension and Transit Shed group:</p> <p>The settings assessment contained in Chapter 5 concluded that the current condition of the Malthouse 2 complex made a negative contribution to the significance of the Malthouse Extension as the experience and understanding of this area as a former busy working enclave was limited by disuse, abandonment and dereliction. Thus the works to refurbish the Listed Building with like-for-like treatments to the exterior (and some clearly contemporary additions) will bring about enhancement and regeneration to the setting of the Malthouse Extension and thus to its significance in the sense that it will once again be connected in use and activity to Malthouse 2 and be part of an active, vibrant area.</p> <p>The new apartment block will sit adjacent to the Malthouse Extension but separated by Merchant's Road as best seen in the Proposed Street Scene B (Appendix 3). The new block is significantly taller than Malthouse Extension, but it does not have a visually dominating effect in the sense that the new apartment block is very much a standalone building, very clearly modern and of its time. By contrast the solidity and monumentality of the southern façade of the Malthouse Extension in key views from St Anne's Way and Bridge and Baker Street would still be experienced positively and without intrusion from the new development. This is clearly demonstrated in Viewpoint 02 and 03 of the photomontage submitted as part of the LVIA. Similarly the key views of the colonnaded western façade from the canal would not be disrupted (this is also evidenced in Viewpoint 03). As identified above, the juxtaposition of old and new buildings of different character and scale can often help emphasise and intensify attention to the historic building through the visual effect of the contrast.</p> <p>As such, it is concluded that there will be harm to the significance of Malthouse Extension as a result of the new apartment block.</p> <p>Effects on Llanthony Priory:</p> <p>The above settings assessment concluded that Baker's Quay, as part of the evolved industrial townscape east of the Gloucester & Sharpness</p>	<p>Through repair and regeneration of the Listed Building and its environs; enhancement to the setting and significance the Malthouse Extension and Transit Shed</p>	<p>None</p>	<p>Neutral effect on the significance of nearby Listed Buildings and the wider historic environment</p>
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Item	Discussion	Heritage benefits/ enhancements	Heritage harm	Conclusion on overall effects on significance
	<p>canal, does not contribute to the specific heritage values of the priory and its site. Whilst the new development would bring about a degree of <i>change</i> to the setting of Llanthony Priory and views from it (as best seen in View 02 of the Proposed Photomontage), this change to the already dense urban townscape skyline would not affect heritage significance specifically. Those aspects of Llanthony Priory's setting which contribute positively its significance and our understanding of it are limited to its immediate landscaped surroundings, including the open gap onto the canalside. It is essentially now encapsulated in a green space within a modern townscape, and it is these green landscaped capsule grounds which provide opportunities for understanding and interpretation of the priory an its significance. That is to say that the building of the apartment block would not affect the understanding, interpretation and appreciation of the history of Llanthony Priory that is currently available from its present semi-industrial townscape setting, nor its specific evidential and architectural special interest (which is best experienced within its preserved grounds and immediate setting).</p> <p>Therefore the overall effect of the proposed new development on the significance of the Grade I Listed Building and Scheduled Monument is neutral (i.e. no harm).</p>			

<p>Effects of scheme on the character and appearance of the Docks Conservation Area</p>	<p>As outlined in Chapter 5 above, the Site lies in the immediate setting of the Docks Conservation Area. To all intents and purposes it forms part of the character of the area which is dominated by industrial scale warehousing and manufacturing buildings, interspersed by waterways and the canal. The Malthouse Extension lies in the Conservation Area and its distinctive pillared colonnade (alongside that of the Pillar and Lucy Warehouse) is a named feature of the area. The Appraisal is clear in stating that at present, though part of the industrial heritage of the Docks, the Downings group is a negative feature due their dereliction and inaccessibility.</p> <p>The proposals will therefore regenerate and re-invigorate these Listed Buildings in a way which will create an accessible, active, restored new mixed-use quarter to the south areas of the Docks. This is positive placemaking which will enhance the character and appearance of the Conservation Area, and as such is comprises a heritage enhancement.</p> <p>In terms of the tall apartment block, this will certainly be a visually striking and noticeable building design within the wider area. Tall buildings are a feature of the Conservation Area, the 'serrated skyline' of the Victoria, Kimberley and Phillpott Warehouses for example which are monumental scale buildings of 6-7 storeys. The new building, which is built on a strong vertical emphasis, will certainly <i>change</i> the skyline in this part of the setting of the Conservation Area, but the key question is would it harm the experience and understanding of the character of the area.</p> <p>The location of the new building, set back away from the canal side and some distance south of the historic tall buildings in the heart of the Conservation Area, means that it will not intrude upon key views or view corridors in the Conservation Area (identified as being long linear canal vistas and those running north-east to and from the grounds of Llanthony Priory through the Llanthony Quay visibility 'gap'. Its location also ensures it will not compete with or dominate key buildings or landmark places in the Conservation Area such as the heart of the dockland. This is demonstrated by Viewpoint 05 Wireline in the LVIA, where the building is screened from view by intervening built form. The distinct elements of</p>	<p>Regeneration and positive placemaking will bring restoration, access and circulation, and use to this area which will be a positive enhancement to the character of the adjacent Conservation Area (new building has a neutral effect)</p>		<p>Overall preserves the architectural and historical special interest of the Conservation Area</p>
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Item	Discussion	Heritage benefits/enhancements	Heritage harm	Conclusion on overall effects on significance
	<p>character, such as the red brick materials palette, the contribution made by the pillared colonnades of Malthouse Extension, the overall industrial character and the 'cavernous sense of enclosure at the south end of Merchants Road' will be preserved. The overall character of the Conservation Area is defined thus in the Area Appraisal:</p> <ul style="list-style-type: none"> • Former industrial and maritime site being redeveloped as a mixed-use site; • Large areas of water surrounded by historic and modern development; • Impressive ensemble of 19th century warehouses; • Modern waterside residential and commercial developments which bring a 'vibrant mixture of attractions and uses'; and • Well preserved dockland and ancillary buildings and structures <p>The proposed new building will complement the mixed-use character of area and help create a vibrant new quarter, preserve the large areas of water, is located well away from the ensemble of 19th century warehouses (and will therefore not compete with them), and will enable the preservation and representation of the historic Maltings structures.</p> <p>Therefore it is concluded that the proposed scheme will bring positive benefits in terms of regeneration of the Listed Buildings and their contribution to the Conservation Area and neutral effects in relation to the new building and the distinct, significant elements of local character.</p>			

Table 6.1 Assessment of effects on heritage significance

Summary on the assessment of effects

- 6.6. As is clear from the above detailed assessment, there are numerous effects of the proposals, including clear enhancements, elements of specific harm, and changes which will not affect the historic environment. Key considerations include the current derelict state of the Building and the wider site, and the opportunities presented here for a creative regenerative placemaking scheme that will bring Baker's Quay generally, and the Listed Buildings specifically, back into active viable use in ways which are consistent with their preservation and conservation (from their current baseline condition).
- 6.7. The assessment has identified areas where heritage enhancements will flow from the proposed scheme, including the more intangible benefits of increased public access to, and therefore subsequent enhanced appreciation of, the history and special interest of the Listed Buildings (and this includes improved general circulation to the adjacent Docks Conservation Area). Reinstatement of lost features and building fabric also brings benefits in allow for ongoing appreciation of the historic experience of the Buildings. Regeneration and positive placemaking will also allow the Site to become a vibrant and active place within the setting of the Conservation Area, and one which preserves, references and complements the distinct qualities of the area.
- 6.8. There are also elements of specific heritage harm. These largely centre on interventions which are necessary to ensure the living spaces created as part of the scheme are viable, attractive, high-quality spaces; including new window and door openings. Offset against this is the repair and preservation of the western elevation, which is the most architecturally accomplished, largely as original.
- 6.9. The new apartment block is an unashamedly tall building, designed in a highly contemporary but light touch manner to become something of a landmark building in the local urban townscape. This assessment has examined the effects of that scheme on the Listed Buildings under analysis (including those in whose setting it lies), and found that there is a small level of harm to Malthouse 2, but none to the Malthouse Extension, Transit Shed or Llanthony Priory. The former is because the new building will bring an effect of dominance and screening over the Malthouse 2, and the latter because the understanding and experience of the specific values which form the special interest of the Listed Buildings will not be frustrated, diminished or obscured as a result of the new standalone apartment block.

7. OVERALL CONCLUSIONS

- 7.1. The analysis set out in this report is based upon the requirements regarding heritage set out in the NPPF Chapter 16 'The Historic Environment'. The information provided provides a suitable and 'proportionate' level of information to inform an understanding of the heritage significance of the elements of the historic environment which may be affected by the proposals (as required by Paragraph 194 of the NPPF), and also provides informed conclusions on any adverse and beneficial effects. This approach is also informed by the guidance provided in the Historic England publication 'Historic Environment Advice Note 12: Statements of Heritage Significance' (HE 2019), commonly referred to as 'HEAN12'.
- 7.2. With regard to designated heritage assets, the NPPF includes policy requirements engaged when there is 'substantial harm' to a listed building (or other designated heritage asset), namely paragraphs 200 and 201. Analysis of the significance of the built heritage of the Site, and consideration of the development proposals, concludes that there will be no 'substantial harm' to any designated heritage assets, including that within the Site and heritage assets in the wider area.
- 7.3. Table 6.1 above sets out a summary of each of the effects of the development proposals, including enhancements, harms and 'neutral' effects. The analysis in the Table allows the differing effects of the proposals to be considered, with regard to elements of heritage significance, and impacts upon them (consideration of which is required under paragraphs 194 and 195 of the NPPF). With regard to effects which constitute 'less than substantial harm', then paragraph 202 directs that the level of harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.
- 7.4. Judgements such as the Court of Appeal judgement *Palmer v. Herefordshire Council & ANR* Neutral Citation Number [2016] EWCA Civ 1061 clarify that the overall effect upon a designated heritage asset from a development proposal should be considered, considering both any specific harms or benefits. With regard to effects upon designated heritage assets it is concluded that the proposals would result in the following overall effects:
- Grade II Listed Downings Malthouse – a small overall level of heritage enhancement
 - Docks Conservation Area – overall neutral effect

-
- Malthouse Extension Grade II listed building – very small level of enhancement

7.5. With regard to non-designated heritage assets, paragraph 203 directs that a balanced judgment is required, having regard to the scale of any harm or loss and the significance of the heritage asset. The development proposals will not affect any known non-designated heritage assets within the Site. Archaeological investigations in the wider vicinity of the site have located medieval remains at depths of c.2m below the current ground level, with post-medieval remains surviving at depths of c.0.85m. The Site lay outside of the medieval precinct of Llanthony Priory, within farmland (orchard) and as such, there is not a notable potential for any remnant medieval structures. There is a potential for former elements of the post-medieval use of the area, although these are generally well-recorded on historic maps and would be of limited historic interest.

7.6. If the application is permitted, then a programme of archaeological monitoring and recording may be appropriate on key areas of ground preparation. This would be in accordance with paragraph 205 of the NPPF which directs that 'local planning authorities should require developers to record and advance understanding of the significance of heritage assets to be lost (wholly or in part) in a manner proportionate to their importance and the impact, and to make this evidence (and any archive generated) publicly accessible.

8. REFERENCES

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- Historic England 2016 *Historic England Advice Note 1: Conservation Area Designation, Appraisal and Management*
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- Jackson Purdue Lever 2015 *Structural Appraisal of Downings Malthouse, Baker's Quay for Rokeby Merchant (Gloucester) LTD*
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- Planning (Listed Buildings and Conservation Areas) Act 1990 Act of UK Parliament
- Royal Commission of Historical Monuments of England (RCHME) 1984. *Gloucestershire: Merchants Road, Malthouses*

APPENDIX 1: HERITAGE STATUTE POLICY & GUIDANCE

Heritage Statute: Scheduled Monuments

Scheduled Monuments are subject to the provisions of the Ancient Monuments and Archaeological Areas Act 1979. The Act sets out the controls of works affecting Scheduled Monuments and other related matters. Contrary to the requirements of the Planning Act 1990 regarding Listed buildings, the 1979 Act does not include provision for the ‘setting’ of Scheduled Monuments.

Heritage Statute: Listed Buildings

Listed buildings are buildings of ‘special architectural or historic interest’ and are subject to the provisions of the Planning (Listed Buildings and Conservation Areas) Act 1990 (‘the Act’). Under Section 7 of the Act ‘no person shall execute or cause to be executed any works for the demolition of a listed building or for its alteration or extension in any manner which would affect its character as a building of special architectural or historic interest, unless the works are authorised.’ Such works are authorised under Listed Building Consent. Under Section 66 of the Act ‘In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any feature of special architectural or historic interest which it possesses’.

Note on the extent of a Listed Building

Under Section 1(5) of the Act, a structure may be deemed part of a Listed Building if it is:

- (a) fixed to the building, or
- (b) within the curtilage of the building, which, although not fixed to the building, forms part of the land and has done so since before 1st July 1948

The inclusion of a structure deemed to be within the ‘curtilage’ of a building thus means that it is subject to the same statutory controls as the principal Listed Building. Inclusion within this duty is not, however, an automatic indicator of ‘heritage significance’ both as defined within the NPPF (2021) and within Conservation Principles (see Section 2 above). In such cases, the significance of the structure needs to be assessed both in its own right and in the contribution it makes to the significance and character of the principal Listed Building. The practical effect of the inclusion in the listing of ancillary structures is limited by the requirement that Listed Building Consent is only needed for works to the ‘Listed Building’ (to include the building in the list and all the ancillary items) where they affect the special character of the Listed building as a whole.

Guidance is provided by Historic England on '[Listed Buildings and Curtilage: Historic England Advice Note 10](#)' (Historic England 2018).

Heritage Statue: Conservation Areas

Conservation Areas are designated by the local planning authority under Section 69(1)(a) of the Planning (Listed Buildings and Conservation Areas) Act 1990 ('the Act'), which requires that *'Every local planning authority shall from time to time determine which parts of their area are areas of special architectural or historic interest the character or appearance of which it is desirable to preserve or enhance'*. Section 72 of the Act requires that *'special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area'*.

The requirements of the Act only apply to land within a Conservation Area; not to land outside it. This has been clarified in various Appeal Decisions (for example APP/F1610/A/14/2213318 Land south of Cirencester Road, Fairford, Paragraph 65: *'The Section 72 duty only applies to buildings or land in a Conservation Area, and so does not apply in this case as the site lies outside the Conservation Area.'*).

The NPPF (2021) also clarifies in [Paragraph 207](#) that *'Not all elements of a World Heritage Site or Conservation Area will necessarily contribute to its significance'*. Thus land or buildings may be a part of a Conservation Area, but may not necessarily be of architectural or historical significance. Similarly, not all elements of the setting of a Conservation Area will necessarily contribute to its significance, or to an equal degree.

National heritage policy: the National Planning Policy Framework

Heritage assets and heritage significance

Heritage assets comprise 'a building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest' (the NPPF (2021), Annex 2). Designated heritage assets include World Heritage Sites, Scheduled Monuments, Listed Buildings, Protected Wreck Sites, Registered Parks and Gardens, Registered Battlefields and Conservation Areas (designated under the relevant legislation; NPPF (2021), Annex 2). The NPPF (2021), Annex 2, states that the significance of a heritage asset may be archaeological, architectural, artistic or historic. Historic England's 'Conservation Principles' looks at significance as a series of 'values' which include 'evidential', 'historical', 'aesthetic' and 'communal'.

The July 2019 revision of the Planning Practice Guidance (PPG) expanded on the definition of non-designated heritage assets. It states *that 'Non-designated heritage assets are buildings, monuments, sites, places, areas or landscapes identified by plan-making bodies as*

having a degree of heritage significance meriting consideration in planning decisions, but which do not meet the criteria for designated heritage assets.’ It goes on to refer to local/neighbourhood plans, conservation area appraisals/reviews, and importantly, the local Historic Environment Record (HER) as examples of where these assets may be identified, but specifically notes that such identification should be *made ‘based on sound evidence’*, with this information *‘accessible to the public to provide greater clarity and certainly for developers and decision makers’*.

This defines *non-designated heritage assets* as those which have been specially defined as such through the local HER or other source made accessible to the public by the plan-making body. Where HERs or equivalent lists do not specifically refer to an asset as a *non-designated heritage asset*, it is assumed that it has not met criteria for the plan-making body to define it as such, and will be referred to as a *heritage asset* for the purpose of this report.

The assessment of *non-designated heritage assets* and *heritage assets* will be equivalent in this report, in line with industry standards and guidance on assessing significance and impact. They may not, however, carry equivalent weight in planning as set out within the provisions of the NPPF, should there be any effect to significance.

The setting of heritage assets

The ‘setting’ of a heritage asset comprises ‘the surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral’ (NPPF (2021), Annex 2). Thus it is important to note that ‘setting’ is not a heritage asset: it may contribute to the value of a heritage asset.

Guidance on assessing the effects of change upon the setting and significance of heritage assets is provided in ‘Historic Environment Good Practice Advice in Planning Note 3: The Setting of Heritage Assets’, which has been utilised for the present assessment (see below).

Levels of information to support planning applications

Paragraph 194 of the NPPF (2021) identifies that ‘In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on their significance’.

Designated heritage assets

Paragraph 189 of the NPPF (2021) explains that heritage assets ‘are an irreplaceable resource and should be conserved in a manner appropriate to their significance’. Paragraph 199 notes that ‘when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance’. Paragraph 200 goes on to note that ‘substantial harm to or loss of a grade II listed building...should be exceptional and substantial harm to or loss of designated heritage assets of the highest significance (notably scheduled monuments, protected wreck sites, registered battlefields, grade I and II* listed buildings, grade I and II* registered parks and gardens, and World Heritage Sites)...should be wholly exceptional’.

Paragraph 202 clarifies that ‘Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including, where appropriate, securing its optimum viable use’.

Development Plan

Gloucester, Cheltenham and Tewkesbury Joint Core Strategy 2011-2031

The joint core strategy was adopted in December 2017 between Tewkesbury Borough Council, Gloucester City Council, and Cheltenham Borough Council. In regard to the historic environment, the relevant policy is Policy SD8: Historic Environment which states that:

1. The built, natural and cultural heritage of Gloucester City, Cheltenham town, Tewkesbury town, smaller historic settlements and the wider countryside will continue to be valued and promoted for their important contribution to local identity, quality of life and the economy;
2. Development should make a positive contribution to local character and distinctiveness, having regard to valued and distinctive elements of the historic environment;
3. Designated and undesignated heritage assets and their settings will be conserved and enhanced as appropriate to their significance, and for their important contribution to local character, distinctiveness and sense of place. Consideration will also be given to the contribution made by heritage assets to supporting sustainable communities and the local economy. Development should aim to sustain and enhance the significance

of heritage assets and put them to viable uses consistent with their conservation whilst improving accessibility where appropriate;

4. Proposals that will secure the future conservation and maintenance of heritage assets and their settings that are at risk through neglect, decay or other threats will be encouraged. Proposals that will bring vacant or derelict heritage assets back into appropriate use will also be encouraged; and
5. Development proposals at Strategic Allocations must have regard to the findings and recommendations of the JCS Historic Environment Assessment (or any subsequent revision) demonstrating that the potential impacts on heritage assets and appropriate mitigation measures have been addressed.

Good Practice Advice 1-3

Historic England has issued three Good Practice Advice notes ('GPA1-3') which support the NPPF. The GPAs note that they do not constitute a statement of Government policy, nor do they seek to prescribe a single methodology: their purpose is to assist local authorities, planners, heritage consultants, and other stakeholders in the implementation of policy set out in the NPPF. This report has been produced in the context of this advice, particularly 'GPA2 – Managing Significance in Decision-Taking in the Historic Environment' and 'GPA3 – The Setting of Heritage Assets'.

GPA2 - Managing Significance in Decision-Taking in the Historic Environment

GPA2 sets out the requirement for assessing 'heritage significance' as part of the application process. Paragraph 8 notes 'understanding the nature of the significance is important to understanding the need for and best means of conservation.' This includes assessing the extent and level of significance, including the contribution made by its 'setting' (see GPA3 below). GPA2 notes that 'a desk-based assessment will determine, as far as is reasonably possible from existing records, the nature, extent and significance of the historic environment within a specified area, and the impact of the proposed development on the significance of the historic environment, or will identify the need for further evaluation to do so' (Page 3).

GPA3 – The Setting of Heritage Assets

The NPPF (Annex 2: Glossary) defines the setting of a heritage asset as 'the surroundings in which a heritage asset is experienced...'. Step 1 of the settings assessment requires heritage assets which may be affected by development to be identified. Historic England notes that for

the purposes of Step 1 this process will comprise heritage assets ‘where that experience is capable of being affected by a proposed development (in any way)...’.

Step 2 of the settings process ‘assess[es] the degree to which these settings and views make a contribution to the significance of the heritage asset(s) or allow significance to be appreciated’, with regard to its physical surrounds; relationship with its surroundings and patterns of use; experiential effects such as noises or smells; and the way views allow the significance of the asset to be appreciated. Step 3 requires ‘assessing the effect of the proposed development on the significance of the asset(s)’ – specifically to ‘assess the effects of the proposed development, whether beneficial or harmful, on the significance or on the ability to appreciate it’, with regard to the location and siting of the development, its form and appearance, its permanence, and wider effects.

Step 4 of GPA3 provides commentary on ‘ways to maximise enhancement and avoid or minimise harm’. It notes (Paragraph 37) that ‘Maximum advantage can be secured if any effects on the significance of a heritage asset arising from development liable to affect its setting are considered from the project’s inception.’ It goes on to note (Paragraph 39) that ‘good design may reduce or remove the harm, or provide enhancement’.

Heritage significance

Discussion of heritage significance within this assessment report makes reference to several key documents. With regard to Listed buildings and Conservation Areas it primarily discusses ‘architectural and historic interest’, which comprises the special interest for which they are designated.

The NPPF provides a definition of ‘significance’ for heritage policy (Annex 2). This states that heritage significance comprises ‘The value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic’. This also clarifies that for World Heritage Sites ‘the cultural value described within each site’s Statement of Outstanding Universal Value forms part of its significance’.

Regarding ‘levels’ of significance the NPPF (2021) provides a distinction between: designated heritage assets of the highest significance; designated heritage assets not of the highest significance; and non-designated heritage assets.

Historic England’s ‘Conservation Principles’ expresses ‘heritage significance’ as comprising a combination of one or more of: evidential value; historical value; aesthetic value; and communal value:

-
- Evidential value – the elements of a historic asset that can provide evidence about past human activity, including physical remains, historic fabric, documentary/pictorial records. This evidence can provide information on the origin of the asset, what it was used for, and how it changed over time.
 - Historical value (illustrative) – how a historic asset may illustrate its past life, including changing uses of the asset over time.
 - Historical value (associative) – how a historic asset may be associated with a notable family, person, event, or moment, including changing uses of the asset over time.
 - Aesthetic value – the way in which people draw sensory and intellectual stimulation from a historic asset. This may include its form, external appearance, and its setting, and may change over time.
 - Communal value – the meaning of a historic asset to the people who relate to it. This may be a collective experience, or a memory, and can be commemorative or symbolic to individuals or groups, such as memorable events, attitudes, and periods of history. This includes social values, which relates to the role of the historic asset as a place of social interactive, distinctiveness, coherence, economic, or spiritual / religious value.

Effects upon heritage assets

Heritage benefit

The NPPF clarifies that change in the setting of heritage assets may lead to heritage benefit. Paragraph 206 of the NPPF (2021) notes that ‘Local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage Sites, and within the setting of heritage assets, to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favourably’.

GPA3 notes that ‘good design may reduce or remove the harm, or provide enhancement’ (Paragraph 28). Historic England’s ‘Conservation Principles’ states that ‘Change to a significant place is inevitable, if only as a result of the passage of time, but can be neutral or beneficial in its effects on heritage values. It is only harmful if (and to the extent that) significance is reduced’ (Paragraph 84).

Specific heritage benefits may be presented through activities such as repair or restoration, as set out in Conservation Principles.

Heritage harm to designated heritage assets

The NPPF (2021) does not define what constitutes ‘substantial harm’. The High Court of Justice does provide a definition of this level of harm, as set out by Mr Justice Jay in *Bedford Borough Council v SoS for CLG and Nuon UK Ltd*. Paragraph 25 clarifies that, with regard to ‘substantial harm’: ‘Plainly in the context of physical harm, this would apply in the case of demolition or destruction, being a case of total loss. It would also apply to a case of serious damage to the structure of the building. In the context of non-physical or indirect harm, the yardstick was effectively the same. One was looking for an impact which would have such a serious impact on the significance of the asset that its significance was either vitiated altogether or very much reduced’.

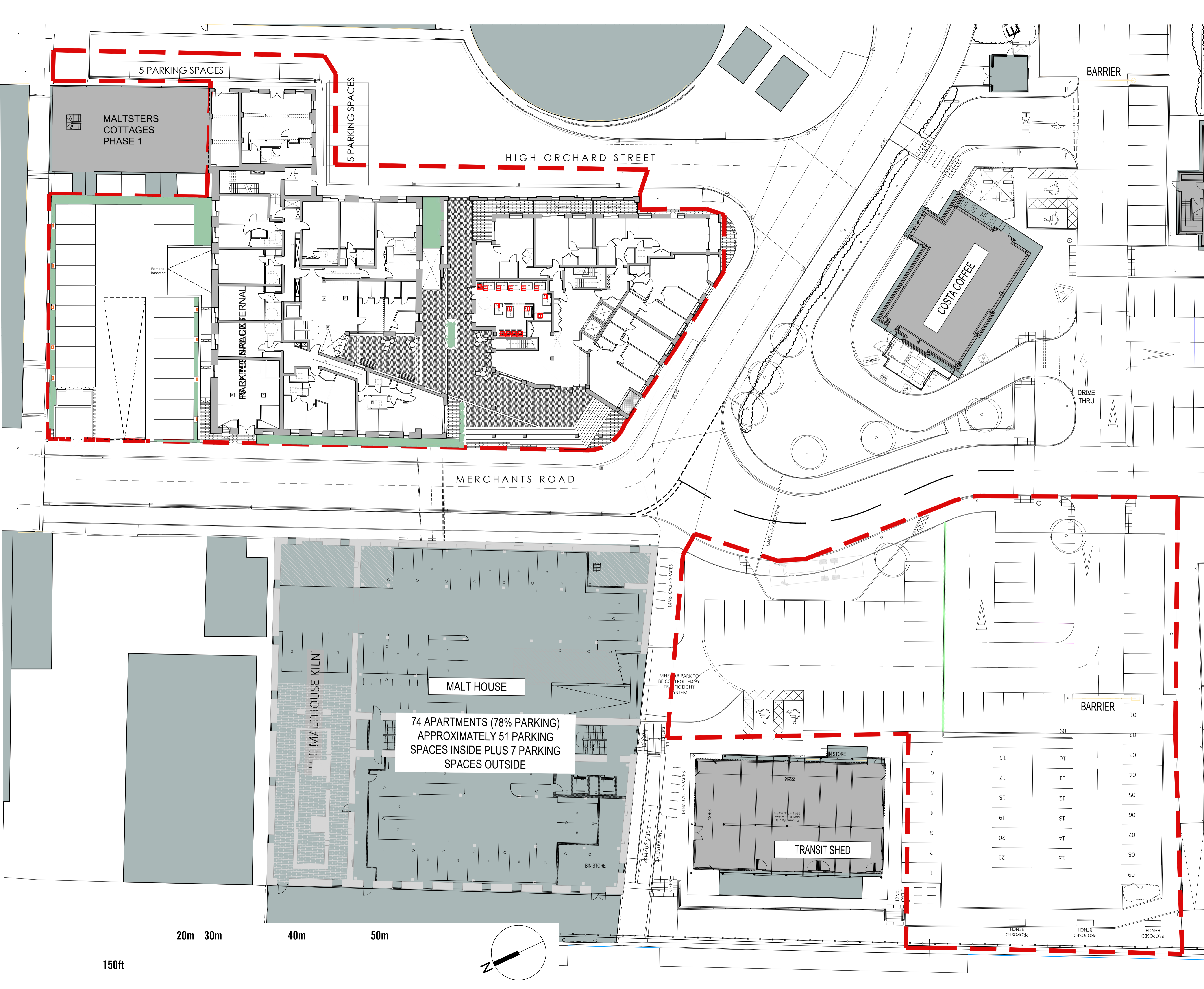
Effects upon non-designated heritage assets

The NPPF (2021) paragraph 203 guides that ‘The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that affect directly or indirectly non-designated heritage assets, a balanced judgment will be required having regard to the scale of any harm or loss and the significance of the heritage asset’.

APPENDIX 2: GAZETTEER OF SELECTED RECORDED HERITAGE ASSETS

	Location	Period	OS Ref.	Ref.
	Llanthony Secunda priory	Scheduled Monument	382402, 2179734	1002091 , 487, 115329
	Iron Framed Shed to south of Downings Malthouse (Transit Shed)	Grade II Listed Building	382555, 217912	1271709 42122
	Downings Malthouse	Grade II Listed Building	382638, 217943	1271707 15991 534836
	Downings Malthouse Extension	Grade II Listed Building	382584, 217943	127108 42121 534836
	Llanthony Provender Mill	Grade II Listed Building	382534, 217848	1271710 15914 927087
	Roman Road between Gloucester and Sea Mills	Roman	381200, 215000	7365
	High Orchard, east of Llanthony Priory, Gloucester.	Medieval	382714, 217959	27280
	Churchyard of St Lukes Church	Medieval	382766, 217938	50140
	The historic route of a stream known as the Sudbrook	Medieval	382632, 2178456	997
	The Gloucester and Sharpness Canal	Post-Medieval	366880, 202200	11157 1340634
	Baker's Quay	Post-Medieval	382567, 217914	51318 1394492
	Cobbled Road	Post-Medieval	382796, 218027	1959
	The Bristol and Gloucester Railway	Post-Medieval	371630, 193780	11269
	The South Wales Railway	Post-Medieval	372600, 216150	11185
	Gloucester Railway Carriage and Wagon Company	Post-Medieval	382647, 217683	20329
	Atlas Iron Works	Post-Medieval	382760, 217880	15580
	Numerous WWII Air Raid Shelters	Modern	383413, 217927	1541

APPENDIX 3: PROPOSED PLANS, ELEVATIONS AND VISUALISATIONS



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rev.	date	description
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project
Bakers Quays
Gloucester
Residential Development
-

client
Rockeby Merchant Developments Ltd

drawing
PROPOSED SITE PLAN
-
-

status
PRELIMINARY

ROBERTS LIMBRICK LTD
The Carriage Building, Bruton Way,
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Registered Office : England No. 06658029

scale 1:200 @ A1
date 12/04/22 **author** -

project	drg no.	rev.
9959	SK03	-



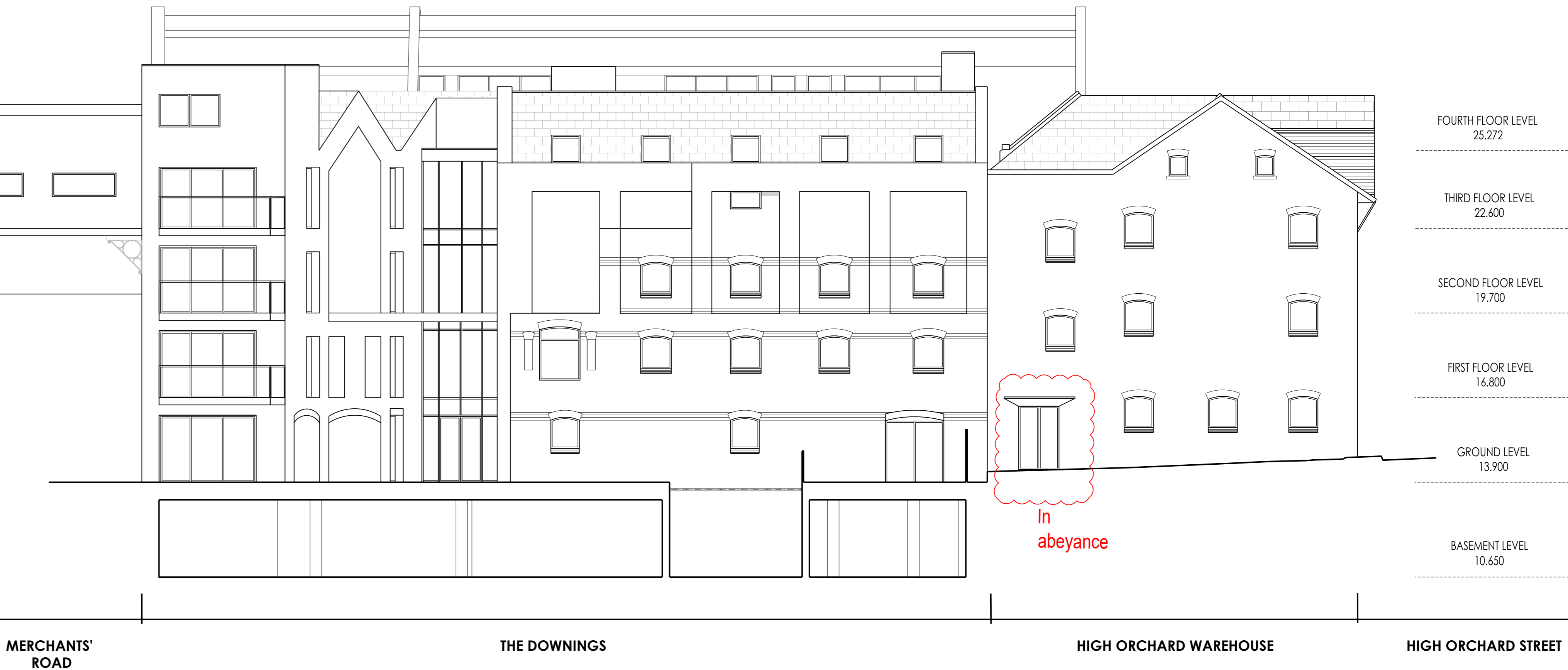
Proposed North-East Elevation



Proposed North-West Elevation



Proposed South-East Elevation



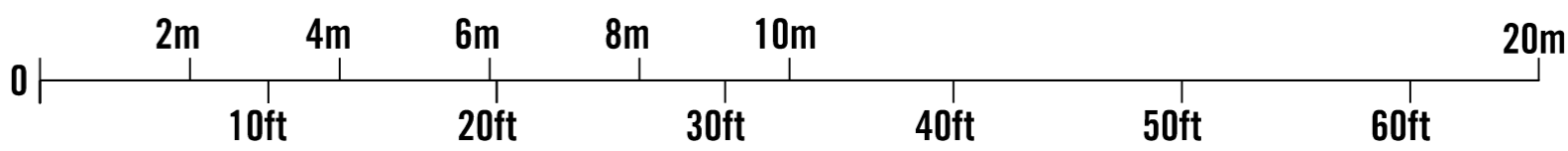
Proposed South-West Elevation



Proposed Internal South-East Elevation



Proposed Internal North-West Elevation





Elevation 03

Block N
Proposed Elevations 03 & 04

status
PRELIMINARY

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Scale: 1/100 @ A1
Author
28/01/22
Project
2023



Elevation 04

10ft

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Elevation 01



Elevation 02

project
Residential Development
The Downings
Bakers Quay
Gloucester
client
Rockeby Merchant Development Ltd
drawing

Block N
Proposed Elevations 01 & 02

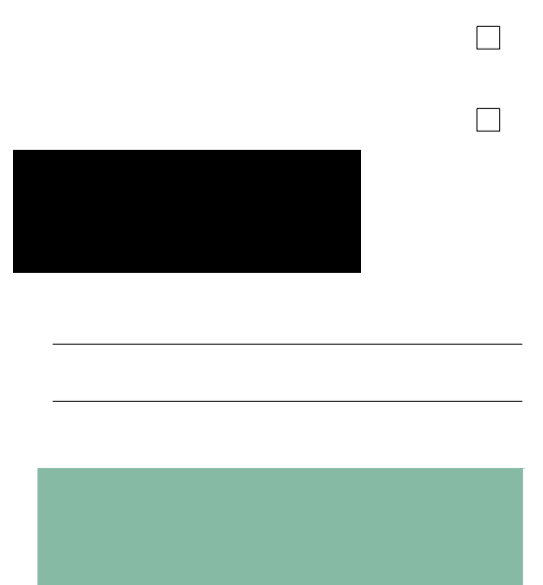
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scale
1:100
author
28/01/22
project
8053

10ft

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VIEW OF BLOCK N ENTRANCE



VIEW TOWARDS SOUTH-WEST ELEVATION - BLOCK N



VIEW 01



VIEW 02

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description



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project

Residential Development
The Downings
Bakers Quay
Gloucester

client

Rockeby Merchant Developments Ltd

drawing

PROPOSED
PHOTO MONTAGE

status

PLANNING

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scale

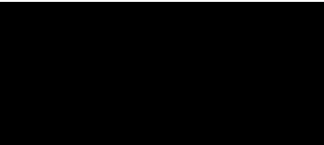
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project

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APPENDIX 4: LEVEL 4 HISTORIC BUILDING RECORDING ADDENDUM 2020

Downings Malthouse, Baker's Quay Gloucester

Historic Building Recording Addendum



Report prepared for:
Rokeby Merchant (Gloucester)
Ltd

CA Project: CR0344

CA Report: CR0344_2

May 2020



Downings Malthouse, Baker's Quay Gloucester

Historic Building Recording Addendum

CA Project: CR0344

CA Report: CR0344_2

prepared by	
date	
checked by	
date	
approved by	
signed	
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1. INTRODUCTION

- 1.1. In April 2020 Cotswold Archaeology ('CA') was instructed by Rokeby Marchant Ltd to produce an addendum report to their Level 4 Building Recording produced for the client in 2018 regarding Baker's Quay in Gloucester. The site, which is undergoing restoration and rebuilding, comprises of a number of 19th century industrial quayside buildings which include the Provender Mill, Engine House, a Transit Shed, and three malthouse buildings with associated ancillary structures. The Addendum has been produced following comments from the Gloucester City Council Conservation Officer (23 March 2020) regarding application 19/01309/CONDIT for the discharge of conditions 6 and 7 (consent Ref: 15/01152/LBC).
- 1.2. This Addendum provides additional information to the 2018 Level 4 Building Recording Project Final Report which was issued to the City Council archaeology and conservation officers in September 2018. The scope and methodology of that Final Report was itself based upon a Written Scheme of Investigation (WSI) prepared by Cotswold Archaeology in August 2016 and approved by the conservation officer on 2nd September 2016.
- 1.3. This Addendum report provides the additional information to address the conservation officer's comments of 23 March 2020, and to allow discharge of conditions 6 and 7.
- 1.4. Due to safety considerations relating to partial collapse, some demolition works have been undertaken in respect of the concrete Silo, Downings Maltings and High Orchard Street Kiln. but the opportunity was taken for additional recording to be undertaken from shoring platforms prior to the works, which enabled recording of notable features.

Key scope and objectives

- 1.5. The specific focus of this addendum document is to provide enhanced information relating to the part of the site known as Downings Maltings, that is to say, Group A of the 2018 Final Report, which comprises:
- A concrete silo on the site of the former Malthouse 1 (Malthouse constructed c.1875 and silo constructed c.1960)
 - High Orchard Street Silo comprising remnants of Malthouse 1 kiln

-
- Malthouse 2 (c.1896)
 - Malthouse 2 kiln (c.1896)
 - High Orchard Street Warehouse (c.1843-52)

1.6. These buildings are illustrated on Fig.1 and are located at NGR SO 82585 17889. Figs. 2 and 3 show a photogrammetric rendition of the buildings submitted as part of the 2018 report produced by CA. Drawn elevations of the buildings are shown in Appendix 1.

1.7. This report has been compiled as additional information, including imagery of the interior of the buildings, has been produced following the erection of safety scaffolding to allow structural survey by the development team. That information supplements the research and survey work of the buildings previously undertaken and reported for the 2018 Final Report, all of which informs this Addendum. At the time of the 2018 survey, the majority of the buildings were unsafe to access due to advanced dereliction from water ingress (although detailed measured survey of the exteriors was undertaken and produced in the 2018 report). This resulted in limited access for recording and thus limited assessment of the interior of these spaces. These necessary restrictions to recording had been agreed with the archaeology and conservation officers in the approved WSI, paragraph 3.17, which stated that the photographic record of the Malthouse would include *'Items 1-3, 5 and 7 as appropriate (interior excluded, archive material used as appropriate).'* The reason for this, as also set out in the WSI, was *'the highly dangerous condition due to decayed suspended floors and roof structure'* meaning that *'the shell will be too unsafe to enter'*.

1.8. As noted above, the additional information of the interior spaces provided in this Addendum now allows for additional assessment and analysis to be provided, to allow the discharge of conditions 6 and 7.

Professional standards

1.9. This historic building recording addendum was undertaken in accordance with key professional guidance, including:

- Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures (ClfA 2014a)
- Understanding Historic Buildings: A Guide to Good Recording Practice (Historic England 2016: to a 'Level 4' standard)

1.10. CA's 2018 Final Report presents a detailed recording of the site, largely at Level 4 standard of Historic England's guidance mentioned above. It is not proposed to reproduce that report here or to re-introduce the site or its historic development or context, but simply to present the findings of the additional assessment that has been possible following enhanced access to the buildings. The presentation of this information will follow the format of the 2018 report, and will detail for all five buildings, as far as is possible, their:

- Elevations
- The interior
- Working layout
- Schedule of structural & functional elements

1.11. Being largely modern structures with associated modern machinery, it is not proposed to provide a schedule for the Concrete Silo or the High Orchard Street Silo.

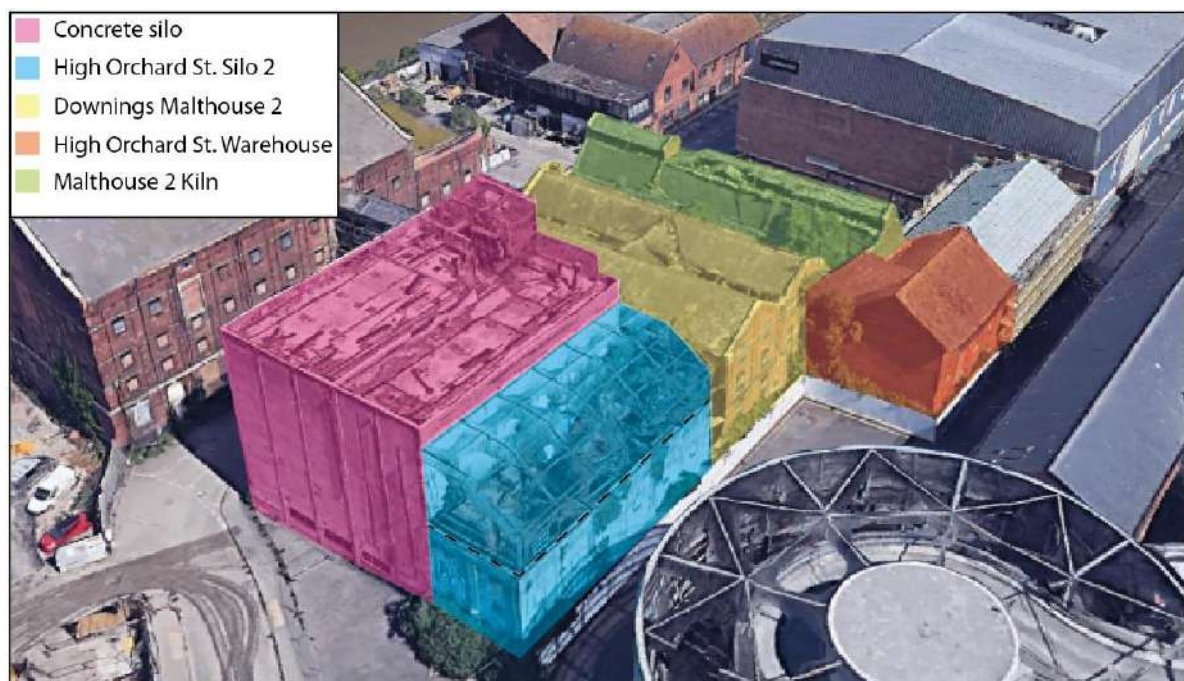


Fig.1 Aerial view of the buildings, highlighting each building under assessment *Image from Google Earth (Map data: Google). Image taken 2017, Accessed April 2019. Copyright 2020 Google'*



Fig.2 Photogrammetric rendition of the east elevation of the complex, with High Orchard Street Silo on the far left (reproduced from the 2018 Final Report, where it is provided at scale)

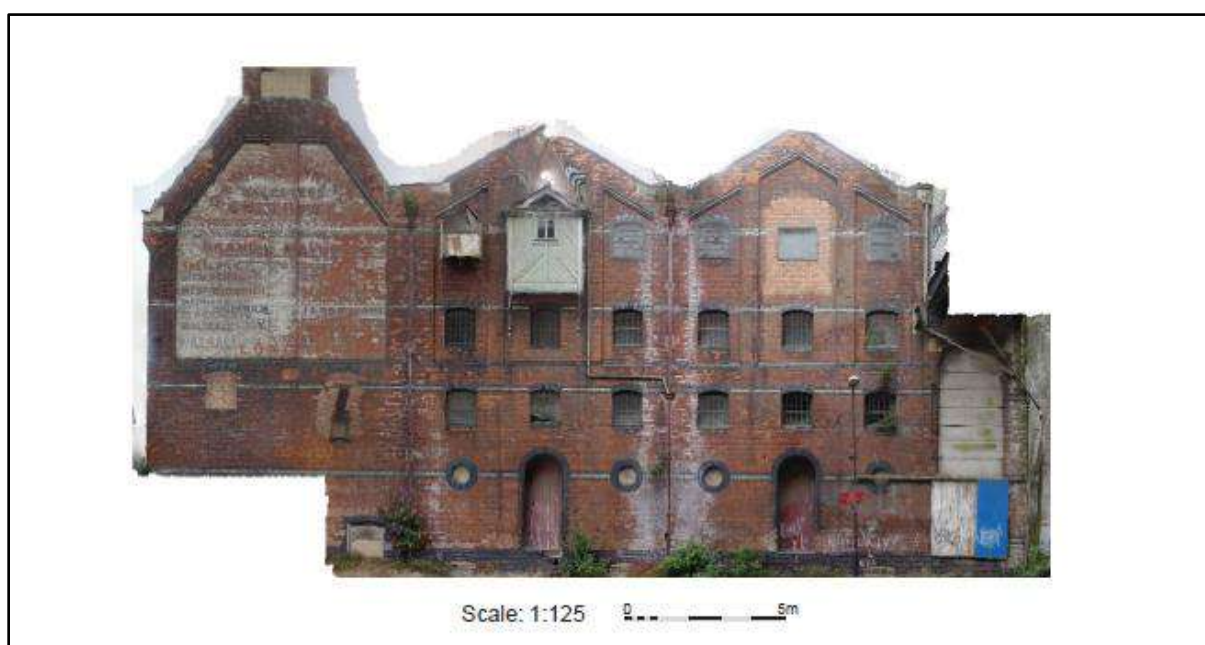


Fig.3 Photogrammetric rendition of the western elevation of Malthouse 2 and Kiln (far left; reproduced from the 2018 Final Report, where it is provided at scale)

2. CONCRETE SILO

- 2.1. The silo was built in 1960 and replaced the older 1876 maltings, only the gutted kiln range (Orchard Street silo) of which was retained. It was built as part of a modernisation of the site in the 1950's which saw production processes alter to improve efficiency and capacity.

Elevations

- 2.2. The silo is a concrete box which incorporates the northern and western walls of the 1876 maltings within its eastern wall. A row of windows with steel frames lights the ground floor on the south and west elevations. Between the hoppers are 20 concrete cruciform piers in four north/south rows of five that must rise to support the flat concrete roof. Another row was placed against the retained Victorian brick wall on the east. Figs.4 and 5 gives an overview of the exterior of the silo

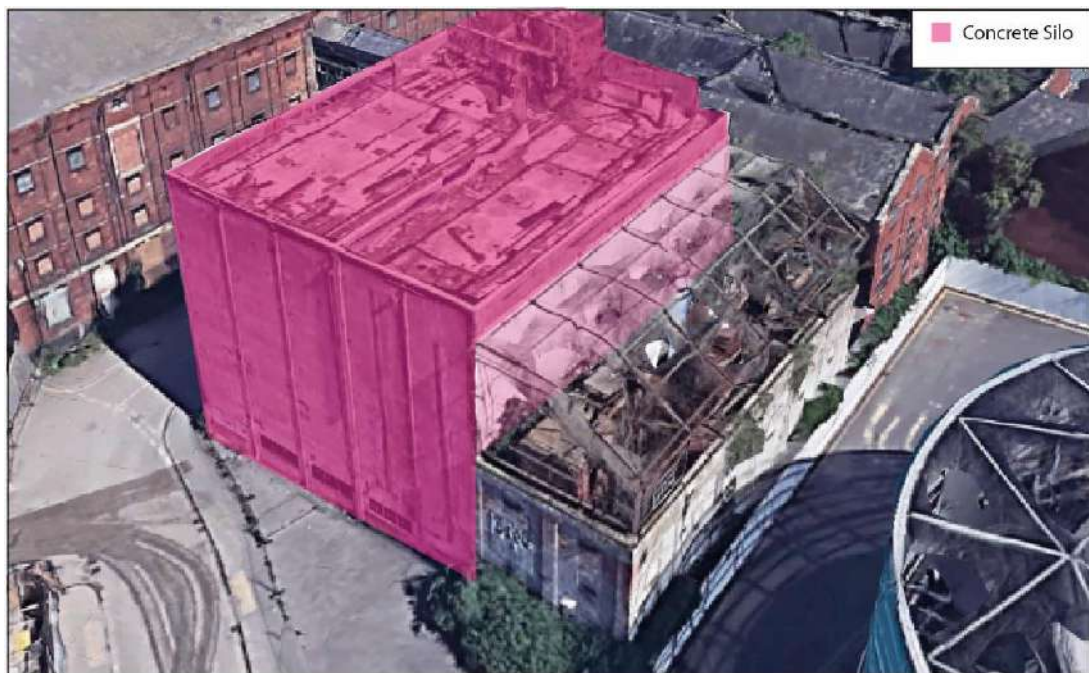


Fig.4 Aerial view of the silo



Fig.5 Exterior of silo showing elevations

- 2.3. On the north is a concrete shaft containing a steel stair and a grain elevator. This gives access to the roof of the silo and to doors that open into the space between the silo and the 1896 maltings. There is no access from this shaft to the interior of the upper parts of the silo. These were necessary as the roof had two large steel-framed sheds built off it, containing more grain handling machinery. Parts of these sheds were two storeys high. They had already been partly dismantled when seen.

Interior

- 2.4. The interior of the silo is a simple storage box containing thirty hoppers with the associated concrete and metal structural skeleton. These hoppers are tightly packed in the interior of the silo and only the lowest part of the silo interior is accessible or visible, where the hopper bases narrow to the funnel that connects each to the grain augers that transport the grain where need. The hoppers presumably reach to the concrete roof of the silo but there is no access to these upper areas. The interior of the silo is illustrated in Fig.6 -8.

Working layout

- 2.5. The silo is essentially a functional purpose grain distribution and storage building. The large storage hoppers and augers as seen on Fig.6 undertake the function of storing and moving the malted grain ready for ongoing distribution by railway vans or by road. Following kilning, the malt needed to be stored prior to it being used within the brewing process. Unlike barley storage, malt was usually stored adjacent to the

maltings, and in the 20th century, concrete malt silos gain in popularity (Patrick 2004).

- 2.6. The huge malting capacity of Maltings 2, 3 and 4 (2 being Downings Malthouse and 3 and 4 being the Malthouse Extension, not the subject of this report) made a large efficient silo necessary, especially with the mechanisation of processes in the first half of the 20th century which would have increased production levels. Conway-Jones and Higgs (2008) detail how a programme of modernisation and the conversion of the ground floors in Maltings 3 and 4 from storage to working (germinating) floors in the 1950's led to the construction of the silo. By the 1960's the site was producing over 13,000 tonnes of malt per year.



Fig.6 Interior of the silo



Fig.7 Interior of the silo



Fig.8 Roof of the silo

3. HIGH ORCHARD STREET SILO

- 3.1. This building, which sits adjacent to the concrete silo as seen in Fig. 9, comprises the shell of the original 1876 kiln block and is now occupied by the most recent phase of the grain handling machinery. The original maltings, as seen in historic images of the site, was built for George and William Downing and designed by Capel N Tripp and built by Joseph Meredith (Conway-Jones & Higgs 2008). It had a distinctive set of circular cowl chimneys as seen in Fig.10. This building under assessment is basically the ground and first floor shell of that kiln, altered, according to Conway-Jones and Higgs, to house a barley dryer, though it is not clear whether the current machinery seen within the building undertook that task or whether this was a later insertion.

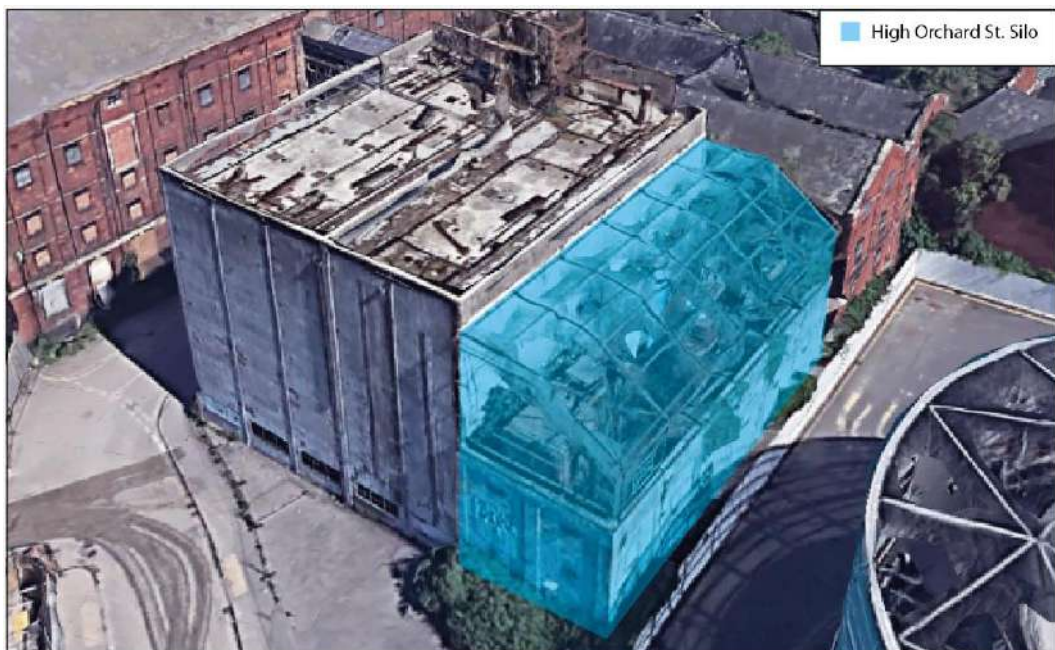


Fig.9 High Orchard Street Silo



Fig.10 Historic image of the maltings complex, with Maltings 1 circled

Elevations

- 3.2. The building has painted masonry elevations, with the roof and internal floors removed. All the windows have been bricked up. The elevation features recessed brick panels with brick arched windows between regular masonry piers. A number of doorways have been formed through the original wall to reflect the external ground floor level though there are steps down to the original kiln floor.
- 3.3. Structurally the building is supported by a concrete ring beam at eaves level supporting a steel framed roof structure which also takes support from the adjacent silo.
- 3.4. Figs.11 to 13 give a photographic overview of the exterior.



Fig.11 Collage of eastern elevation (High Orchard St)



Fig.12 (left) High Orchard Street silo southern elevation

Fig.13 (right) High Orchard Street silo eastern elevation

Interior

- 3.5. The internal space is basically a rectangular shell formed of painted masonry walls. As described above the roof and floors have been removed and replaced with a concrete ring beam at eaves level height supporting a steel framed roof structure.
- 3.6. The internal space is largely filled with steel silos and associated machinery; it is possible the modern steel silo is the barley dryer mentioned in Conway-Jones & Higgs (2008) as being part of the modernisation of the site in the 1960's. Images of air venting structures may support this theory. Figs.14 to 17 give a visual overview of the interior of the space.



Fig.14 Interior of HOS silo



Fig.15 Roof of HOS silo



Fig.16 Interior of HOS Silo



Fig. 17 Interior of HOS Silo looking up

Working layout

- 3.7. As described above, in the mid-20th century a major programme of modifications was carried out which included the alteration of this building. Conway-Jones and Higgs are quite specific that it was 'altered to house a barley dryer'. The fact that the building shell was retained, and it was a separate and distinct building to the adjacent concrete silo, makes functional sense in that the silo was for storing malt (the end product of malting) and the former east kiln was for drying barley (the raw product).
- 3.8. Barley kilns were built from the late 19th century onwards, and were necessary to gently dry out the barley to about 12% moisture so that it could be stored safely prior to malting. Clearly mechanisation resulted in the advent of barley dryers to take the place of specially constructed kilns. It is very possible the extant steel silo and associated machinery within the building is associated with barley drying. Barley would have been loaded into the drying silo via augers, gently dried and then released into storage vessels ready for malting.
- 3.9. Thus, this building was heavily altered to house a modern process. Only the brick walls of the original kiln building survive with modern openings and it is essentially a shell; making use of the structure to convert it to support modernisation.

4. DOWNINGS MALTHOUSE (MALTHOUSE 2)

- 4.1. This section of the report examines Downings Malthouse, that is the building that was constructed in 1896 as an extension to the original 1876 building and known as Malthouse 2. This excludes the northern kiln building which is the subject of a separate section as illustrated on Fig. 18. Malthouse 2 was designed by Walter B Wood and built by the Gurney Brothers.
- 4.2. The building is in an extremely unsafe state, and as described above, it was not possible to access except for a partial view into the 3rd floor during the site visit in 2018. Upon the erection of safety viewing equipment, further inspection of the interior has been achieved and photographs have been taken of all floors. Close inspection of finer architectural details was not possible due to access being restricted to the viewing platform.

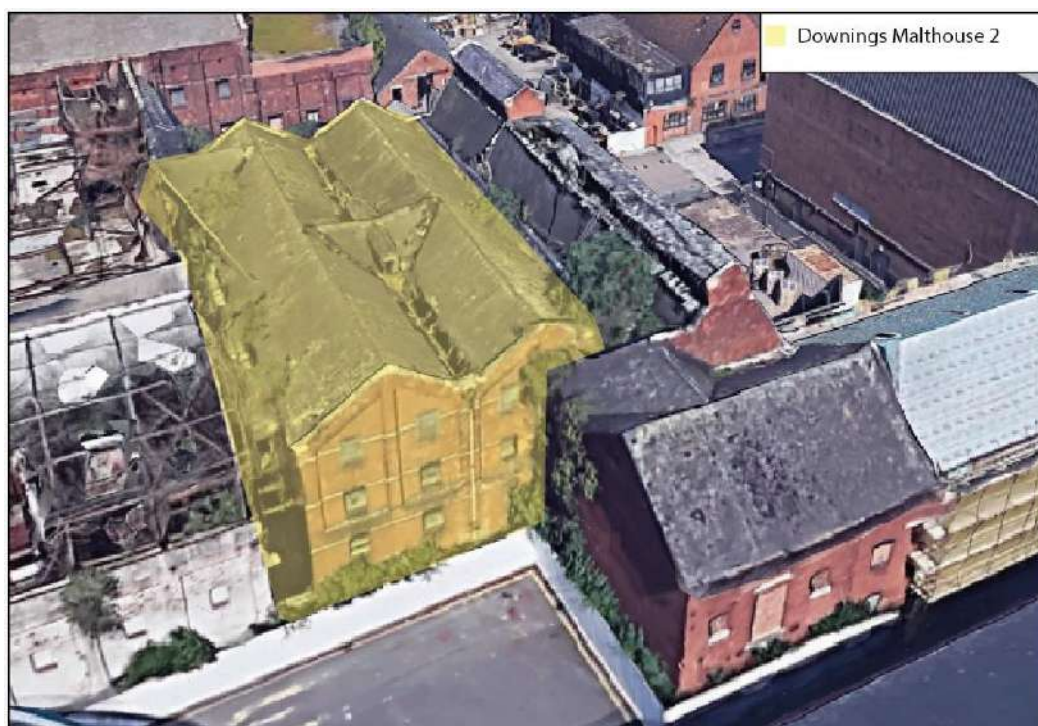


Fig.18 Aerial image illustrating Downings Malthouse (image courtesy of Google Earth)

Elevations

- 4.3. The east elevation facing High Orchard Street, illustrated on Fig. 19, is formed of 3 bays and 4 storeys built in brick with recessed panels with each bay separated by a plain brick applied pier. There is a decorative platband of three courses of alternating blue and buff bricks above windows and blue segmental arches above the metal grilled windows. The roof is a double pitch form with gable ends, though

on this elevation the drop of the northern roof slope and the northern portion of this elevation is obscured by an infill staircase extension and gable roof extending from the High Orchard Warehouse. It is understood this was a link block built at a later date to provide a stairwell, which explains the awkward juncturing with the malthouse and the displacement of the hoist structure as seen above the stairwell in Fig.19.. It is known that the High Orchard Street warehouse is an earlier building, therefore this response looks to be a pragmatic approach to knitting the earlier warehouse and later malting together.



Fig.19 Downings Malthouse eastern elevation with displaced hoist circled

- 4.4. The south elevation sits very close to the northern wall of the concrete silo which creates a thin alley or lightwell between the two buildings. It is understood that the same arrangement was in situ when the previous Malthouse 1 was in the place of the concrete silo. The elevation is formed of the same pattern of recessed brick panels with brick piers and regularly spaced brick segmental arch windows. Figs.20-22 give an overview.
- 4.5. To the west of the lightwell there are the remains of a steel and timber floor which spans between the brick wall and the silo (Fig.20). One west side of the lightwell and substantial timber and metal bridge connects over to Maltings 3, supported on the

Downings side by an arched brick lintel with brick dressings; this is covered in detail in CA's 2018 report. There are also remnants of ducting and other functional equipment to help with the passage of grain between the two buildings. The building was constructed to be slightly lower than ground level and so at the east there is a flight of stairs which access High Orchard Street.



Fig.20 View upward in between Malthouse and concrete silo showing remnants of bridge



Fig.21 View also upward showing remnants of bridge



Fig.22 Detail of remains of bridge in lightwell

- 4.6. The west elevation addresses Malthouse 3 and 4 and Bakers Quay. It is a 6 bay, 4 storey, 2 gabled brick façade with a decorative platband of three courses of alternating blue and buff bricks above windows and blue segmental arches above the metal gridded windows. The façade has recessed brick panels to the upper two floors of each gable with vertical brick piers separating each bay. The lower ground floor has two arched double high doorways to each the centre of gabled section, with circular windows to each side, all dressed with blue brick. A protruding timber goods hoist remains on the central gable at 3rd floor level and what appears to be a water tank sits to the north of it.
- 4.7. The gable ends feature brick parapets with stone copings. The roof profile is of a double pitch roof of slate with bitumen over. Two central gutter lines traverse between the roofs running east-west. A central connecting feature between the two trusses is also seen in aerial imagery.



Fig.23 View of western elevation of Downings malthouse



Fig.24 Detail of Downings Malthouse, western elevation



Fig.25 detail of timber hoist structure, western elevation



Fig.26 Detail of roofscape, Downings Malthouse

Interior

- 4.8. The basic structure of the interior of the malthouse is of four storeys with large open plan rooms across both piles, extending laterally across the width. The floors are supported on rows of slender cast-iron columns running 8 deep and 5 wider. At the top floor each support the inner end of a simple king post truss supporting three purlins.
- 4.9. Floor plans provided by the structural engineer are included in Appendix 2.
- 4.10. The lower ground floor is accessed via the southern lightwell alley between the Malthouse and the concrete silo. The walls are exposed painted brick and cast-iron columns (8 long and 5 wide) support pairs of timber beams which support timber floor joists and boards above. The columns feature four volutes as seen throughout the building and indeed in Maltings 3 and 4.
- 4.11. As can be seen in Figures 27 to 29, the lower ground floor could not be inspected beyond views into the space due to fallen material making detailed inspection impossible. It is understood that the steeping tank was located on this floor, and it may be that the brick wall shown in Fig.27 could be part of that structure, though no evidence of any metal container is seen.



Fig.27 View of the lower ground floor, Malthouse 2



Fig.28 View of the lower ground floor, Malthouse 2



Fig.29 View of the lower ground floor, Malthouse 2

- 4.12. The ground, first and second floor is again an open plan space, with the same arrangement of spaced columns supporting pairs of timber beams which in turn support joists and boards. The timber beams feature iron strapping above the

column volute, the floor is timber with a concrete screed topping. There is a partial corridor along northern and southern wall, with access to a stairwell in the south-eastern corner (see plans in Appendix 2).

- 4.13. No remains of machinery or historic features beyond the cast-iron columns were noted from the photographs. It is understood the ground floor was a malt room (for storing and bagging malt), and the first and second floors were working (germinating) floors, having easy access to the kiln to the north side. The building overall has a combination of multi-pane metal windows with hinged ventilation sections, and more simple 1/1 timber windows with top opening horizontal timber shutters (as seen in Fig.33).
- 4.14. Figs. 30 to 35 give an overview of the ground, first and second floors.



Fig.30 View of ground floor Malthouse 2



Fig.31 View of ground floor, Malthouse 2



Fig.32 View of first floor, Malthouse 2



Fig.33 View of second floor. Malthouse 2



Fig.34 View of second floor, Malthouse 2



Fig.35 View of second floor, Malthouse 2

- 4.15. The third, or attic floor is essentially the space under the roof truss. The space was covered by two sections of gabled roof, the valley supported by a single row of eight slender cast-iron columns. Each supported the inner end of a simple king-post truss supporting three purlins on each slope partly trenched into the back of the principals and further located by a wooden cleat.
- 4.16. The columns have lateral scrolls under a flat impost plate with upturned lateral edges. This held a large block of wood on which the tie beam of the truss sits. The block extends a considerable distance beyond the ends of the impost plate and is held to the tie beam by strapping bolted into the wood. The base of the column sat direct on the floor beam below, which it is assumed sat on the column below in the same fashion. Of note here is that the columns only has two volutes rather than the four seen on floors below; this is because they only support the tie beams of the roof trusses.
- 4.17. The tie beams are linked with large scantling joists lodged in heavy cast-iron joist hangers. Many of the beams have been sawn out or removed. There were no

pockets or brackets in the west wall to support these joists, although there was a brick corbel that did not line up with the existing joist positions.

- 4.18. Two of these joists at the west end supported a timber cradle for the power hoist for the wooden cantilevered loading loft and they were supported at the west end by timber posts set against the wall. An electric motor seemed to be the power source for the hoist.
- 4.19. This was used as a storage floor originally as there was no access to the kiln range on the north and in any case this floor was too high to access the drying floors over the kiln block on the north. However, a grain auger and an elevator was noted in the north side of the room leading into the kiln range, both probably of mid-20th-century date.
- 4.20. There was also much circular-section ducting in the east end of the room which was not approachable. This was associated with “modern” studwork and again was probably of mid-20th century date.
- 4.21. Figs.36-38 provide an overview of the third floor.



Fig.36 View of the third floor of Malthouse 2



Fig.37 View of third floor, Malthouse 2



Fig.38 View of roof truss, third floor Malthouse 2

Working layout

- 4.22. Conway-Jones and Higgs (2008) provide a helpful summary of the working layout of Malthouse 2. The lower ground floor, with its associated steeping container (not extant), was where the barley grain was steeped prior to germination. Once steeping had occurred then the barley was moved (certainly in the 20th century by auger and elevator but earlier by hand and hoisting equipment) to the growing floors, where the barley would be laid out in 'pieces' to germinate. In Malthouse 2 the growing floors were the first and second floors, with access to the northern malt kiln.
- 4.23. The ground floor was utilised for the bagging and storage of malt (the final product). The attic was another storage floor, having no access to the kiln. The modern remnants of external hoist, augers, ducting and elevator give evidence of the process by which grain was moved up to and out of the floor.
- 4.24. It is clear that the Malthouse was interconnected to both Malthouse 1 (and after its demolition to the silo) via bridging floors at the upper storage level over the lightwell and to Malthouse 3 via an interconnecting bridge (covered in detail in CA's 2018 report).
- 4.25. It is clear that very little of the original tools or machinery of the malt workings exist within these large empty spaces. Clearly structural elements as detailed in the below table are extant, and give an overview of the skeleton of the building, which is very similar in design and scale to those seen in Maltings 3 and 4. However, as noted by the Amber Patrick in her letter on behalf of the Ancient Monuments Society (2015) regarding the planning application; '*in fact there are relatively few internal features surviving and none now of major importance*'. She goes on to state that the main features are the typical columns supporting the upper floors.

Schedule of structural and functional elements

Ref. No.	Description	Significance
1	Cast iron columns with lateral scrolls under a flat impost plate with upturned lateral edges are located within the top floor of the building. This held a large block of wood on which the tie beam of the trusses joins.	Basic structure of building, functional evidential value.
2	Tiebeams which link with large scantling joists lodged in heavy cast-iron joist hangers on the top floor.	Basic structure of building, functional evidential value.
3	Grain auger, and an elevator of likely 20th century date.	Indicates continued use of the Malthouse and provide illustrative value of the function of the Malthouse and of the 20th century machinery used.
4	Concrete screed floors to working and storage floors	Screed was important as a waterproof layer between the germinating grain and the timber superstructure underneath.
5	Timber cradle for the power hoist associated with the cantilevered wooded loading loft on the west elevation	Illustrates how the grain was moved from ground to upper floors and vice versa. The electric motor illustrates how the machinery was adapted to new technology

- 4.26. The Repair and Restoration Statement should be referred to for information on the future uses proposed for these individual elements.

5. MALTHOUSE 2 KILN

- 5.1. This structure, though separate in function and construction, forms part of the main Malthouse 2 building in external appearance, as seen in Fig. 39. It is formed of a smaller western kiln, which was a barley drying kiln, and a longer eastern malt kiln (Conway-Jones and Higgs 2008). Access to the kiln is only possible in the basement area, therefore inspection of the upper floors was only possible upward from the inside of the kiln at basement level.

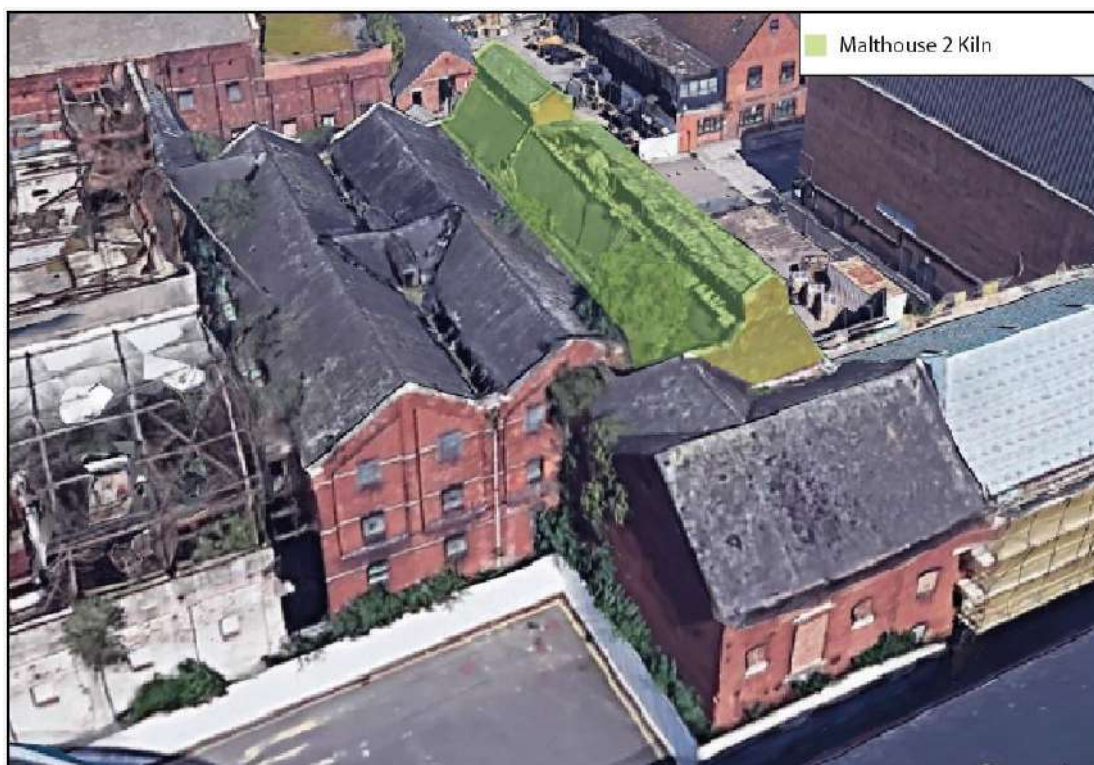


Fig.39 Malthouse 2 kiln (Image courtesy of Google Earth)

Elevations

- 5.2. The west elevation of the kiln building is formed in essence of a blank brick gable end as seen in Fig.40. A recessed panel covers the upper parts of the elevation, bearing a ghost sign no doubt announcing Downings Maltings. The recessed panel is bordered at its top gable edges with blue brick dressings. Two blanked in windows are seen at first floor level, below one the remains of part of a grain auger protrudes. Two shallow doorways with segmental blue brick arches are seen at ground level, giving access to the passage ways surrounding the furnaces.
- 5.3. As the single pitch roof has a distinctive upstanding square louvred ridge which forms the chimney and ventilation for the kiln.



Fig.40 Malting 2 Kiln, western elevation

- 5.4. The north elevation is again blank, though first floor windows have again been bricked up. The elevation features regularly spaced brick panels at second and third floor heights, between brick piers, with a one course brick cornice under the eaves. There appears to have been a small building abutting this building and extending at right angles into the northern yard as the remnant teeth of brick knitting-in is seen on the eastern end of the elevation.
- 5.5. The east and west elevations of the building internally abut the High Orchard Street Warehouse and the Malthouse.



Fig.41 Maltings 2 Kiln, northern elevation



Fig. 42 **Detail of Maltings 2 kiln, northern elevation**

Interior

- 5.6. The interior of the kilns (smaller to the west and larger to the east) are seen in plan form and section in the plans contained in Appendix 2. At the time of structural inspection, they remained largely as originally designed. It is understood that the western kiln (barley drying) only had one drying floor, whereas the longer eastern section (malting) had two drying floors.
- 5.7. The basement area features a perimeter walkway which circumnavigates the kiln furnaces. This is essentially a semi-arched or vaulted brick corridor structure as seen in Figs.43 with furnace stoking hatches. The plans in Appendix 2 illustrate the corridor and the section shows the vaulting. The kiln walls which form the inner walls of the corridor in turn, via pairs of steel columns resting on them, support a first floor formed of steel latticework which originally featured perforated clay tiles, some of which are still extant in the north-west corner. Interestingly the lateral stabilising wall between the eastern and western kilns does not extend to the basement, and is instead supported by a brick pier and steel beams. This allows full circumnavigation of the kilns at basement (furnace) level. Remnants of grain hoppers are seen within the corridor spaces.

-
- 5.8. The interior space of the kiln furnace area shows the reverse profile of the brick arched corridor (Fig.45). The interior of the furnaces themselves were not seen.



Fig. 43 Details of kiln furnace corridors with arch vaulting



Fig.44 Detail of kiln drying floor, steel grid upon which perforated tiles were placed



Fig.45 Detail of interior of east kiln showing profile of vaulted corridor running around the external walls, steel structure above and remains of furnace in the rectangular brick structure

- 5.9. In the eastern kiln area, there is a second drying floor; this would be logical given this was the kiln for malting and would therefore require a larger capacity. The second floor was viewed through holes created in the original window openings therefore visibility was limited.
- 5.10. The floor was supported by steel beams at 2.4m centres running north-south spanning the full width of the building. The steel beams support a grill of steel bars which support a light weight steel open mesh floor. The roof structure is of trusses, purlins and rafters supported on the external walls, and featuring the long ridge cowl chimney.

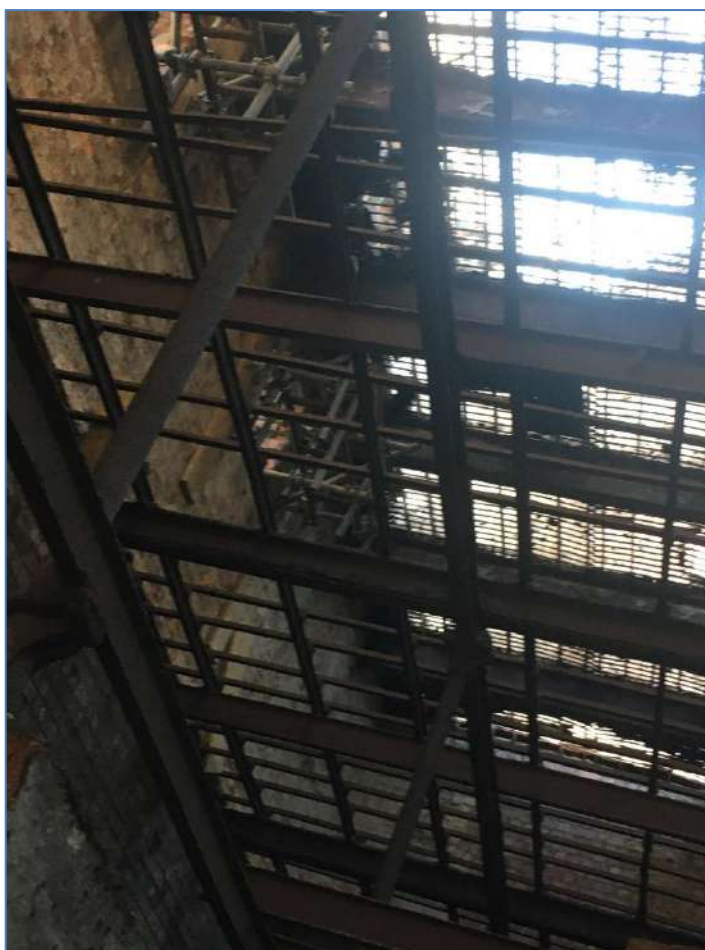


Fig.46 Grid floor detail in east kiln, image taken looking upwards



Fig.47 Detail of furnace opening viewed from the inside of the now lost furnace structure. The furnace would have been stoked from the exterior corridor

Working layout

- 5.11. The layout and structure of the kilns are typical of the period of construction, and very specific types of purpose-built industrial buildings. The basement level being the level of the furnaces and the upper floors being used for the drying and kilning of the germinated barley. The smaller western kiln would have been fired at a much lower temperature than the eastern kiln; this was to dry out the harvested barley for storage prior to processing for malt. In the 1950's this process was moved to the High Orchard Street silo containing the barley drying silo. The energy for the fires was coal or anthracite, and of course the smoke funnelled up to and exited via the long ridge vent cowl.
- 5.12. The plans are clear in showing openings from Malthouse 2 into the kiln at first and second floor levels, this was to facilitate the movement of grain from the germinating floors into the kiln and out again. The grain the kiln needed turning, and whilst earlier this would have been done by hand, by the 1950's this was done by a paddle

machine, with a set of rotating paddles. There is no evidence of this machine remaining within the kiln. The grain was usually dried in the upper level of the malt kiln for one day prior to being moved to the hotter first floor for one day, and then removed once the fires had been damped out (Conway-Jones & Higgs 2008).

- 5.13. It is likely that the kilns drying floors were both lined with perforated clay tiles laid on steel grills, but by the time of inspection the floors in the eastern kiln were formed of wedge wire mesh which has become increasingly common in the last quarter of the 19th century (Patrick 2005).

Schedule of functional and structural elements

Ref. No.	Description	Significance
1	Semi-arch brick vaulting to basement of kilns forming the perimeter corridor from which the furnace was fired up and stoked. Including supporting kiln furnace walls.	Basic structure of building, functional evidential and illustrative value.
2	First and second floor structural steel members supporting drying floors	Basic structure of building, functional evidential and illustrative value.
3	Steel latticework to both kilns which supported the perforated clay tiles which allowed the hot air to pass through the grain laid on the surface	Indicates continued use of the Malthouse and provide illustrative value of the functioning of the kiln within the Malthouse
4	Remains of perforated clay tiles which rest on the steel lattice work of the drying floors	Original flooring to kiln drying floors, therefore having illustrative and evidential significance
5	Metal open mesh floor in eastern kiln	The metal mesh floor replaced the early clay tile floor, illustrating how the Malthouse was adapted as new equipment became available.
6	Long ridge vent cowl (chimney)	Though in very poor condition, the cowl is relatively unusual and distinctive in design and has architectural and evidential value.

- 5.14. The Repair and Restoration Statement should be referred to for information on the future uses proposed for these individual elements.

6. HIGH ORCHARD STREET WAREHOUSE

- 6.1. The warehouse on High Orchard Street was built between 1843-1852 and is the original building on the site. Malthouse 2 and its associated kiln were both built up against this building. Conway-Jones & Higgs detail that it was a warehouse for cleaning and repairing sacks, though it is very likely that at some point it stored grain, being located adjacent to the Malthouse. It is a three-storey structure constructed in two phases, with a northern section being a possible newer element formed to square off when the malthouse was built.



Fig.48 High Orchard Street Warehouse

External elevations

- 6.2. The principle east facing elevation addresses High Orchard Street. The original building was a symmetrical 2 bay three storey building with a central recessed section that appears to have been infilled and may have been doorways for hoisting grain or sacks into the building at some point. The northern extension means that the building is now asymmetrical; at three bays.
- 6.3. The windows are blocked in from the inside, and feature vertical iron bars, but are small with shallow segmental arches and stone cills. The extension has blue brick dressings which further suggests that it was constructed at the same time as

Malthouse 2. The doorway is blocked and had a stone or concrete lintel that looks to have been altered when the above doorways were blocked in. Two recessed panels above look to be blocked-in large doorways where grain or sacks may have been hoisted to the appropriate level in the building.

- 6.4. The roof is single pitched in slate with wide eaves to both gable ends and frontage. Considerable tying-in has been observed with plates visible either side of the door, and strapping over the window lintels, straddling a large vertical crack.
- 6.5. The southern elevation is essentially the large blank gable wall of the building, knitted into the stairwell of Malthouse 2 at the western extent, the staircase roof projecting as a gable from the rear slope of the warehouse. It features two high level windows, currently blocked, and is other devoid of feature or decoration.



Fig.49 Eastern elevation of HOS warehouse



Fig. 50 Eastern elevation of northern extension to HOS warehouse



Fig.51 Southern elevation of HOS Warehouse

Interior

- 6.6. As seen on the plans in Appendix 2, the building has two rooms to each floor, the first spans the main original building, with a second room to the north being part of the newer northern extension. The ground floor consists of these two rooms, with a large opening between them, both have plain brick walls concrete floors with

exposed timber beams and joists above. There are modern support columns in the larger southern room, but none in the northern room. Figs. 52 – 55 give an overview.

- 6.7. The room contains remnants of modern auger and grain handling machinery, one acting as a chute between ground and first floor, and some wire trolleys were dotted about, presumably for sacks. An arched doorway to the Malthouse stairwell is seen in the south-western corner of the main room. Some form of chute from one floor to the other is also seen in the western section of the main room.



Fig.52 Ground floor HOS Warehouse



Fig.53 Ground floor HOS Warehouse



Fig. 54 Detail of ground floor ceiling, HOS warehouse



Fig. 55 Ground floor, HOS Warehouse

- 6.8. The first floor consists of two rooms as per the ground floor, with timber floors, and exposed timber beams and joists above. The larger room is propped on steel columns which do not appear to be original but may well relate to the building of the malthouse. Both rooms appear to have some sort of low level hatch through to the malthouse at their western wall end, and the bricked in window is seen in the eastern wall in the northern room. A large opening to the floor above is located in the middle of the west wall, presumably for hoisting goods up to the upper levels. No staircases are provided in the building, only in the now collapsed stairwell in the Malthouse, which is accessed through a doorway in the south-western corner.



Fig. 56 First floor, HOS Warehouse



Fig.57 First floor, HOS Warehouse



Fig.58 First floor HOS Warehouse



Fig.59 Detail of hatch, HOS Warehouse

-
- 6.9. The second floor is very similar in layout to the first floor. The timber beams in the southern room are smaller than the floor below and may have been added at a later date as there is evidence of scarfing and jointing to the areas above the timber posts. There is a large opening to the floor below in the middle of the west wall. The low-level hatches on the western wall are evident, these appear to access the malthouse.



Fig.60 Second floor, HOS Warehouse



Fig. 61 Northern room, looking west, HOS Warehouse



Fig.62 Detail of timber supports, second floor



Fig.63 Second floor, HOS Warehouse



Fig.64 View into malthouse stairwell, HOS Warehouse

- 6.10. The third floor is essentially a sloping attic space to each side. In the south room two trusses span west to east supporting purlins running perpendicular at midspan of each roof pitch. The rafters span from a timber wall plate in the wall up to a ridge

board. A perpendicular interconnecting ridge line runs from the main roof east over the main staircase of the malthouse, this is the gable roof referred to earlier.

- 6.11. In the northern room the purlins span north to south between brick walls and rafters span from a timber wall plate in the wall up to a ridge board. A circular window is seen in the images for this level, it is assumed this is located in the apex of the northern gable, addressing the roofscape of the cottages.



Fig.65 Interior of roof, HOS Warehouse



Fig.66 Detail of roof truss, HOS Warehouse



Fig.67 Interior of roof, northern section



Fig.68 Detail of window, northern gable apex

Working layout

- 6.12. Literature on Downings Malthouse indicates that this warehouse was in use as a sack repair and storage repository. However, it is likely that it also at times has housed grain storage, grains stores being necessary spaces within larger maltings complexes. The layout of the building would suggest this also, with the wide opening between floors to ensure the efficient hoisting of goods up to the upper floors, and the possible high-level doors, which would also function similarly. The building itself is essentially plain in detail and, besides from the modern ducting/auger seen on the ground door, has no industrial machinery present.
- 6.13. It is likely that the building was altered when the malthouse was constructed in 1895, with the addition of the northern section (northern rooms internally) and the 'knock-through' through to the stairwell of Malthouse 2. The hatches on the western wall are something of an anomaly, but they appear to connect through to the malthouse, which would suggest they had some role in the movement of grain.
- 6.14. It is not clear when the central sections of the principle façade were blocked-in, this may have occurred when the building was converted to ancillary space attached to the Malthouse, or later in the 20th century; the bricks are certainly paler which suggests a different date to the malthouse.

Schedule of functional and structural elements

Ref. No.	Description	Significance
1	Brick masonry walls	Basic structure of building, functional evidential and illustrative value.
2	Original timber beams and joists of each floor, with some newer steel columns	Basic structure of building, functional evidential and illustrative value.
3	Blocked-in possible loading doors above main door	Indicates early and continued use of the warehouse and its alteration to suit functions and processes
4	Northern extension added to original warehouse	Original flooring to kiln drying floors, therefore having illustrative and evidential significance
5	Windows with stone cills and metal bars, those in the northern extension with blue dressings	Basic structure and design of building, having architectural and evidential value

- 6.15. Please refer to the Repair and Restoration Statement produced by Rokeby Developments for information on the proposed approach for the items of interest detailed above.

7. CONCLUSION

- 7.1. The Addendum has been produced following comments from the Gloucester City Council Conservation Officer (23 March 2020) regarding application 19/01309/CONDIT for the discharge of conditions 6 and 7 (consent Ref: 15/01152/LBC).
- 7.2. The report provides additional information to the 2018 Level 4 Building Recording Project Final Report which was issued to the City Council archaeology and conservation officers in September 2018. The report is informed by additional information including imagery of the interior of the buildings which has been produced following the erection of safety scaffolding to allow structural survey by the development team. That information supplements the research and survey work of the buildings previously undertaken and reported for the 2018 Final Report, all of which informs this Addendum.
- 7.3. This Addendum report provides the additional information to address the conservation officer's comments of 23 March 2020, and to allow discharge of conditions 6 and 7.

8. REFERENCES

Cotswold Archaeology 2018. *Level 4 Historic Building Recording Baker's Quay*

Jackson Purdue Lever 2019. *Structural Condition Survey for Downings Malthouse, Baker's Quay.*

Conway-Jones H & Higgs G 2008. *Downings Malthouse (Gloucestershire Society for Industrial Archaeology Journal)*

Patrick A 2004. *Maltings in England (Historic England)*

Historic England 2015. *Understanding Historic Buildings, a guide to good recording practice.*

APPENDIX 1: ELEVATIONS (NOT TO SCALE)



East facing elevation

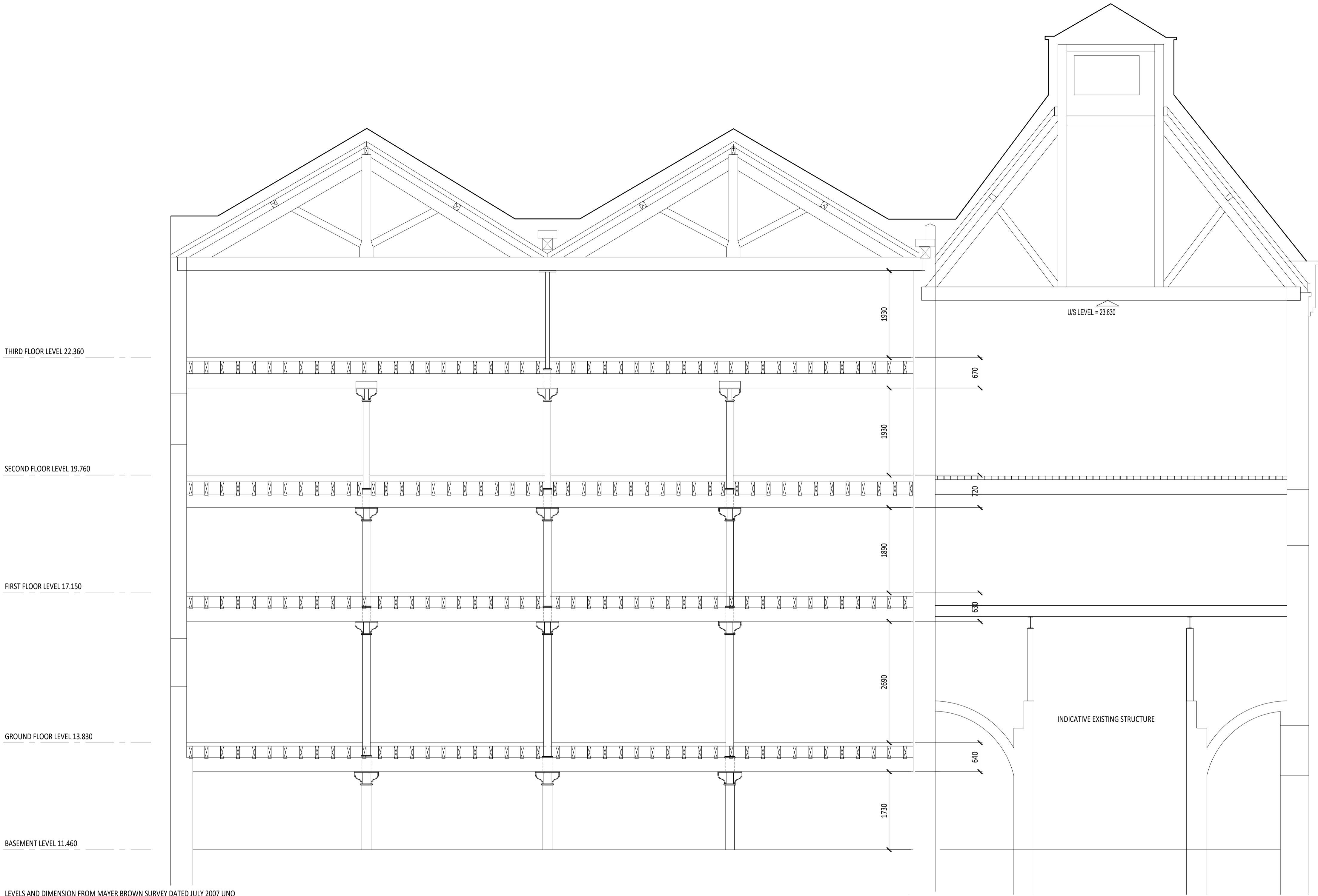
Scale 1:250



West facing elevation

Scale 1:250

APPENDIX 2: FLOORPLANS AND SECTIONS



LEVELS AND DIMENSION FROM MAYER BROWN SURVEY DATED JULY 2007 UNO

EXISTING SECTION THROUGH DOWNING'S MALTHOUSE (SCALE 1:50)

1. DO NOT SCALE THIS DRAWING. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON SITE PRIOR TO COMMENCING THE WORKS.
2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS, ENGINEERS AND SPECIALISTS DRAWINGS AND SPECIFICATIONS.
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P02	03.01.20	UPDATED TO LATEST INFORMATION	CE	DA
P01	22.10.19	ISSUED FOR INFORMATION	CE	DA
Rev.	Date	Revision Description	Drawn	Auth'd

Client

Rokeby
Developments

MERCHANT
PLACE DEVELOPMENTS

Project Title

BAKERS QUAY,
GLOUCESTER

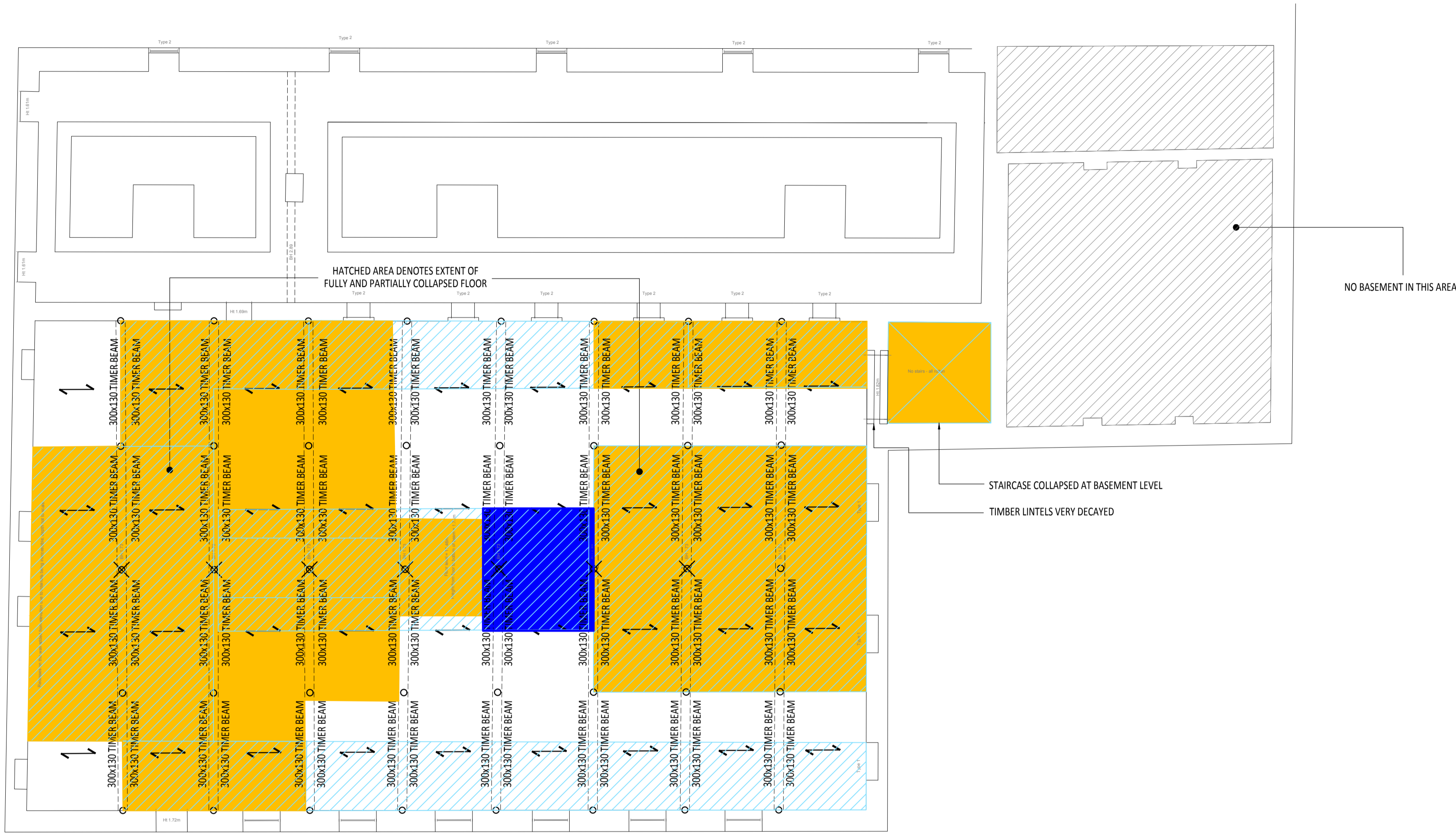
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DOWNING MALTHOUSE
EXISTING SECTION

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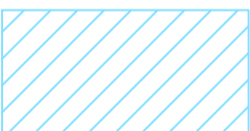



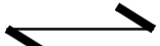
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	000415	JPL	ZZ	ZZ	DR	S	7300

Suitability	Revision
S2 - Suitable for Information	P02



BASEMENT LAYOUT SHOWING EXISTING GROUND FLOOR STRUCTURE OVER

KEY

-  DENOTES AREAS OF DECAY (2016)
-  DENOTES EXTENT OF OBSERVED SIGNIFICANT DECAY/ COLLAPSE WHERE STRUCTURE IS AT SIGNIFICANT RISK OF FURTHER COLLAPSE. (FEBRUARY 2019)
-  DENOTES ADDITIONAL AREAS OF COLLAPSE (OCTOBER 2019)
-  ALL BEAMS IN EXTERNAL WALL ARE DAMP AND DECAY IS EVIDENT WHERE THEY CAN BE INSPECTED
-  DENOTES EXISTING TIMBER JOISTS

BEAM ENDS IN PERIMETER WALLS AND CENTRAL VALLEY LINE ARE ALL DECAYED

COLLAPSED AREAS SHOWN ARE DUE TO PROGRESSIVE COLLAPSES FROM THIRD FLOOR LEVEL. GIVEN EXTENT OF DAMP AND DECAYING TIMBER FURTHER COLLAPSES COULD OCCUR AT ANY TIME. BASEMENT IS DEEMED VERY DANGEROUS AND ACCESS SHOULD NOT BE PERMITTED.

SEE JACKSON PURDUE LEVER DRAWING No. XX0415-JPL-03-ZZ-DR-S-7200 FOR EXISTING BUILDING SECTION

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P4	10.12.19	NOTES ADDED/REMOVED TO SUIT LATEST INFORMATION.	CE	DA
P3	29.11.19	FURTHER AREA OF SIGNIFICANT DECAY.	UN	DA
P2	16.09.16	ADDITIONAL AREAS OF COLLAPSED FLOOR ADDED	CE	DA
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Rev.	Date	Revision description	Drawn	Auth'd



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BAKERS QUAY, GLOUCESTER

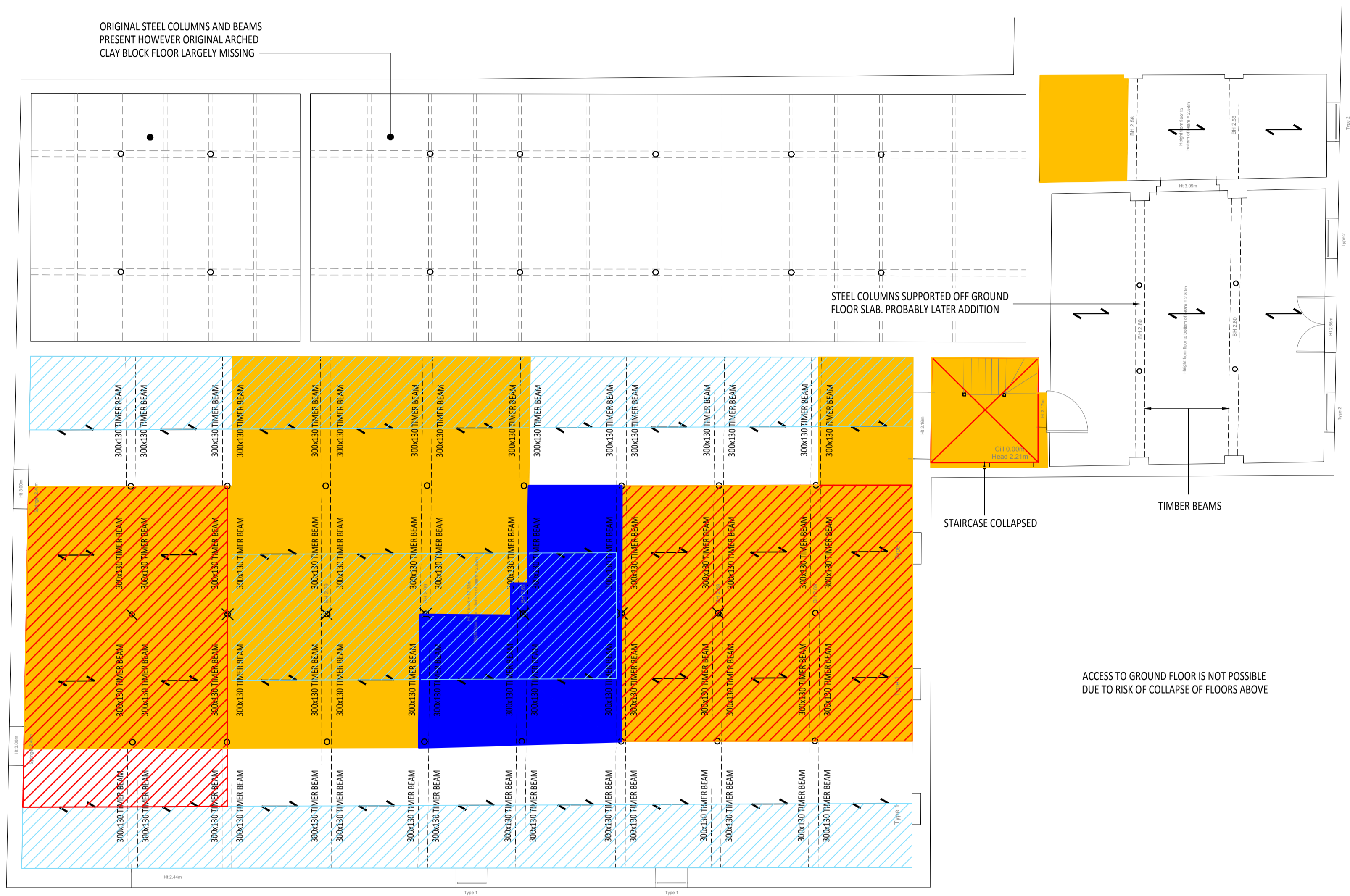
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Date	JUN 2015	Drawn	A8
Scale	1:100 @A1	Authorised	DA

INFORMATION

Job No	Drawing No	Revision
RDL00415	DM001	P4





GROUND FLOOR LAYOUT SHOWING EXISTING FIRST FLOOR STRUCTURE OVER

KEY

DENOTES AREAS OF COLLAPSE (2015)

DENOTES AREAS OF DECAY (2016)

DENOTES EXTENT OF OBSERVED SIGNIFICANT DECAY/ COLLAPSE WHERE STRUCTURE IS AT SIGNIFICANT RISK OF FURTHER COLLAPSE. (FEBRUARY 2019)

DENOTES ADDITIONAL AREAS OF COLLAPSE (OCTOBER 2019)

DENOTES EXISTING TIMBER JOISTS

COLLAPSED AREAS SHOWN ARE DUE TO PROGRESSIVE COLLAPSES FROM THIRD FLOOR LEVEL. GIVEN EXTENT OF DAMP AND DECAYING TIMBER FURTHER COLLAPSES COULD OCCUR AT ANY TIME. GROUND FLOOR IS DEEMED EXTREMELY DANGEROUS AND ACCESS SHOULD NOT BE PERMITTED.

SEE JACKSON PURDUE LEVER DRAWING
No. XX0415-JPL-03-ZZ-DR-S-7200 FOR
EXISTING BUILDING SECTION

1. DO NOT SCALE THIS DRAWING. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON SITE PRIOR TO COMMENCING THE WORKS.

2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS, ENGINEERS AND SPECIALISTS DRAWINGS AND SPECIFICATIONS.

3. ALL DIMENSIONS IN MILLIMETRES UNLESS NOTED OTHERWISE. ALL LEVELS IN METRES UNLESS NOTED OTHERWISE.

4. ANY DISCREPANCIES NOTED ON SITE ARE TO BE REPORTED TO THE ENGINEER IMMEDIATELY.

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P2	29.11.19	FURTHER AREA OF SIGNIFICANT DECAY.	UN	DA
P1	00.00.00	ISSUED FOR INFORMATION	KA	DA
Rev.	Date	Revision description	Drawn	Auth'd

Client

R

Rokeby Developments

MERCHANT PLACE DEVELOPMENTS

Project Title

BAKERS QUAY, GLOUCESTER

Drawing Title

DOWNINGS MALHOUSE
GROUND FLOOR LAYOUT SHOWING
EXISTING STRUCTURE ABOVE

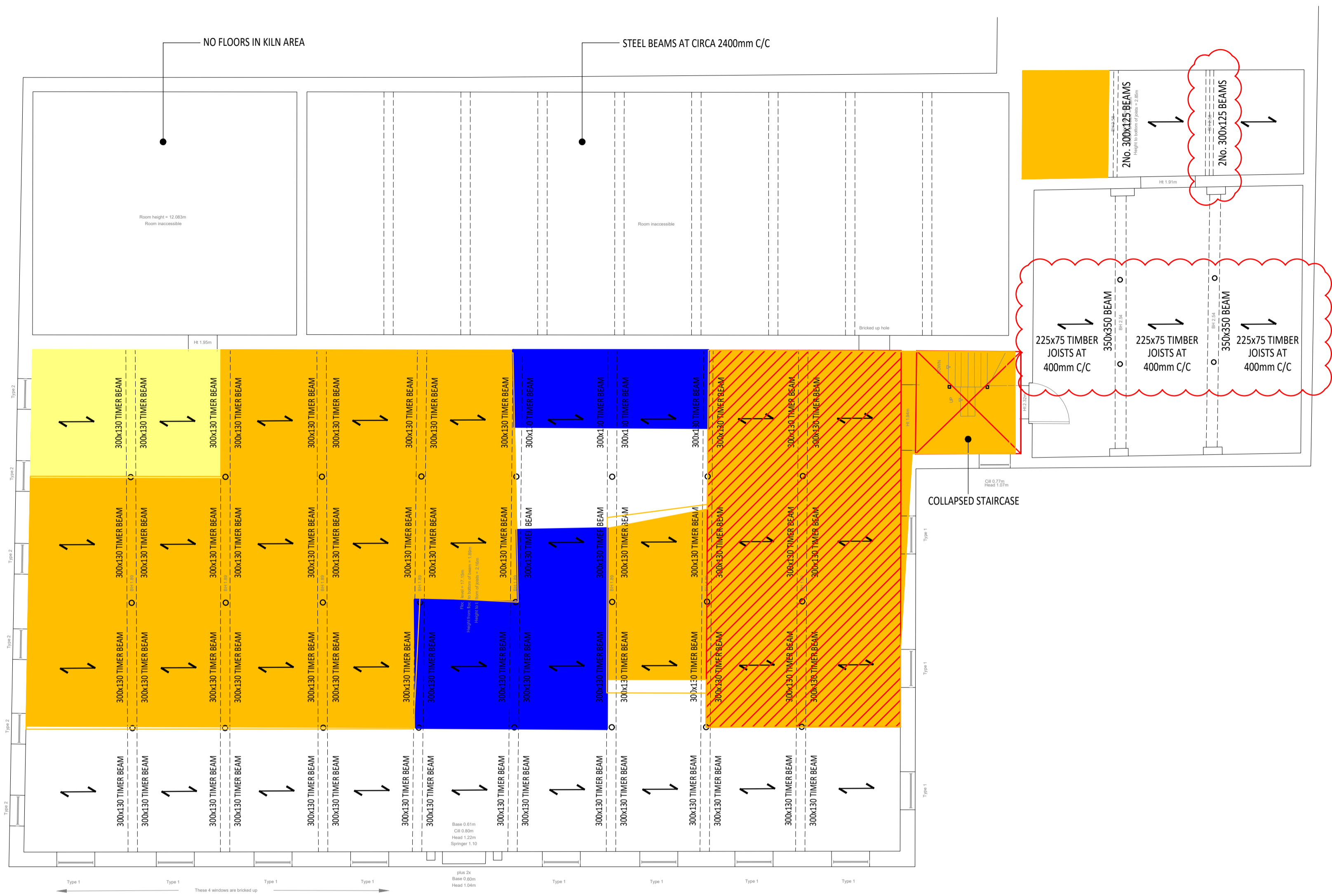
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Job No	Drawing No	Revision
RDL00415	DM002	P3

Jackson

purdue lever

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FIRST FLOOR LAYOUT SHOWING EXISTING SECOND FLOOR STRUCTURE OVER

SEE JACKSON PURDUE LEVER DRAWING
No. XX0415-JPL-03-ZZ-DR-S-7200 FOR
EXISTING BUILDING SECTION

KEY

DENOTES AREAS OF COLLAPSE
(2015)

DENOTES EXTENT OF OBSERVED
SIGNIFICANT DECAY/ COLLAPSE
WHERE STRUCTURE IS AT
SIGNIFICANT RISK OF FURTHER
COLLAPSE. (FEBRUARY 2019)

DENOTES ADDITIONAL AREAS OF
COLLAPSE (JUNE 2019)

DENOTES ADDITIONAL AREAS OF
COLLAPSE (OCTOBER 2019)

DENOTES EXISTING TIMBER
JOISTS

COLLAPSED AREAS SHOWN ARE DUE TO PROGRESSIVE
COLLAPSES FROM THIRD FLOOR LEVEL. GIVEN EXTENT OF DAMP
AND DECAYING TIMBER FURTHER COLLAPSES COULD OCCUR AT
ANY TIME. GROUND FLOOR IS DEEMED EXTREMELY DANGEROUS
AND ACCESS SHOULD NOT BE PERMITTED.

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- ALL DIMENSIONS IN MILLIMETRES UNLESS NOTED OTHERWISE. ALL LEVELS IN METRES UNLESS NOTED OTHERWISE.
- ANY DISCREPANCIES NOTED ON SITE ARE TO BE REPORTED TO THE ENGINEER IMMEDIATELY.

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P2	29.11.19	FURTHER AREA OF SIGNIFICANT DECAY.	UN	DA
P1	00.00.00	ISSUED FOR INFORMATION	KA	DA
Rev.	Date	Revision description	Drawn	Auth'd

Client

R

Rokeby
Developments

MERCHANT
PLACE DEVELOPMENTS

Project Title

BAKERS QUAY, GLOUCESTER

Drawing Title

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1ST FLOOR LAYOUT SHOWING
EXISTING STRUCTURE ABOVE

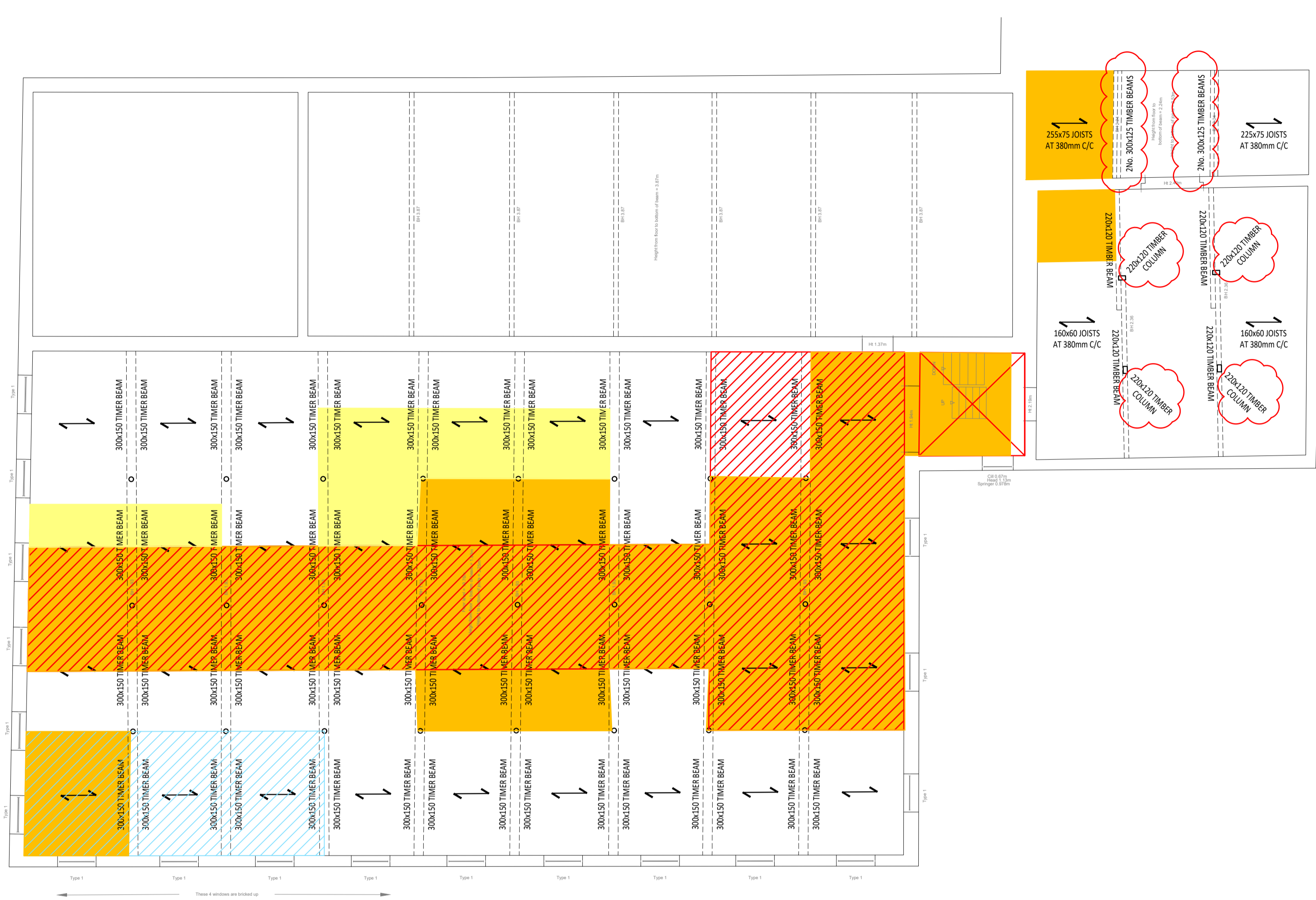
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Status

INFORMATION

Job No	Drawing No	Revision
RDL00415	DM003	P4

Jackson
purdue lever



SECOND FLOOR LAYOUT SHOWING EXISTING THIRD FLOOR STRUCTURE OVER

SEE JACKSON PURDUE LEVER DRAWING
No. XX0415-JPL-03-ZZ-DR-S-7200 FOR
EXISTING BUILDING SECTION

KEY

DENOTES AREAS OF COLLAPSE
(2015)

DENOTES AREAS OF DECAY
(2016)

DENOTES EXTENT OF OBSERVED
SIGNIFICANT DECAY/ COLLAPSE
WHERE STRUCTURE IS AT
SIGNIFICANT RISK OF FURTHER
COLLAPSE. (FEBRUARY 2019)

DENOTES ADDITIONAL AREAS OF
COLLAPSE (JUNE 2019)

DENOTES EXISTING TIMBER
JOISTS

COLLAPSED AREAS SHOWN ARE DUE TO PROGRESSIVE
COLLAPSES FROM THIRD FLOOR LEVEL. GIVEN EXTENT OF DAMP
AND DECAYING TIMBER FURTHER COLLAPSES COULD OCCUR AT
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Rev.	Date	Revision description	Drawn	Auth'd

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EXISTING STRUCTURE ABOVE

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| P1 | 00.00.00 | ISSUED FOR INFORMATION | AB | DA |
| Rev. | Date | Revision description | Drawn | Auth'd |




BAKERS QUAY, GLOUCESTER

Drawing Title

DOWNINGS MALTHOUSE
3RD FLOOR LAYOUT SHOWING
EXISTING STRUCTURE ABOVE

Status INFORMATION

Jackson
purdue lever

 AREAS OF COLLAPSE (2016)

 BEAMS ENDS ON CENTRAL ROOF
LINE VALLEY ARE VERY WET AND
PARTIALLY DECAYED

 DENOTES EXISTING TIMBER
RAFTERS

COLLAPSED AREAS SHOWN ARE DUE TO PROGRESSIVE COLLAPSES FROM THIRD FLOOR LEVEL. GIVEN EXTENT OF DAMP AND DECAYING TIMBER FURTHER COLLAPSES COULD OCCUR AT ANY TIME. BASEMENT IS DEEMED VERY DANGEROUS AND ACCESS SHOULD NOT BE PERMITTED.

SEE JACKSON PURDUE LEVER DRAWING
No. XX0415-JPL-03-ZZ-DR-S-7200 FOR
EXISTING BUILDING SECTION

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Stanley House
Walworth Road
Andover
Hampshire
SP10 5LH

Cirencester Office

Building 11
Kemble Enterprise Park
Cirencester
Gloucestershire
GL7 6BQ

Exeter Office

Unit 1, Clyst Units
Cofton Road
Marsh Barton
Exeter
EX2 8QW

Milton Keynes Office

Unit 8 - The IO Centre
Fingle Drive, Stonebridge
Milton Keynes
Buckinghamshire
MK13 0AT

Suffolk Office

Unit 5, Plot 11, Maitland Road
Lion Barn Industrial Estate
Needham Market
Suffolk
IP6 8NZ

Andover Office

Stanley House
Walworth Road
Andover
Hampshire
SP10 5LH



Cirencester Office

Building 11
Cotswold Business Park
Cirencester
Gloucestershire
GL7 6BQ



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