

Issues

E1. The plan shows existing sites that are being developed, others that have yet to start, and some possible new ones. Several of these, including the Cattle Market and RAF Quedgeley, may be suitable for a mix of uses. Some sites for office development are in the centre of town and are discussed in the Central Gloucester Issues Paper. There is a large business park to the east of the city at Brockworth. Are the existing and possible sites shown on the plan suitable and well located for modern business, and accessible to residents? Do the sites when taken together, give enough variety and choice? What other sites should be considered?

E2. Given the limited scope for new sites for employment development in the city, the current Local Plan seeks to protect existing sites to prevent them being used for other things like housing. Existing major employment areas are shown on the plan. Which sites are vital to keep for employment if Gloucester is to have a successful economy?

E3. The waterside locations along the canal offer an attractive opportunity for high-density housing and mixed-use developments near to Bristol Road, which has the potential to be a good bus route when the southwest bypass is complete. If redundant sites and buildings in this area become available, would it be a good idea to allow this sort of redevelopment provided more employment land is made available elsewhere? Should existing storage areas such as the timber yards, which would be better located on the edge of town near major roads, be allowed to relocate from this area to enable this type of redevelopment?

E4. Consultants recommend that we should keep 40 hectares of land within the RAF Quedgeley site to meet potential employment land needs. The site could include the re-use of some existing buildings and be connected to the railway line. Do you agree that this land should be kept for employment and that not all of the site should be developed for housing? Should more land be kept to enable the relocation of firms as referred to in E3 above?

E5. Buildings at RAF Quedgeley are currently being used by various businesses on short-term lets. Redevelopment for housing would see the loss of some of them. Consultants advise that this is not critically important to the Gloucester economy. Many of the companies are taking advantage of low rents. Do you think that some of the existing buildings could be cleared to make space for housing?

Issues (continued)

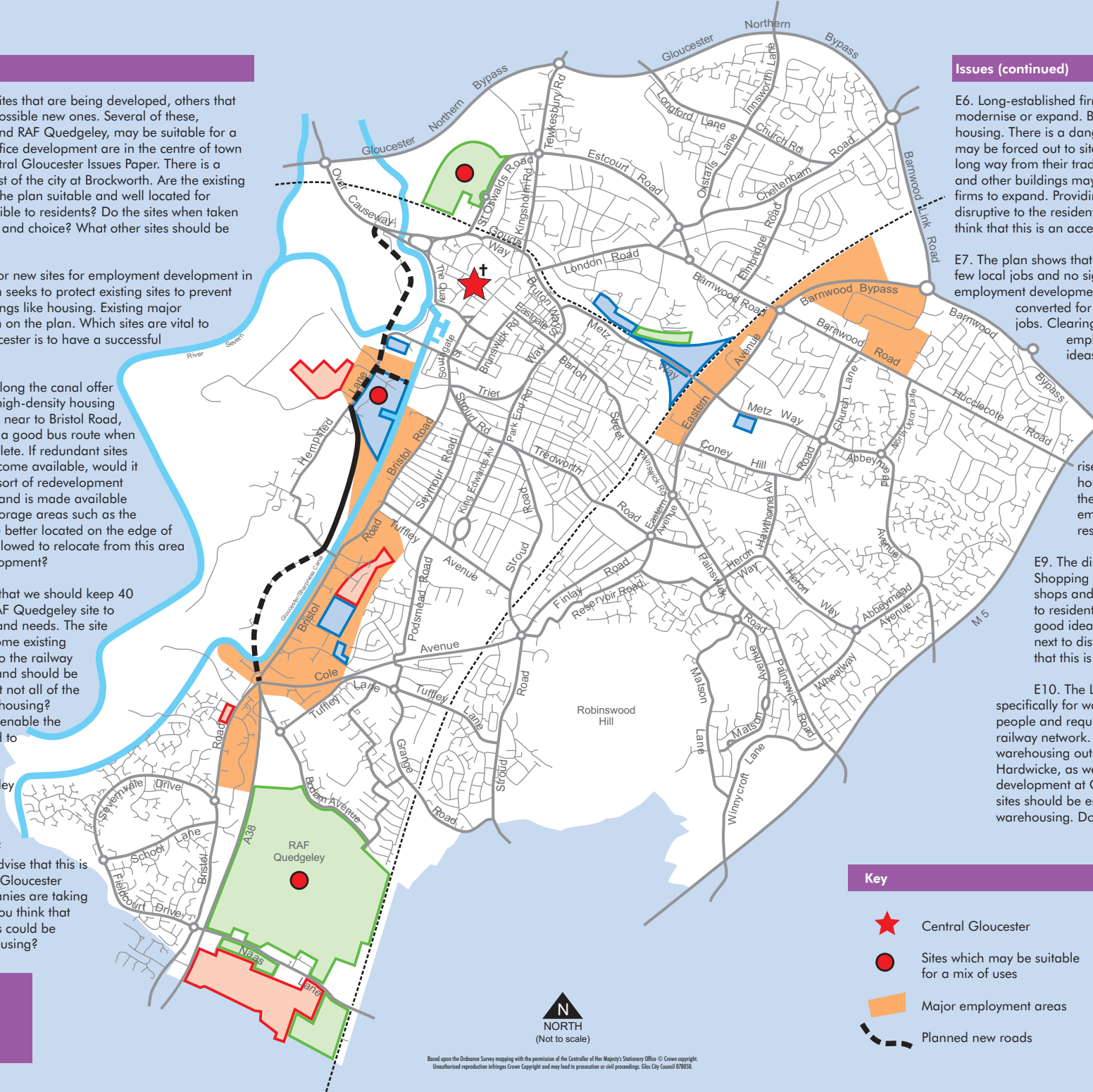
E6. Long-established firms, both big and small, may want to modernise or expand. But some are tightly hemmed-in by housing. There is a danger that some of these companies may be forced out to sites on the edge or outside the city, a long way from their traditional workforce. Sometimes houses and other buildings may have to be demolished for these firms to expand. Providing the type of business is not disruptive to the residents of neighbouring houses, do you think that this is an acceptable approach?

E7. The plan shows that some areas such as Matson have few local jobs and no significant sites available for employment development. Allowing some houses to be converted for business uses could create local jobs. Clearing buildings could create sites for employment development. Would these ideas be acceptable?

E8. The Local Plan can limit the development of employment land to specific types of employment such as light industry rather than general industry, which can give rise to potential nuisance to nearby houses. Are all of the sites shown on the plan suitable for any form of employment use, or should some be restricted to light industry only?

E9. The district and local centres (see Shopping Issues Paper) contain a mixture of shops and community facilities, and are close to residential areas. We believe it may be a good idea to put small-scale office uses in or next to district and local centres. Do you think that this is right?

E10. The Local Plan does not identify any sites specifically for warehousing. These employ few people and require easy access to the main road or railway network. There are opportunities for warehousing outside the city at Brockworth and Hardwicke, as well as part of the Waterwells Farm development at Quedgeley. We believe that these sites should be enough to meet the future needs of warehousing. Do you think that this is correct?



Key

-  Central Gloucester
-  Sites which may be suitable for a mix of uses
-  Major employment areas
-  Planned new roads
-  Currently identified employment sites
-  Developing sites
-  Potential sites