Employment Issues Paper

Having a job is fundamentally important to people's quality of life. All residents should have the opportunity to contribute towards a successful local economy. Urban areas like Gloucester should enable housing and employment developments to be close together so that local people do not have to travel far to work. This reduces traffic congestion and pollution, and gives people the chance to get to work without long, expensive journeys.

Gloucester currently acts as an economic growth centre for the county, and this role is set to continue. Recently, most new economic development has been at edge of town business parks such as Barnwood Fields, and few new developments have taken place in the centre and other locations within the built-up area. The Government is now questioning whether there is too much land set aside for employment, and expects councils to review employment land needs in the search for more housing land.

The Local Plan does not by itself create jobs. However, a successful local economy requires a choice of sites to meet the needs of different businesses. It also needs an efficient public transport system to reduce the costs of traffic congestion and pollution. The Local Plan can help with this:

- By ensuring that a choice of suitable sites and premises are kept for future employment use.
- By providing and protecting land for schools and colleges that give residents the chance to gain the right skills and training for the jobs of the future.
- By finding sites for offices and other employment uses that attract a lot of people in places which are easily reached from local housing, by public transport, cycle or walking.

Retaining and expanding major office uses in the centre of town is important to underpin its health and viability, and this is considered in the Central Gloucester Issues Paper.

Other Plans

The Council is preparing two other plans, the City Plan and the Corporate Development Plan:

- The City Plan will set out a general vision of the city's future over the next 10 to 20 years. This is being done in partnership with local community groups and other agencies. A draft City Plan is expected to be available for public consultation in June 2000.
- The Corporate Development Plan reflects the new agenda of the government. It has six key policy objectives: fairness, sustainable development, community safety, healthy living, learning and assiration, and modern local government.

The Local Plan will be consistent with these other plans. They will provide a context for the land use objectives of the Local Plan.

Consultation and Participation

We will be holding exhibitions and informal meetings around the city. Come along and have a chat about what the Local Plan could mean for you. The dates and locations are set out below. All exhibitions will be attended by staff and informal meetings will be held in the evenings.

Exhibitions	Date
Eastgate Shopping Centre Sainsbury, Barnwood Safeway, Abbeydale Asda, Bruton Way Tesco, Quedgeley Eastgate Shopping Centre Herbert Warehouse Reception	May 8th-12th (9-5.30pm) May 15th-19th (9-5.30pm) May 22nd-26th (9-5.30pm) May 30th-June 2nd (9-5.30pm) June 5th-9th (9-5.30pm) June 12th-16th (9-5.30pm) May 8th-June 16th (9-5pm)
Informal Meetings	Date

North Warehouse, The Docks	May 11th (6-8pm)
 Matson Neighbourhood Project, Matson Lane 	May 18th (6-8pm)
 Longlevens Community Centre, Church Rd 	May 25th (7-9pm)
 Barton Community Centre, Conduit St 	June 1st (6-8pm)
 Quedgeley Community Centre, School Lane 	June 8th (6-8pm)
Hucclecote Community Centre, Hucclecote Rd	June 13th (6-8pm)

There will also be 'topic' meetings for residents, landowners, developers and other interested parties to discuss issues in a little more depth. These will be held in the Council Offices, North Warehouse at The Docks. The dates for these are set out below with all meetings starting at 6pm and ending at 9pm.

Topic Meetings	Venue	Date
 Housing/Employment Central Gloucester/Shopping Travel and Accessibility Green Areas	Ctte. Room 1 Ctte. Room 1 Civic Suite Ctte. Room 1	May 9th May 16th May 23rd June 7th

Comments and Contacts

All comments on the Issues Papers should be made in writing to: Head of Planning Services, Gloucester City Council, Herbert Warehouse, The Docks, Gloucester, GL1 2EQ, by Friday 16th June at the latest.

You may use the comment form provided or write a letter. You can comment by e-mailing <code>localplan@gloucester.gov.uk</code> or use the talkback facility on the Council's website <code>www.gloucester.gov.uk</code>

When the consultation period has ended, all comments on land use issues will be considered by the Council in preparing the draft Local Plan. We intend to get the draft Local Plan 'on deposit' in April 2001 and this will be the next stage for public comment. For further information please call the Local Plan Team on 396831.

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Local Plan Review Employment Issues Paper



The Local Plan shows where new development should go. It identifies sites for new homes, businesses and shops. At the same time, it also protects the best parts of our city. The Local Plan is being reviewed to guide development for the next decade and we have produced several Issues Papers for you to comment on (Overall Strategy, Central Gloucester, Shopping, Housing, Employment, Green Areas, Travel and Accessibility). This is your chance to say how Gloucester should be planned over the next ten years.

The government sets the framework for local plans. New development must be sustainable: what we do today should leave our children with a better environment. So we need to protect our green spaces by building on previously developed land as far as possible. We need to put jobs, homes, and shops close together so that people do not have to make expensive trips which cause traffic congestion and pollution. And we need to revitalise central Gloucester as a place open to everyone to live, work and enjoy themselves.



Planning Services www.gloucester.gov.uk

Issues Issues (continued) E1. The plan shows existing sites that are being developed, others that E6. Long-established firms, both big and small, may want to have vet to start, and some possible new ones. Several of these. modernise or expand. But some are tightly hemmed-in by including the Cattle Market and RAF Quedgeley, may be suitable for a housing. There is a danger that some of these companies mix of uses. Some sites for office development are in the centre of town may be forced out to sites on the edge or outside the city, a and are discussed in the Central Gloucester Issues Paper. There is a long way from their traditional workforce. Sometimes houses large business park to the east of the city at Brockworth. Are the existing and other buildings may have to be demolished for these and possible sites shown on the plan suitable and well located for firms to expand. Providing the type of business is not modern business, and accessible to residents? Do the sites when taken disruptive to the residents of neighbouring houses, do you together, give enough variety and choice? What other sites should be think that this is an acceptable approach? considered? E7. The plan shows that some areas such as Matson have E2. Given the limited scope for new sites for employment development in few local jobs and no significant sites available for the city, the current Local Plan seeks to protect existing sites to prevent employment development. Allowing some houses to be them being used for other things like housing. Existing major converted for business uses could create local employment areas are shown on the plan. Which sites are vital to jobs. Clearing buildings could create sites for keep for employment if Gloucester is to have a successful employment development. Would these economy? ideas be acceptable? E3. The waterside locations along the canal offer E8. The Local Plan can limit the an attractive opportunity for high-density housing development of employment land and mixed-use developments near to Bristol Road. to specific types of employment which has the potential to be a good bus route when such as light industry rather than the southwest bypass is complete. If redundant sites general industry, which can give and buildings in this area become available, would it rise to potential nuisance to nearby be a good idea to allow this sort of redevelopment houses. Are all of the sites shown on provided more employment land is made available the plan suitable for any form of employment use, or should some be elsewhere? Should existing storage areas such as the timber vards, which would be better located on the edge of restricted to light industry only? town near major roads, be allowed to relocate from this area to enable this type of redevelopment? E9. The district and local centres (see Shopping Issues Paper) contain a mixture of E4. Consultants recommend that we should keep 40 shops and community facilities, and are close hectares of land within the RAF Quedgeley site to to residential areas. We believe it may be a meet potential employment land needs. The site good idea to put small-scale office uses in or next to district and local centres. Do you think could include the re-use of some existing buildings and be connected to the railway that this is right? line. Do you agree that this land should be kept for employment and that not all of the E10. The Local Plan does not identify any sites site should be developed for housing? specifically for warehousing. These employ few Robinswood Should more land be kept to enable the people and require easy access to the main road or relocation of firms as referred to railway network. There are opportunities for warehousing outside the city at Brockworth and in E3 above? Hardwicke, as well as part of the Waterwells Farm E5. Buildings at RAF Quedgeley development at Quedgeley. We believe that these are currently being used by sites should be enough to meet the future needs of various businesses on shortwarehousing. Do you think that this is correct? term lets. Redevelopment for housing would see the loss of some of them. Consultants advise that this is Key not critically important to the Gloucester economy. Many of the companies are taking advantage of low rents. Do you think that Central Gloucester Currently identified some of the existing buildings could be employment sites cleared to make space for housing? Sites which may be suitable for a mix of uses Developing sites Local Plan Review Potential sites Major employment areas **Employment** Issues Paper Planned new roads Based upon the Ordnance Survey mapping with the permission of the Controller of Her Majesty's Stationery Office © C