

Householder Application for Planning Permission for works or extension to a dwelling

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x) Northing (y)

Description

Applicant Details

Name/Company

Title

Mr

First name

Steve

Surname

Evans

Company Name

Address

Address line 1

115 Estcourt Road

Address line 2

Address line 3

Gloucestershire

Town/City

Gloucester

Country

Postcode

GL1 3LN

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

Secondary number

Fax number

Email address

Agent Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Contact Details

Primary number

Secondary number

Fax number

Email address

***** REDACTED *****

Description of Proposed Works

Please describe the proposed works

Single storey rear extension and various window and door replacements

Has the work already been started without consent?

Yes

No

Materials

Does the proposed development require any materials to be used externally?

Yes

No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

<p>Type: Walls</p> <p>Existing materials and finishes: Brick</p> <p>Proposed materials and finishes: Render cladding</p>
<p>Type: Roof</p> <p>Existing materials and finishes: Tiles</p> <p>Proposed materials and finishes: Tiles to match existing</p>
<p>Type: Windows</p> <p>Existing materials and finishes: uPVC</p> <p>Proposed materials and finishes: uPVC To match existing</p>

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

21-014_P-001_Site Location Plan
21-014_P-002_Existing Floor Plans
21-014_P-003_Existing Roof Plan & Sections
21-014_P-004_Existing Elevations
21-014_P-100_Proposed Floor Plans
21-014_P-200_Proposed Roof Plan & Sections
21-014_P-300_Proposed Elevations
21-014_Covering Statement

Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

Yes

No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

Yes

No

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

Yes

No

Is a new or altered pedestrian access proposed to or from the public highway?

Yes

No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

Yes

No

Parking

Will the proposed works affect existing car parking arrangements?

Yes

No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes

No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

The agent

The applicant

Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes

No

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

(a) a member of staff

(b) an elected member

(c) related to a member of staff

(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

Yes

No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

Yes

No

Is any of the land to which the application relates part of an Agricultural Holding?

Yes

No

Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

- The Applicant
 The Agent

Title

Mr

First Name

Chris

Surname

Gray

Declaration Date

09/05/2022

Declaration made

Declaration

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

Chris Gray

Date

09/05/2022

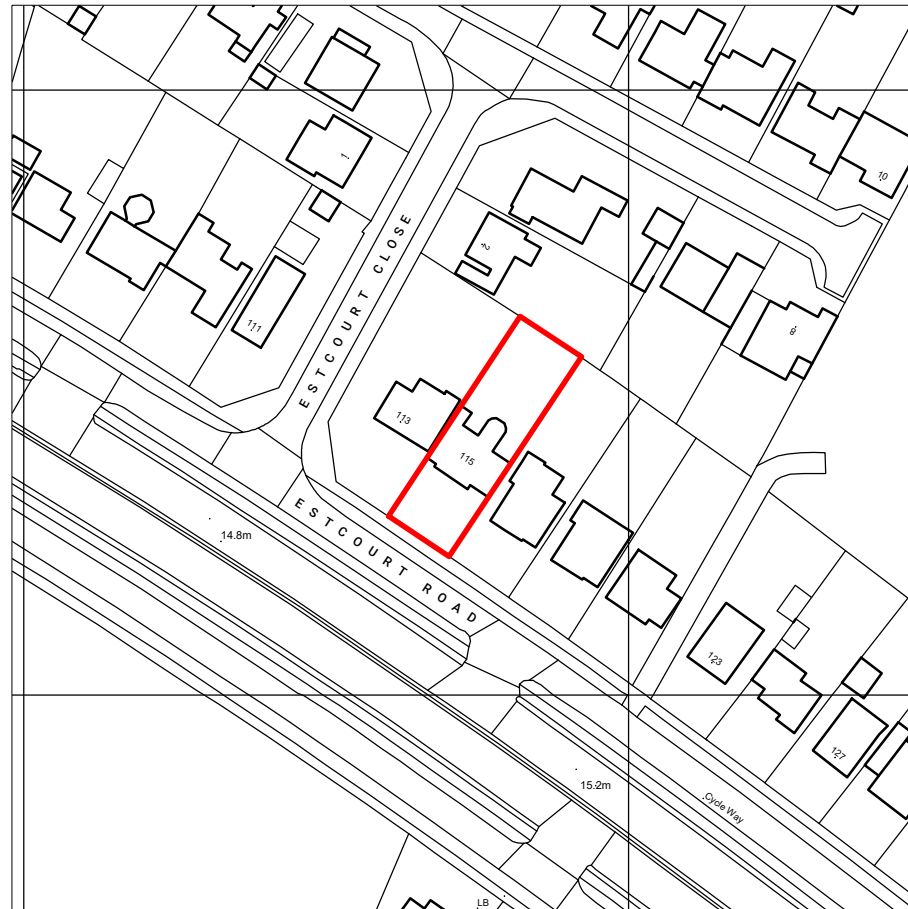
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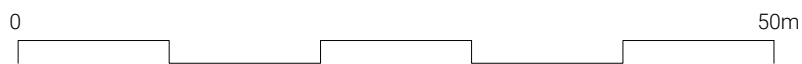
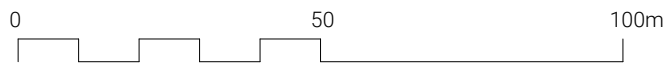
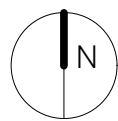
- Site Boundary
- Land in Same Ownership
- - - Existing for Demolition



01 Site Location Plan
Scale 1:1250 @ A3



02 Site Block Plan
Scale 1:500 @ A3



Client : Mr Steve Evans	Title :	No. :	Rev	Date	Notes
Project : 115 Estcourt Road Gloucester GL1 3LN	Site Location & Block Plans	P-001	-	-	-
Ref : 21-014			Scale : As Stated	Status : PLANNING	Date : 05/2022

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1 Alvin Street, Gloucester, GL1 3EJ
 info@grayarchitecture.co.uk
 +44 (0)7855 348 625
 www.grayarchitecture.co.uk

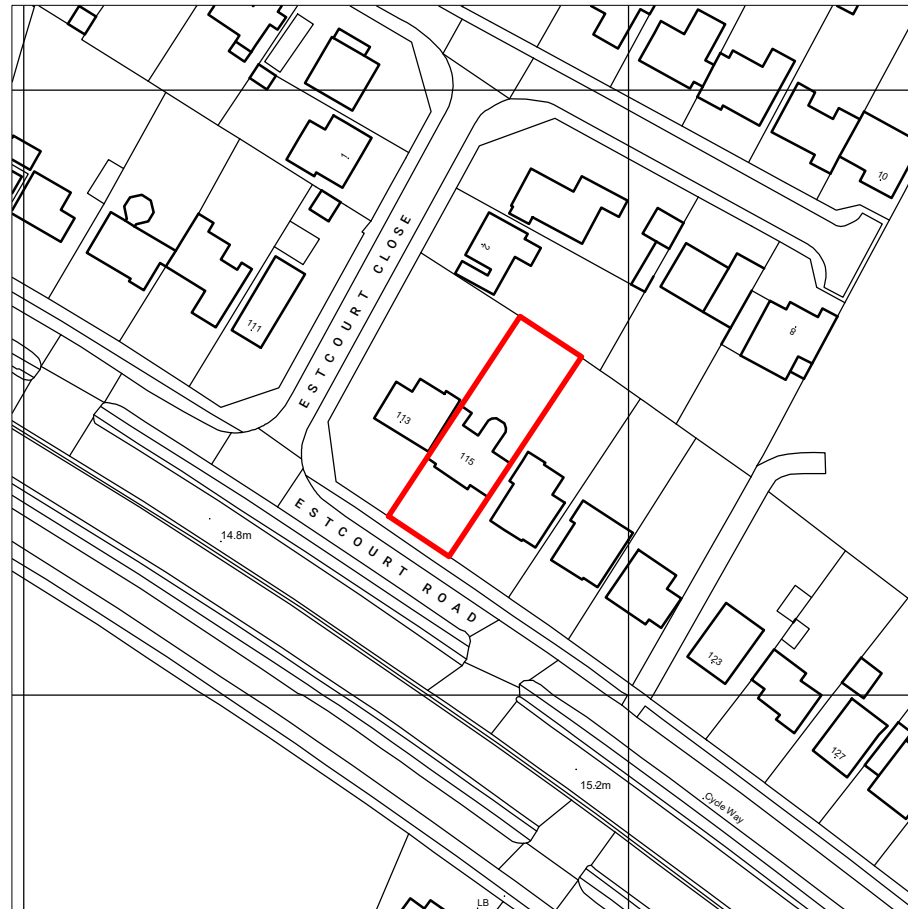
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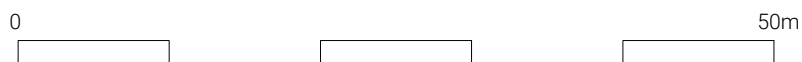
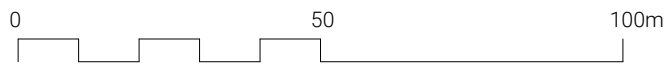
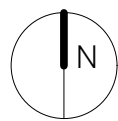
- Site Boundary
- Land in Same Ownership
- Existing for Demolition



01 Site Location Plan
Scale 1:1250 @ A3



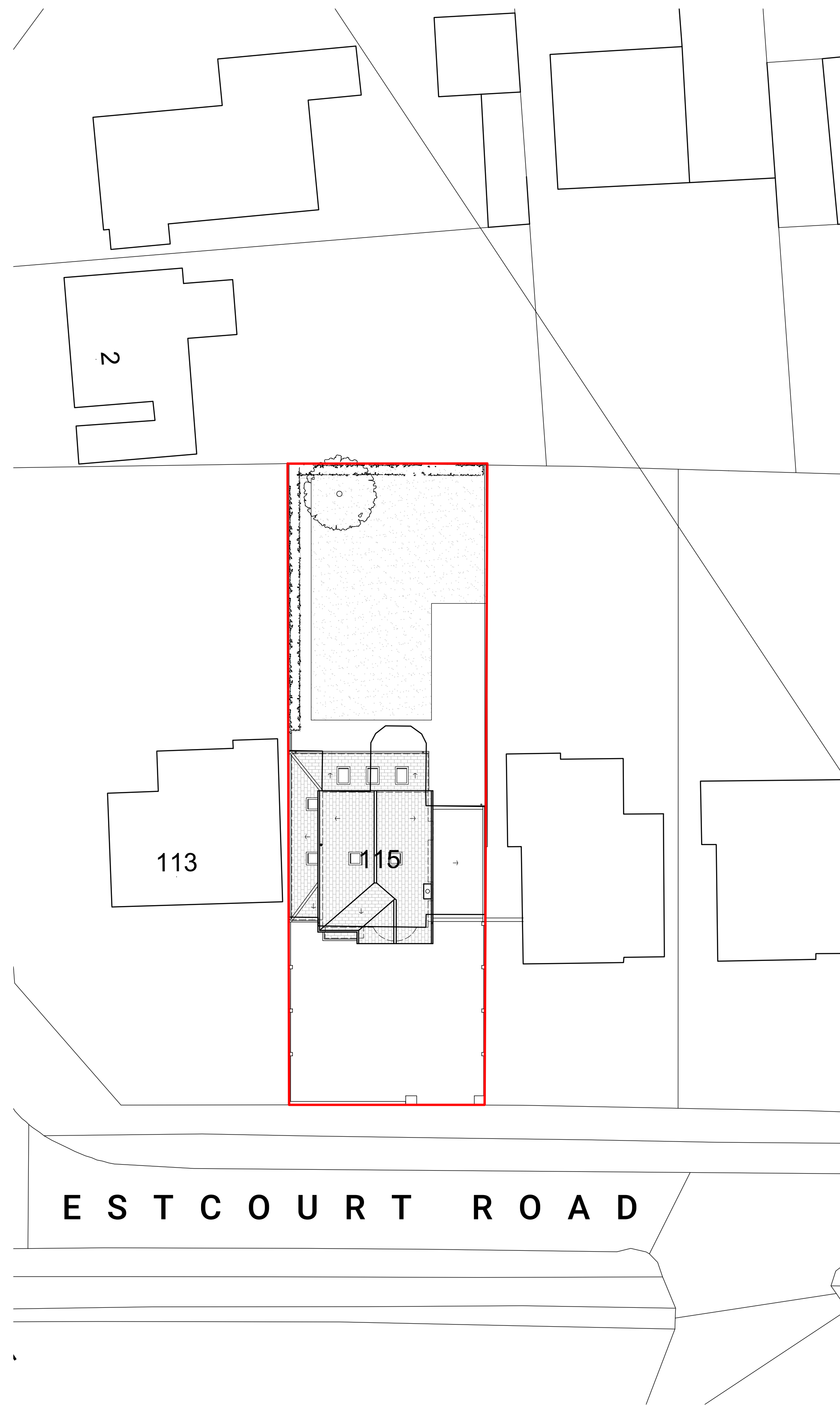
02 Site Block Plan
Scale 1:500 @ A3



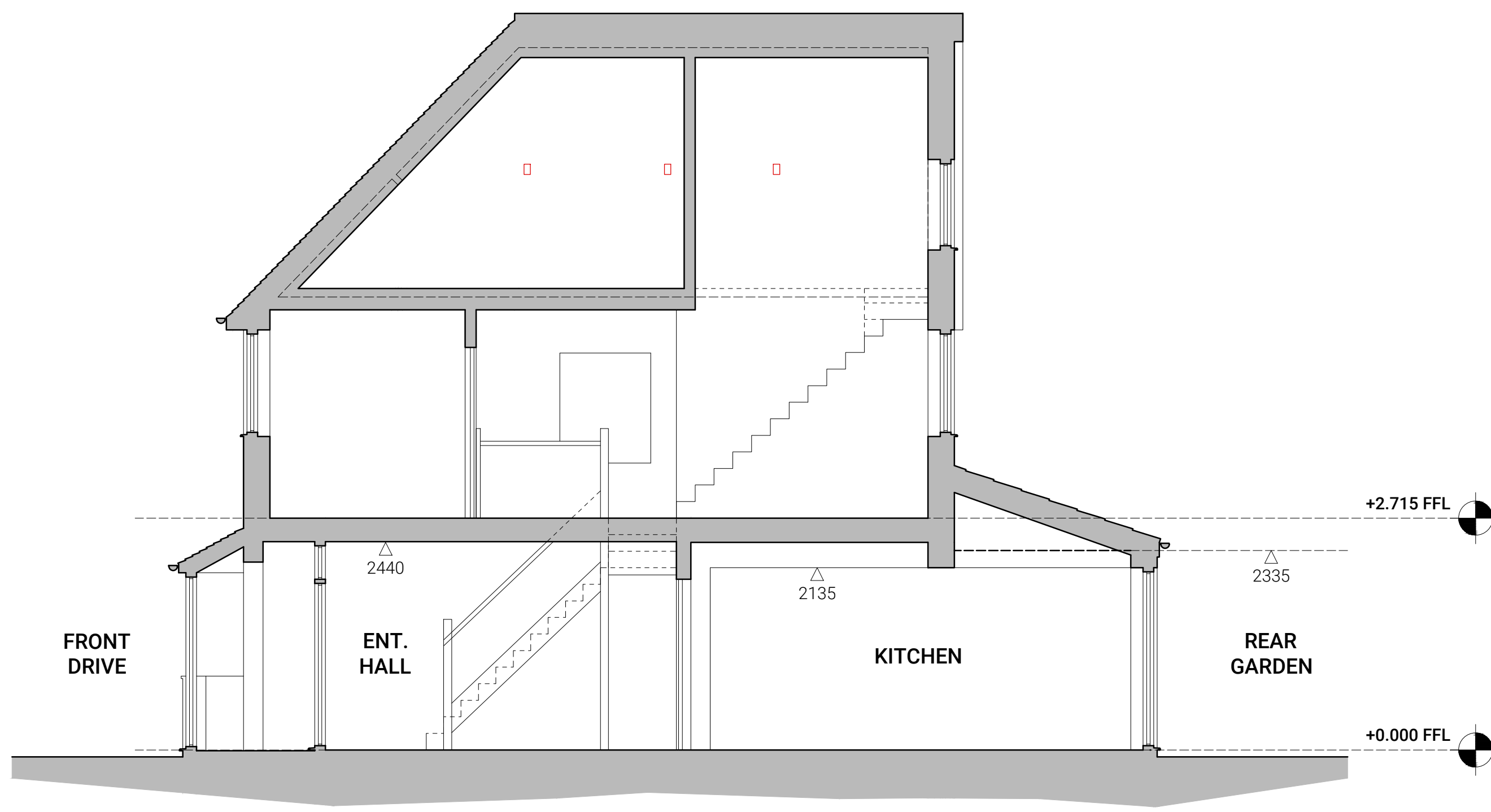
Client :	Mr Steve Evans	Title :	Site Location & Block Plans		No. :	P-001		
Project :	115 Estcourt Road Gloucester GL1 3LN	Scale :			As Stated			
Ref :	21-014	Status :	PLANNING	Revision :	-			

Rev	Date	Notes
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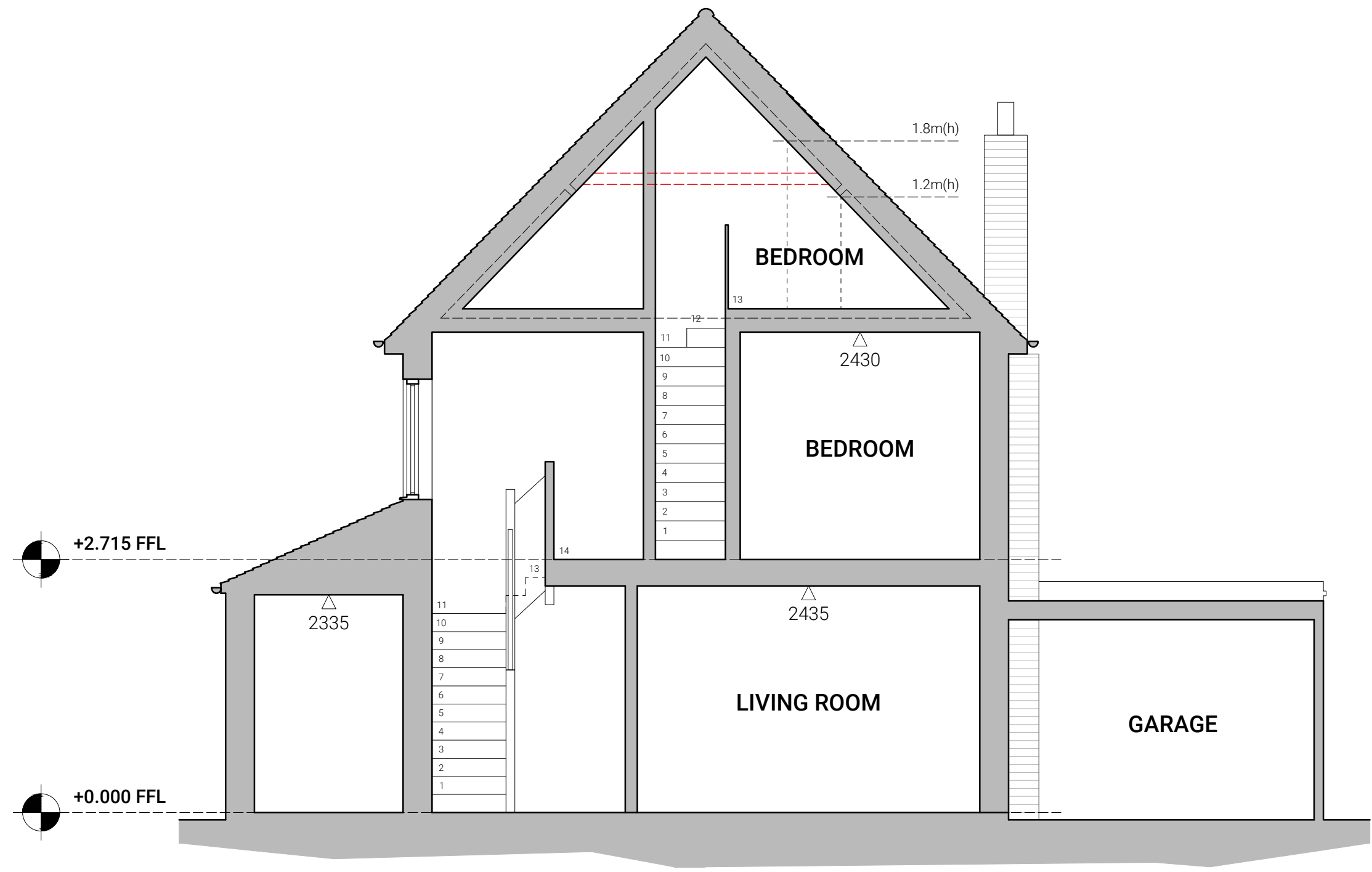
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01 Proposed Site Plan
Scale 1:200 @ A1

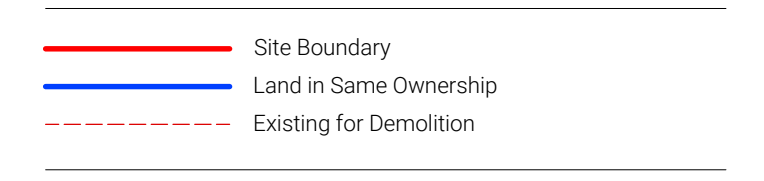


02 Proposed Section A-A
Scale 1:50 @ A1 / 1:100 @ A3



03 Proposed Section B-B
Scale 1:50 @ A1 / 1:100 @ A3

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Rev	Date	Notes
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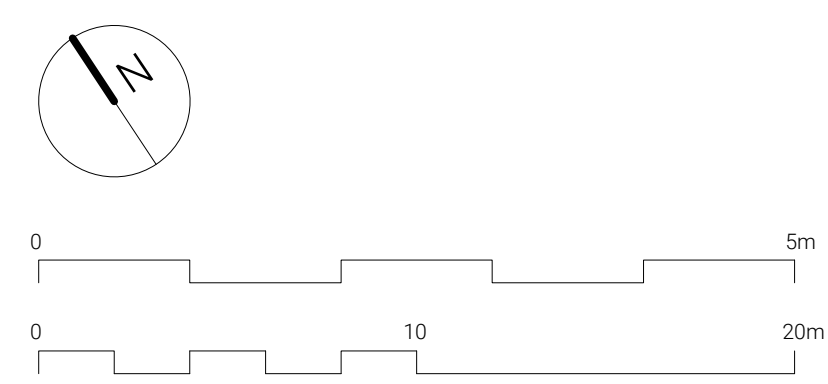
Client :	Mr Steve Evans
Project :	115 Estcourt Road Gloucester GL1 3LN
Ref :	21-014
Title :	

Proposed Site Plan & Sections

Date :	05/2022
Scale :	As Shown
Status :	PLANNING
Revision :	-
No. :	

P-200

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TO : GLOUCESTER CITY COUNCIL, DEVELOPMENT CONTROL
DATE : 9TH MAY 2022

REF : 115 ESTCOURT ROAD - PLANNING APPLICATION

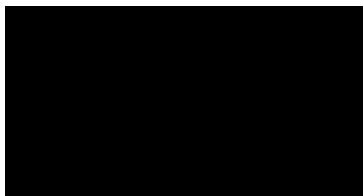
Dear Sir / Madam

This covering statement refers to the planning application for a single storey rear extension at 115 Estcourt Road, Gloucester, GL1 3LN.

The proposed extension shall project 2.4m to the rear of the property the full width of the original dwelling. The extension has a pitched roof to match the current side annex to the property and shall maintain existing eaves and ridge heights. Render cladding is proposed.

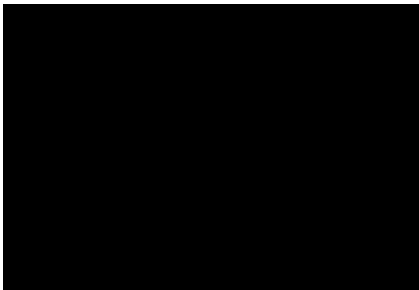
Several new and replacement windows and doors are also proposed.

The proposal is understood to largely fall within permitted development rights. The render cladding is thought to be the only exemption to this, although shall have no negative impact on the property or neighbouring properties. As such a house holder application has been submitted for assurance of the compliance.



Chris Gray Architect

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— Site Boundary
 — Land in Same Ownership
 - - - Existing for Demolition

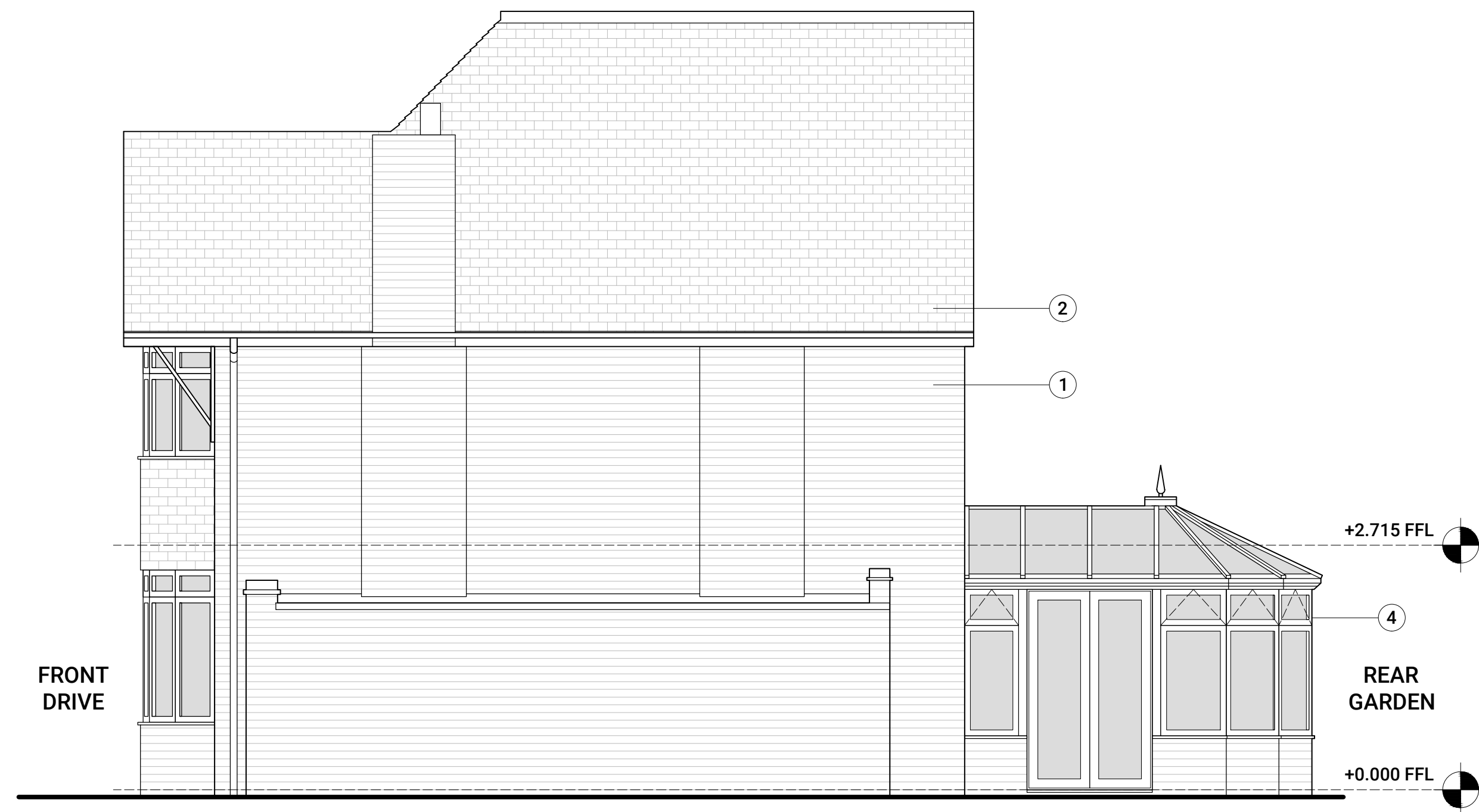
Rev	Date	Notes
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-	-	-

Material Schedule

1. Red Brick
2. Plain Clay Tiles
3. Concrete Tiles
4. uPVC Windows & Doors
5. Weatherboard Cladding



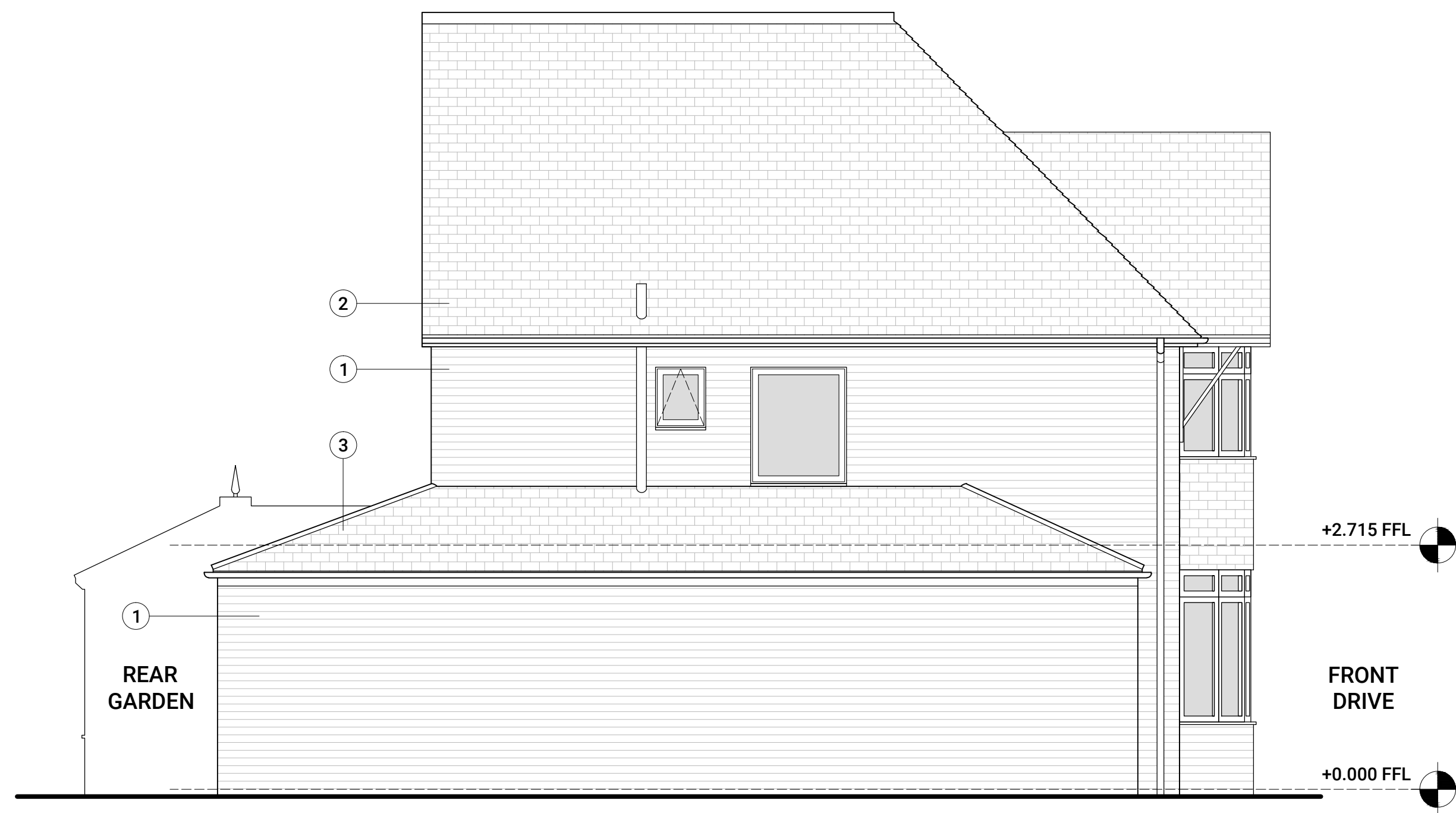
01 Existing Front (South) Elevation
 Scale 1:50 @ A1 / 1:100 @ A3



02 Existing Side (East) Elevation
 Scale 1:50 @ A1 / 1:100 @ A3



03 Existing Rear (North) Elevation
 Scale 1:50 @ A1 / 1:100 @ A3



04 Existing Side (West) Elevation
 Scale 1:50 @ A1 / 1:100 @ A3

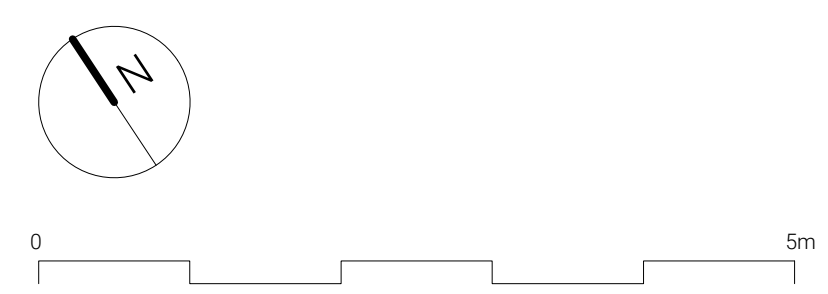
Client : Mr Steve Evans
Project : 115 Estcourt Road Gloucester GL1 3LN
Ref : 21-014
Title :

Existing Elevations

Date : 05/2022
Scale : 1:50 @ A1 / 1:100 @ A3
Status : PLANNING
Revision : -
No. :

P-004

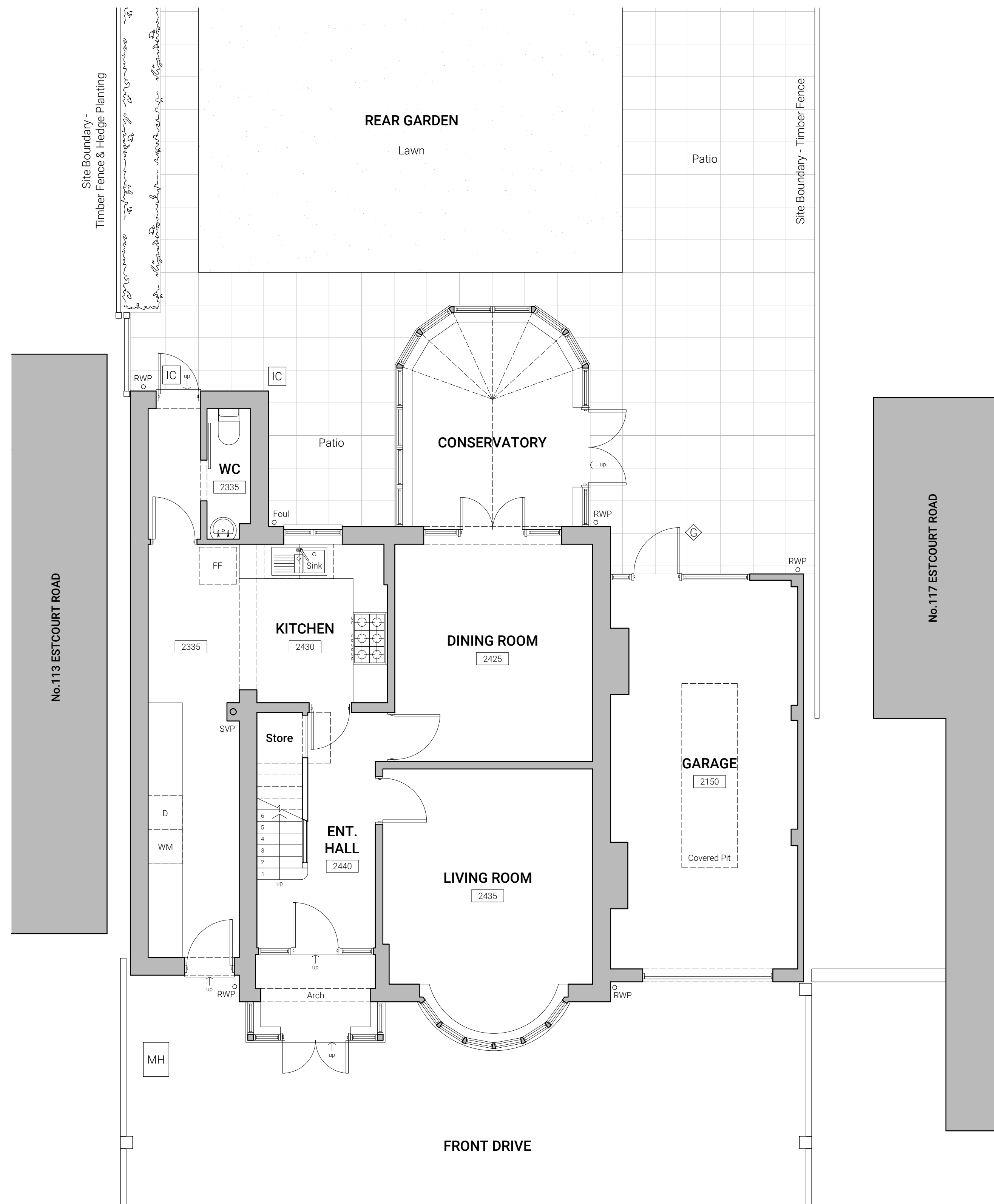
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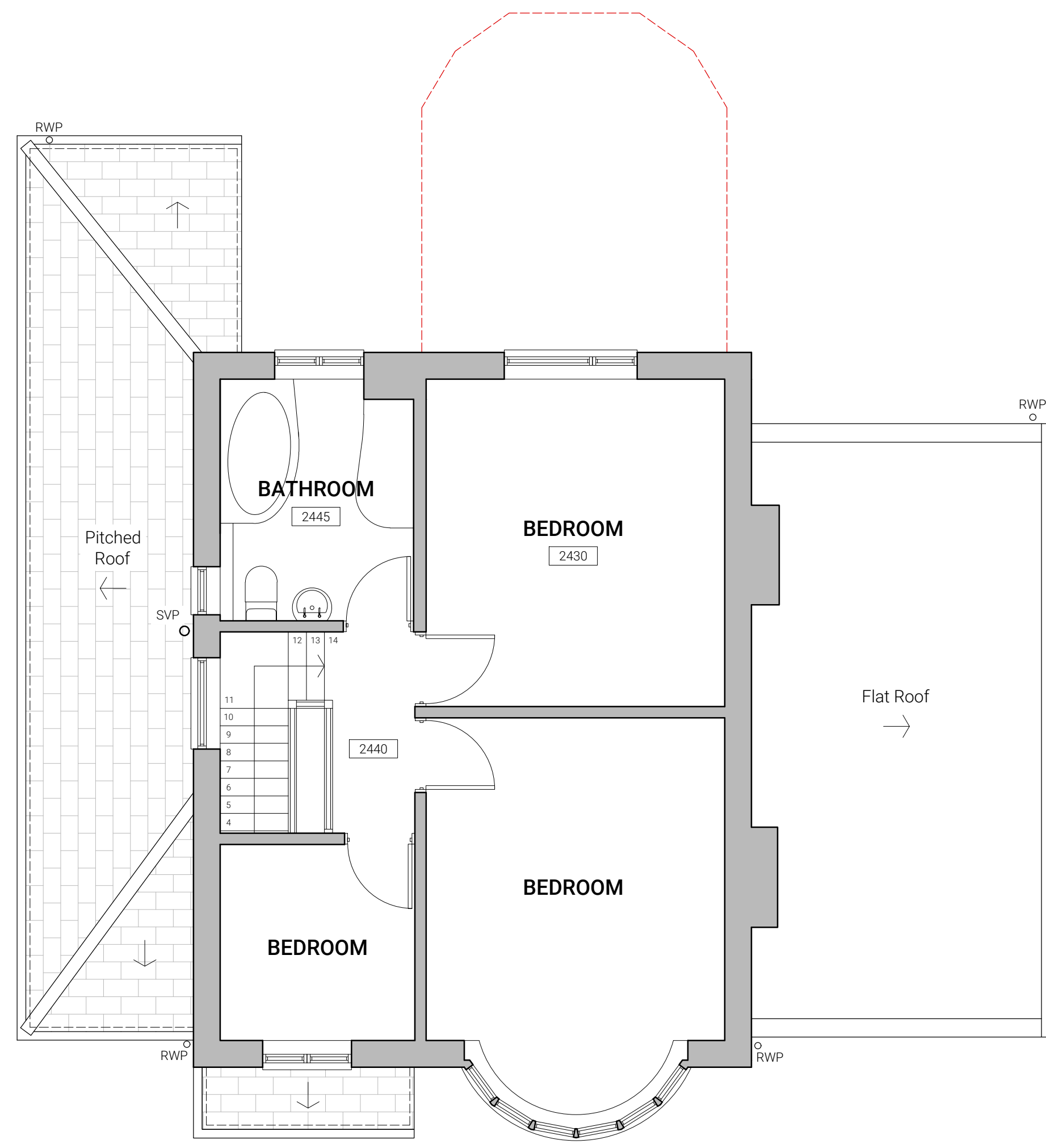
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— Site Boundary
 — Land in Same Ownership
 - - - Existing for Demolition

Rev	Date	Notes
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-	-	-
-	-	-
-	-	-



01 Existing Ground Floor Plan
 Scale 1:50 @ A1 / 1:100 @ A3



02 Existing First Floor Plan
 Scale 1:50 @ A1 / 1:100 @ A3

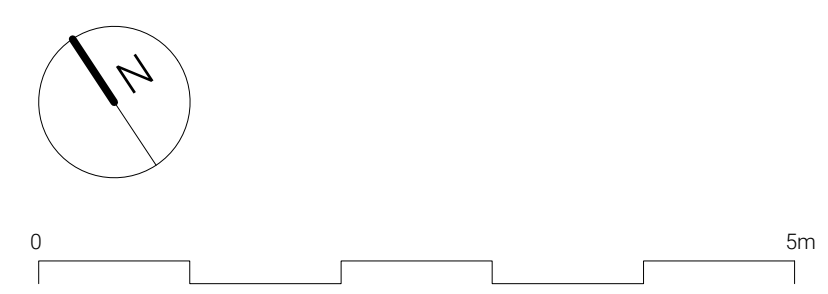
Client :	Mr Steve Evans
Project :	115 Estcourt Road Gloucester GL1 3LN
Ref :	21-014
Title :	

Existing Floor Plans

Date :	05/2022
Scale :	1:50 @ A1 / 1:100 @ A3
Status :	PLANNING
Revision :	-
No. :	

P-002

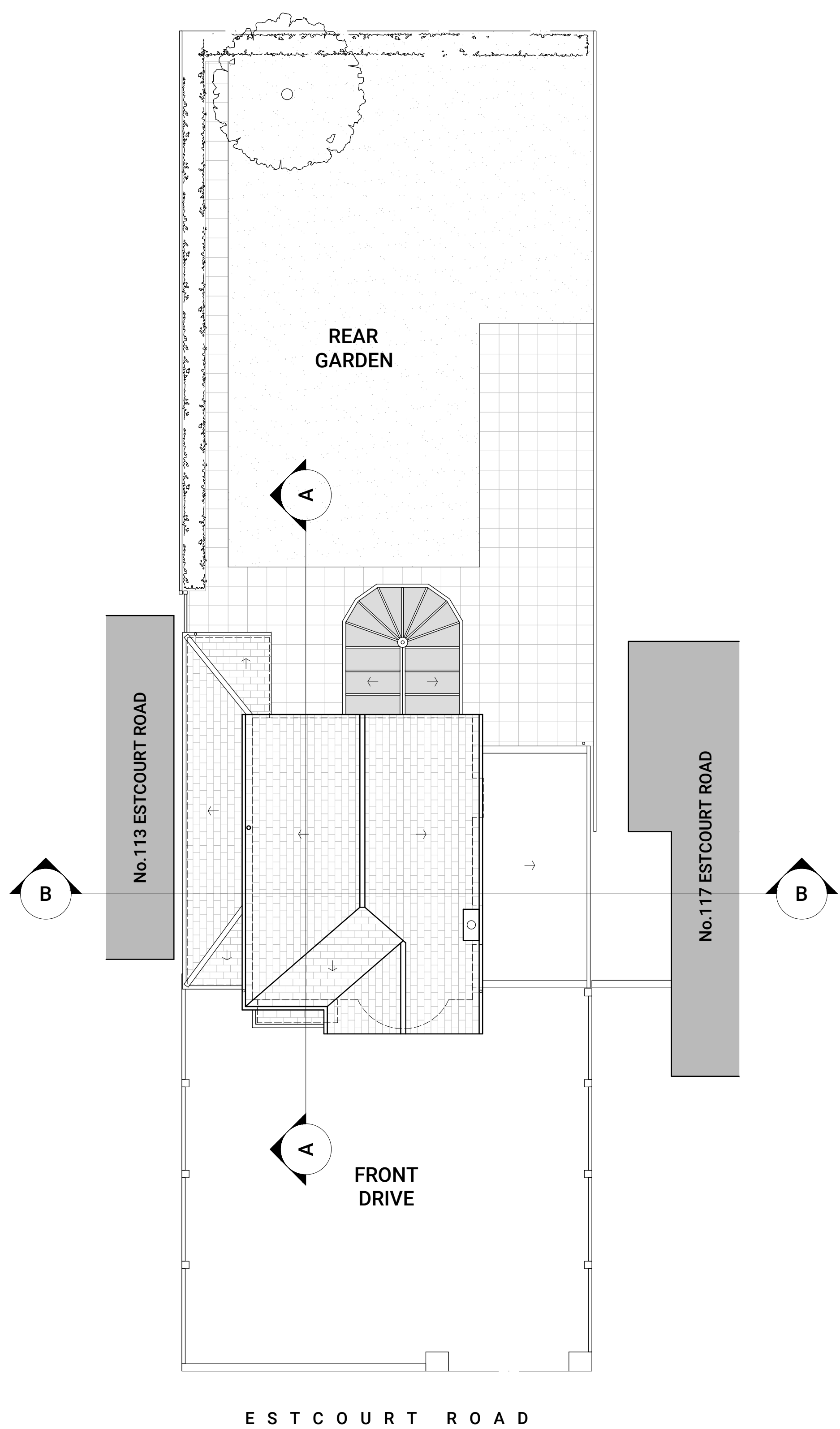
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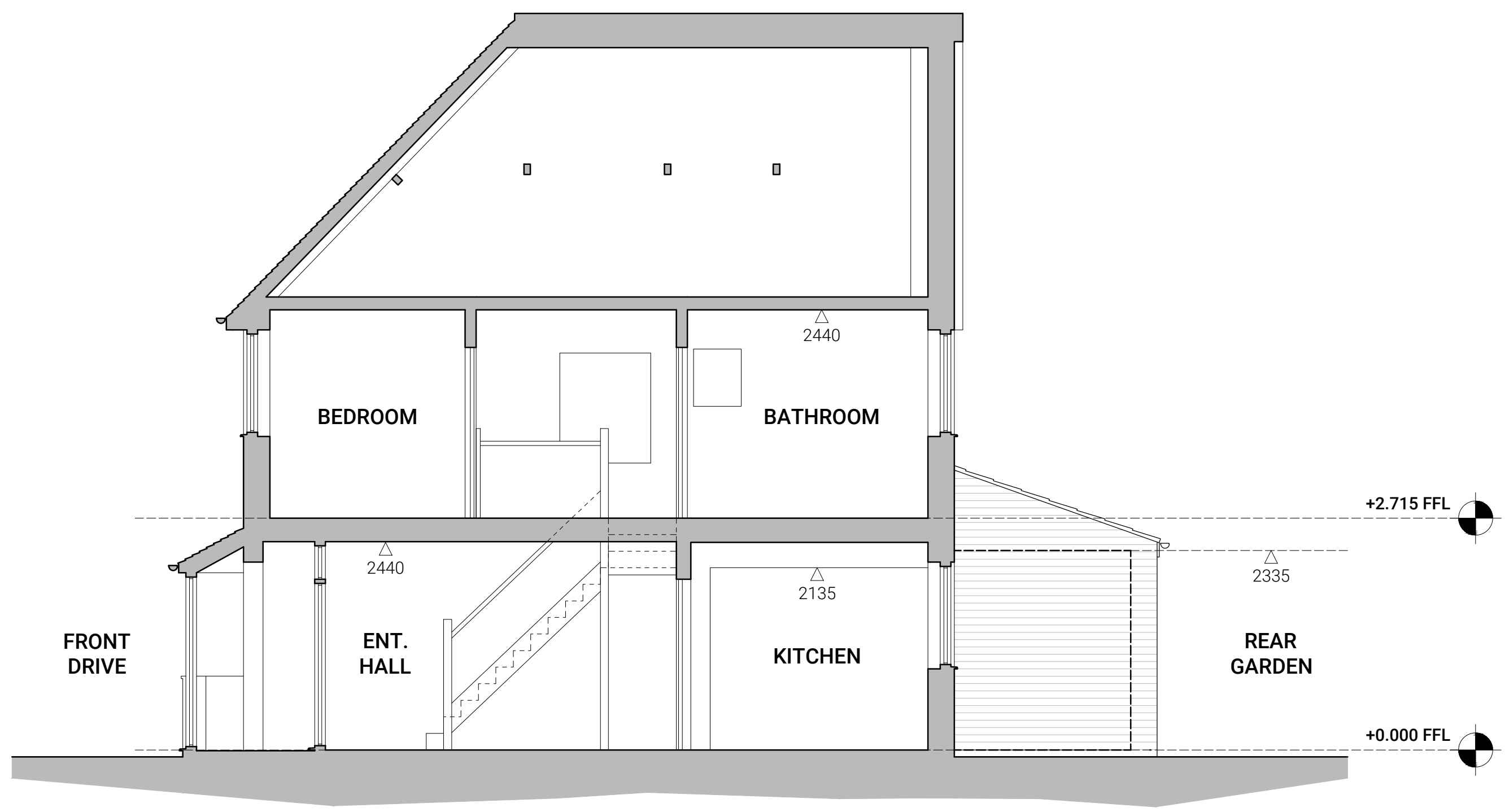
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— Site Boundary
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 - - - Existing for Demolition

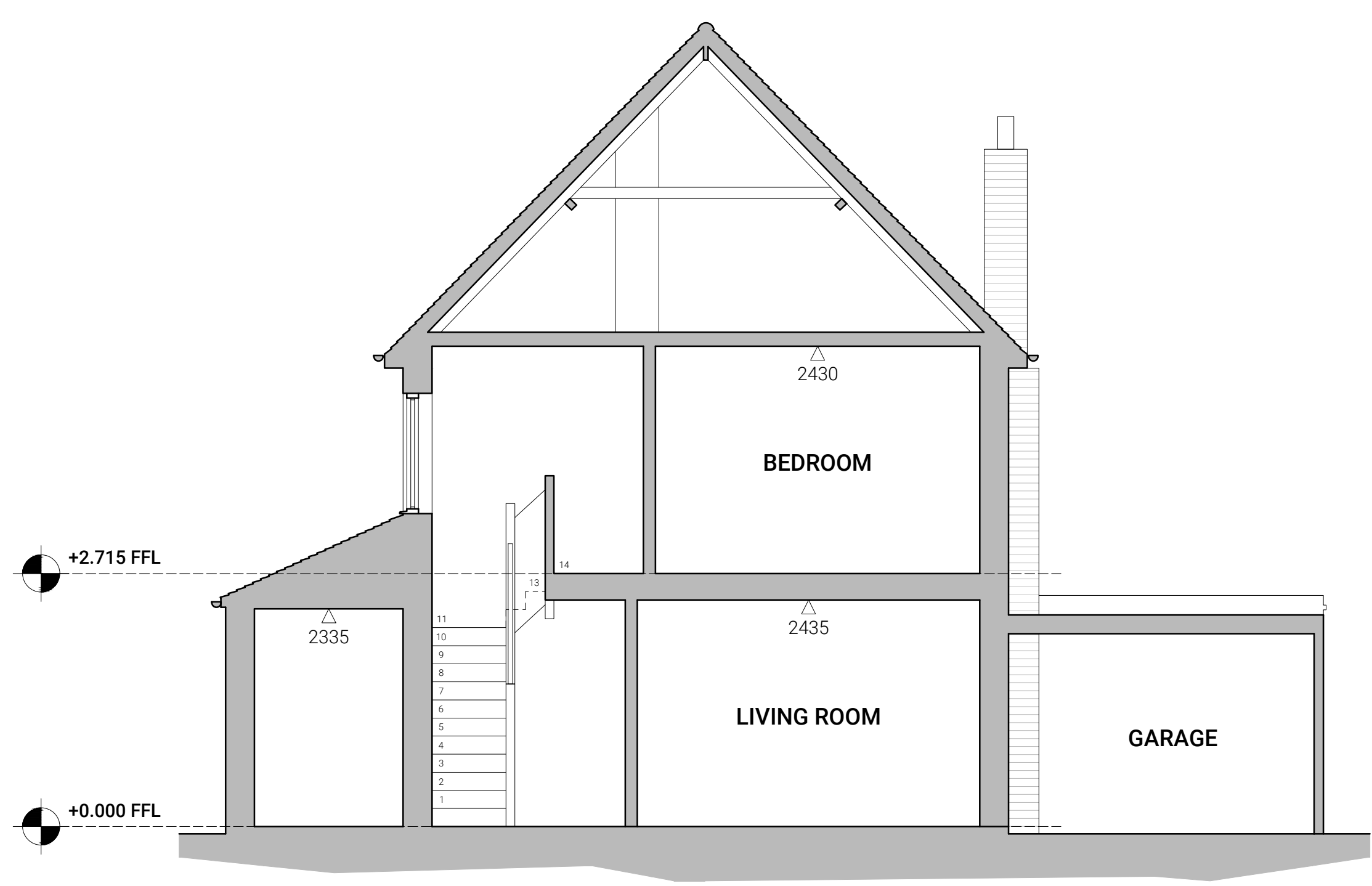
Rev	Date	Notes
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01 Existing Site Plan
 Scale 1:100 @ A1 / 1:200 @ A3



02 Existing Section A-A
 Scale 1:50 @ A1 / 1:100 @ A3



03 Existing Section B-B
 Scale 1:50 @ A1 / 1:100 @ A3

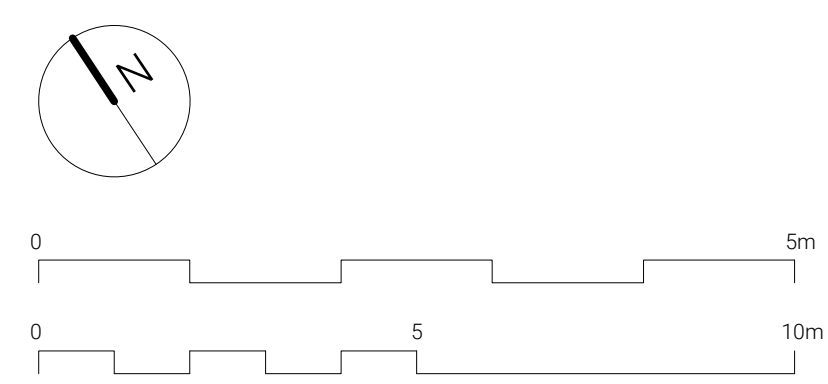
Client :	Mr Steve Evans
Project :	115 Estcourt Road Gloucester GL1 3LN
Ref :	21-014
Title :	

Existing Roof Plan & Sections

Date :	05/2022
Scale :	As Shown
Status :	PLANNING
Revision :	-
No. :	

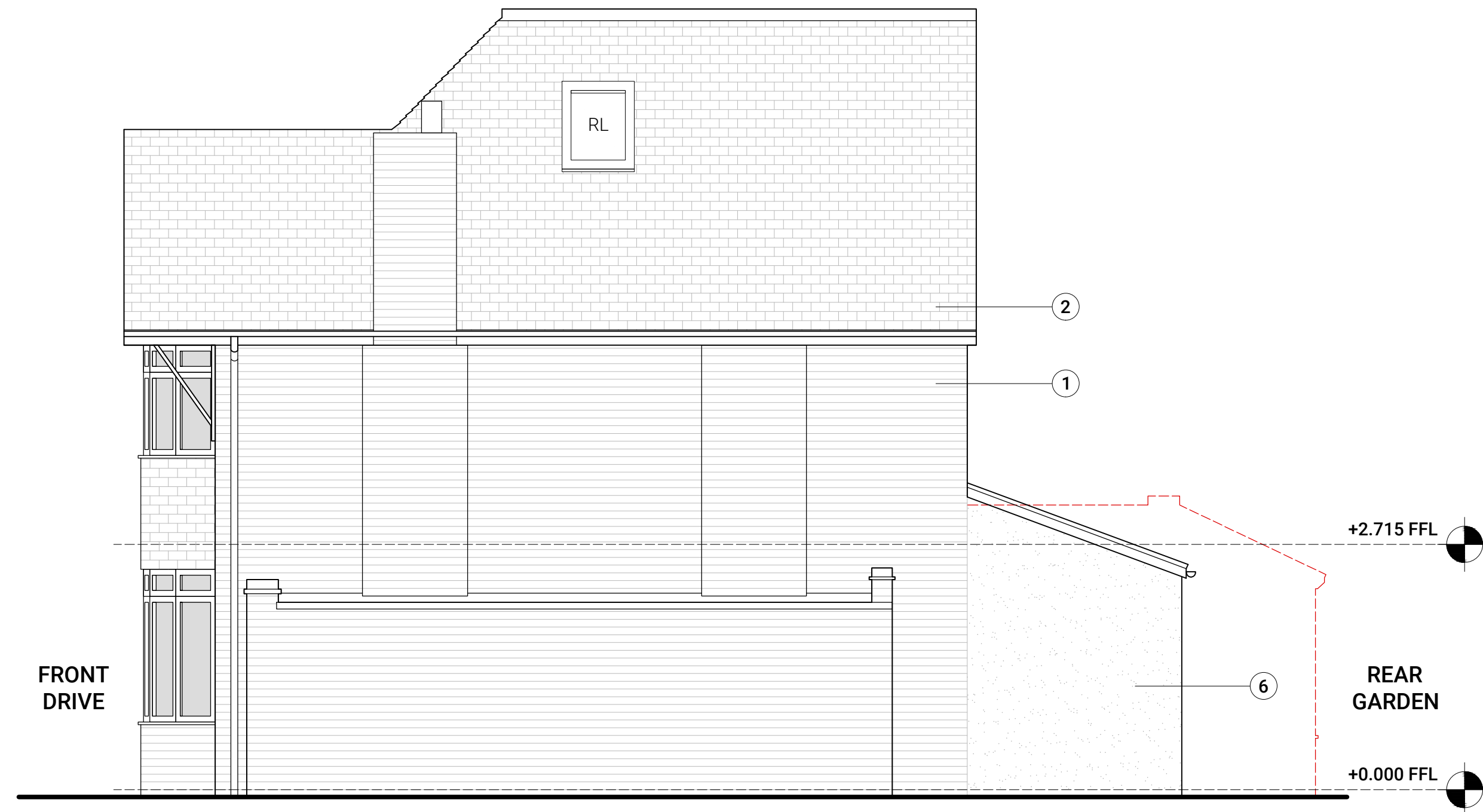
P-003

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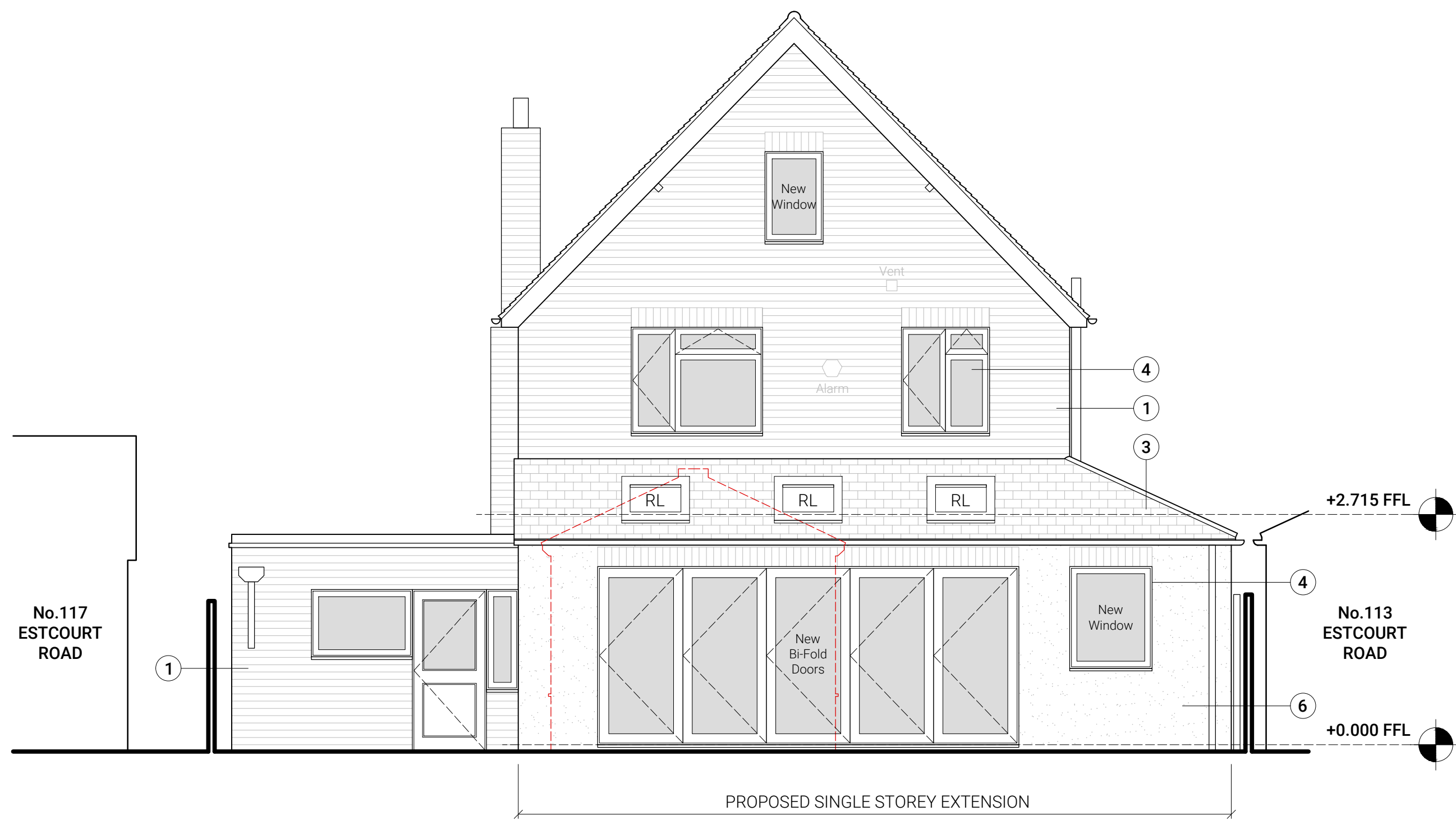




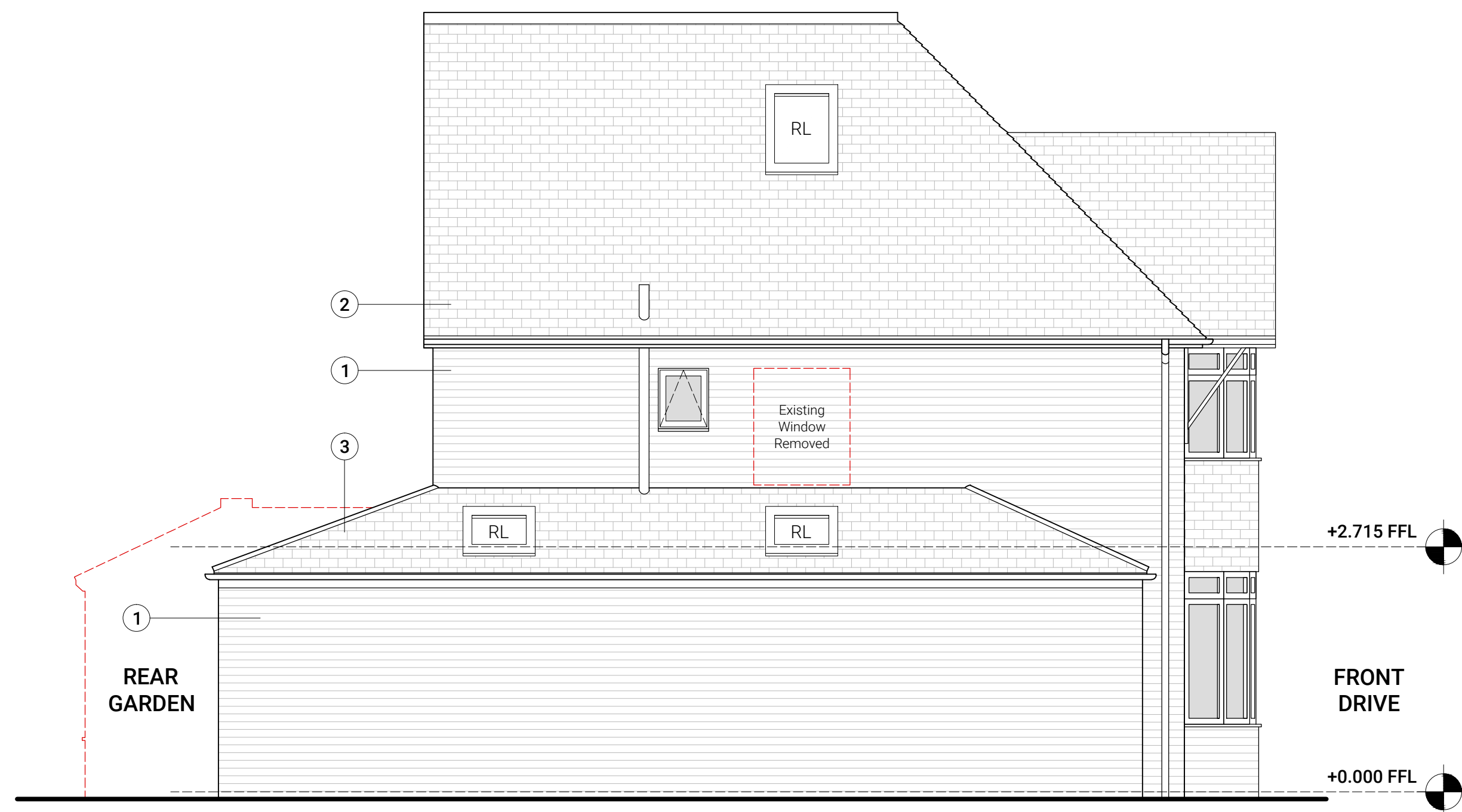
01 Proposed Front (South) Elevation
Scale 1:50 @ A1 / 1:100 @ A3



02 Proposed Side (East) Elevation
Scale 1:50 @ A1 / 1:100 @ A3



03 Proposed Rear (North) Elevation
Scale 1:50 @ A1 / 1:100 @ A3



04 Proposed Side (West) Elevation
Scale 1:50 @ A1 / 1:100 @ A3

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- Site Boundary
- Land in Same Ownership
- - - Existing for Demolition

Rev	Date	Notes
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-	-	-
-	-	-
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Material Schedule

1. Red Brick
2. Plain Clay Tiles
3. Concrete Tiles
4. uPVC Windows & Doors
5. Weatherboard Cladding
6. Render Cladding

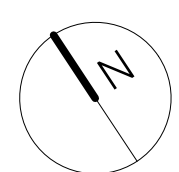
Client :	Mr Steve Evans
Project :	115 Estcourt Road Gloucester GL1 3LN
Ref :	21-014
Title :	

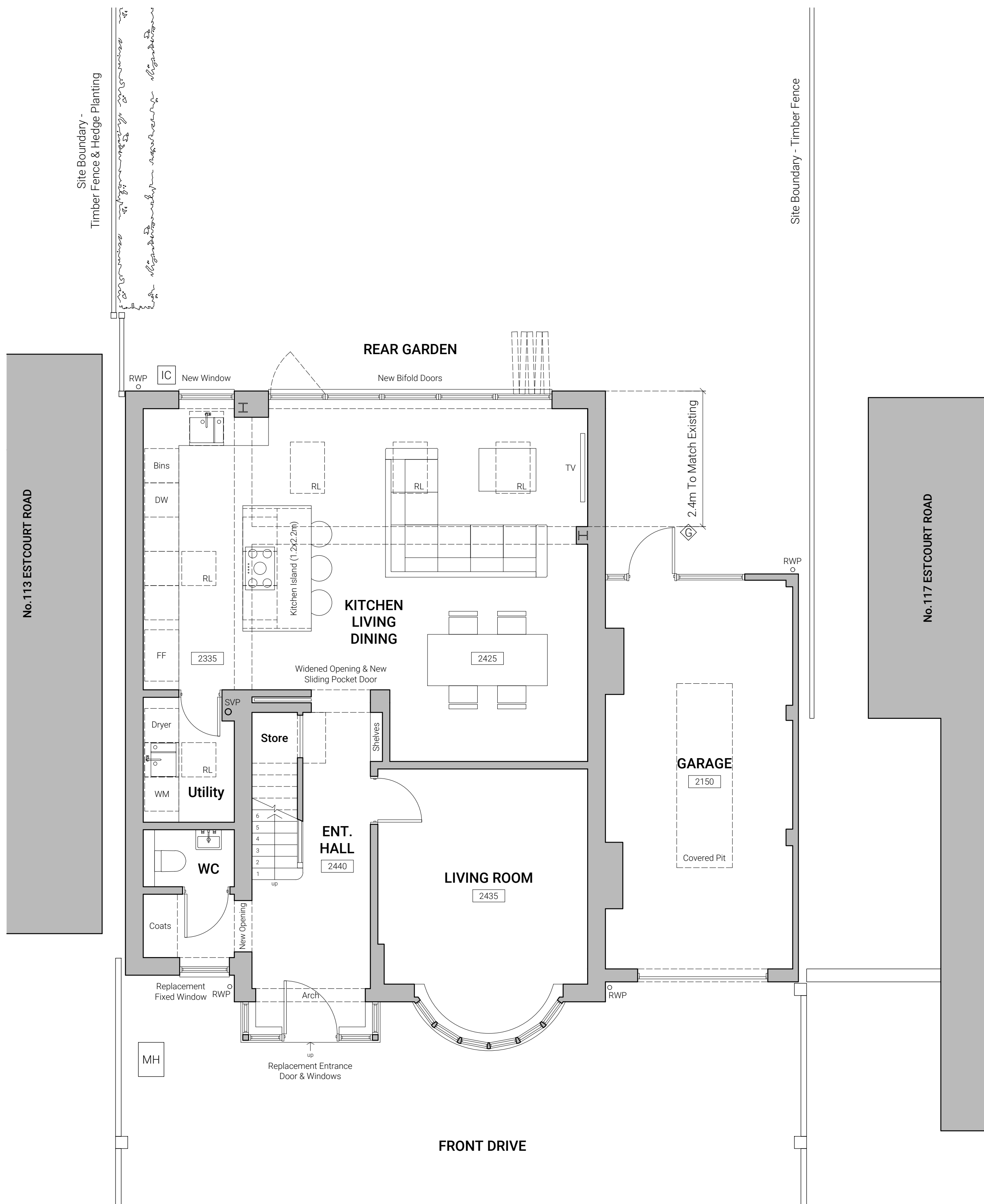
Proposed Elevations

Date :	05/2022
Scale :	1:50 @ A1 / 1:100 @ A3
Status :	PLANNING
Revision :	-
No. :	

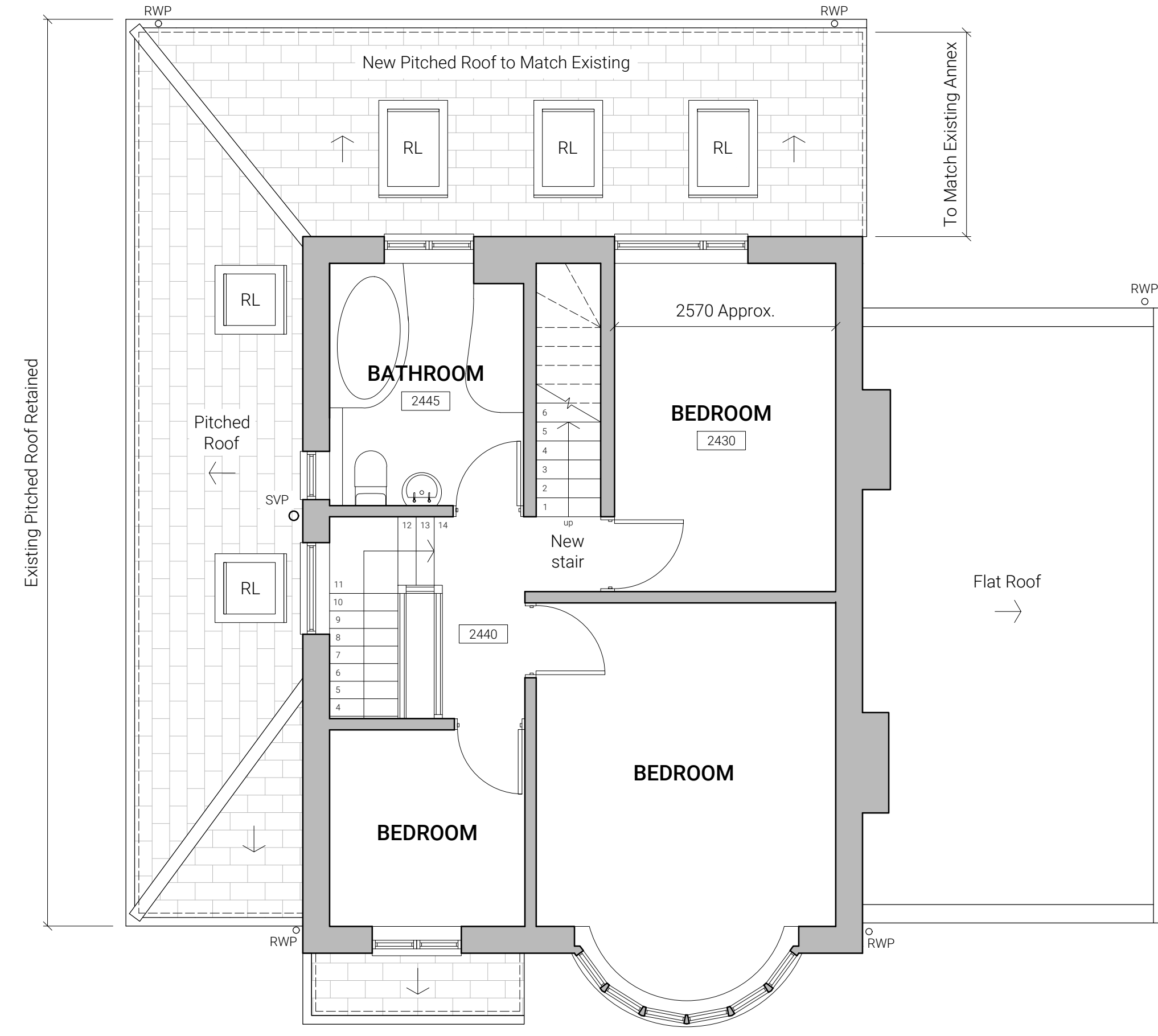
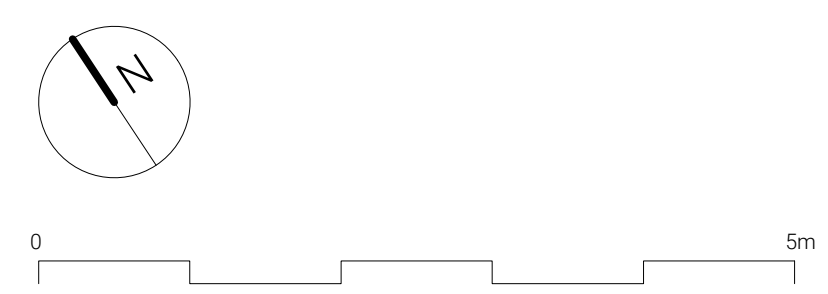
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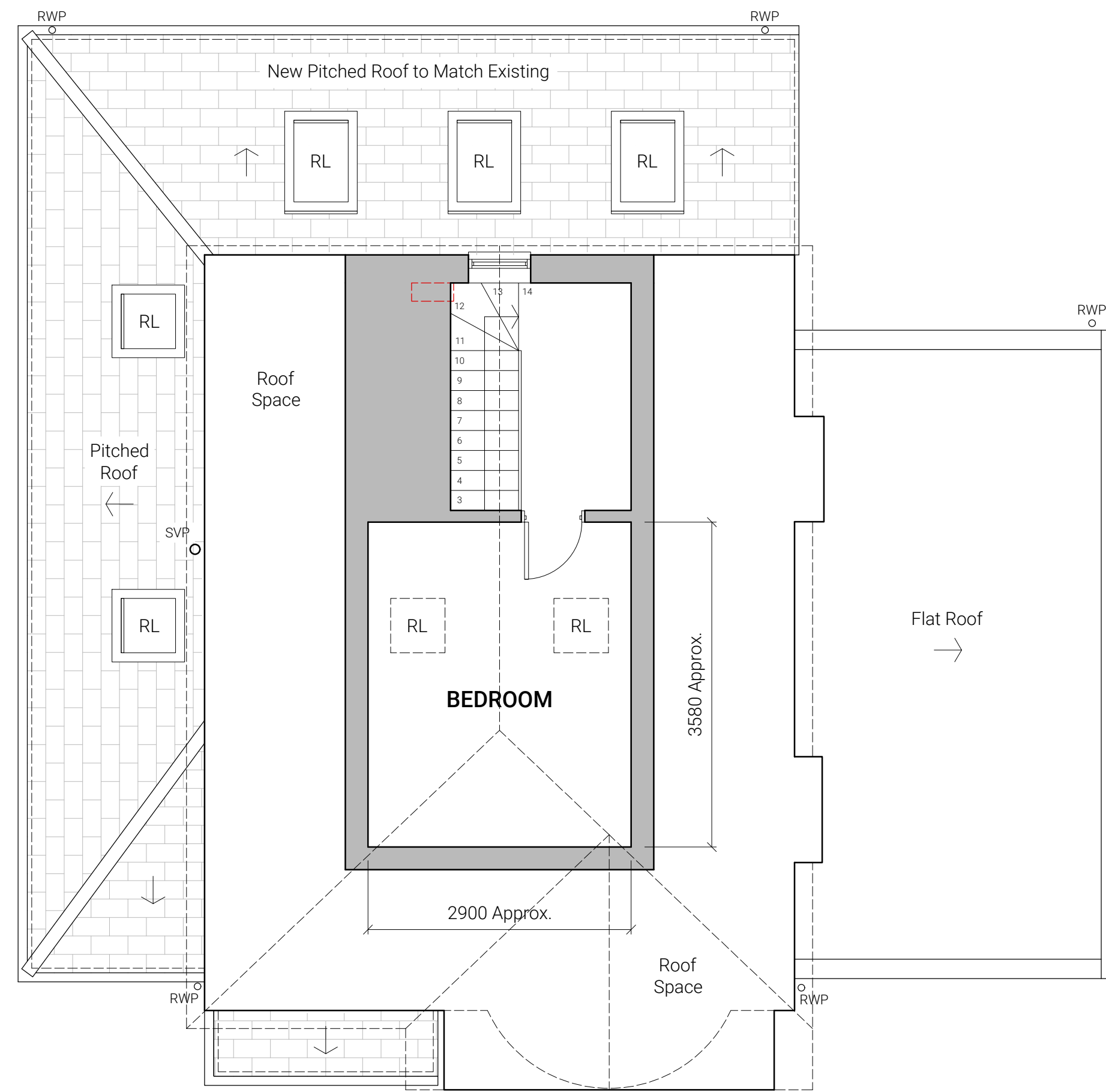




01 Proposed Ground Floor Plan
Scale 1:50 @ A1 / 1:100 @ A3



02 Proposed First Floor Plan
Scale 1:50 @ A1 / 1:100 @ A3



03 Proposed Second Floor Plan
Scale 1:50 @ A1 / 1:100 @ A3

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— Site Boundary
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Rev	Date	Notes
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-	-	-

Client : Mr Steve Evans
Project : 115 Estcourt Road Gloucester GL1 3LN
Ref : 21-014
Title :

Proposed Floor Plans

Date : 05/2022
Scale : 1:50 @ A1 / 1:100 @ A3
Status : PLANNING
Revision :
No. :

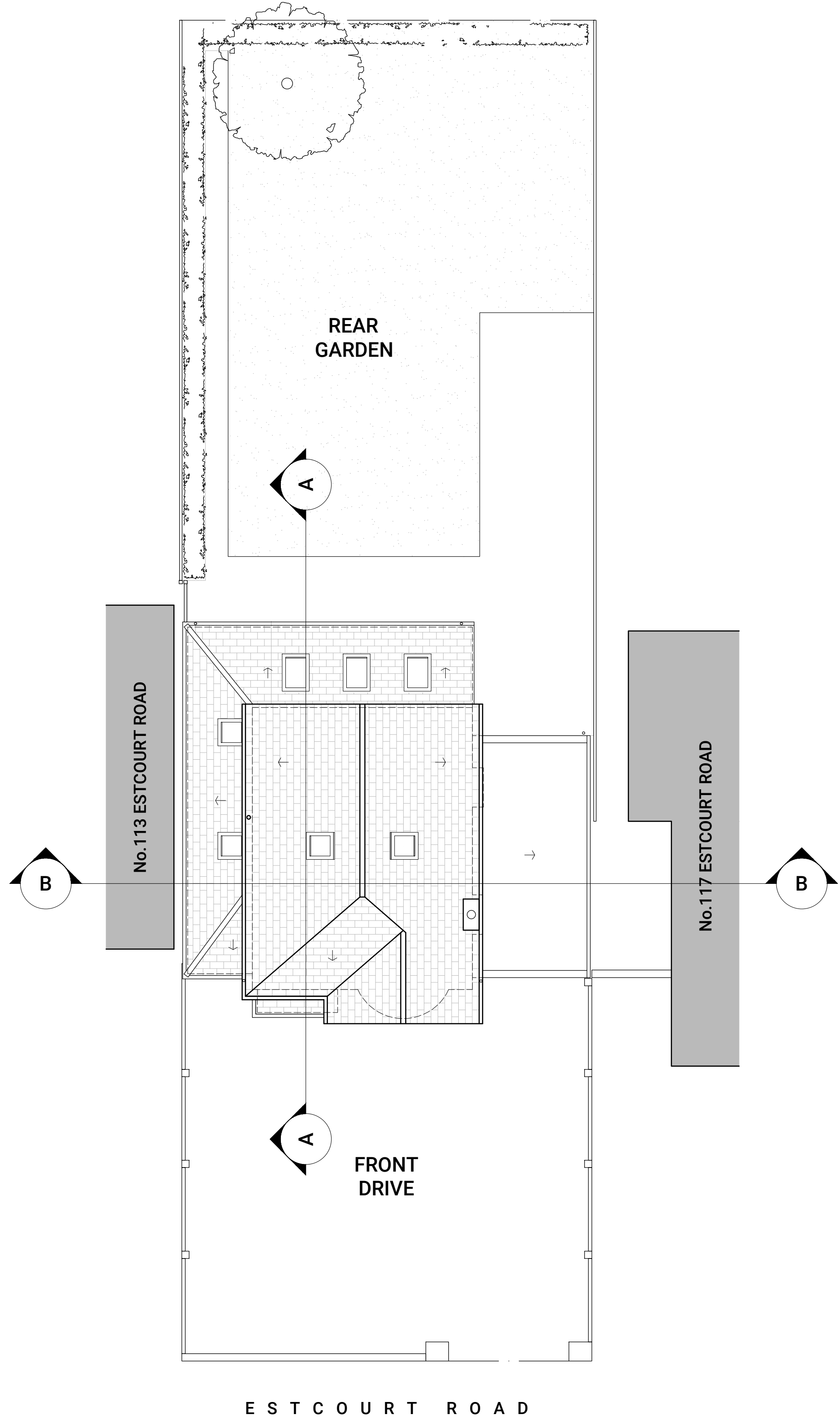
P-100

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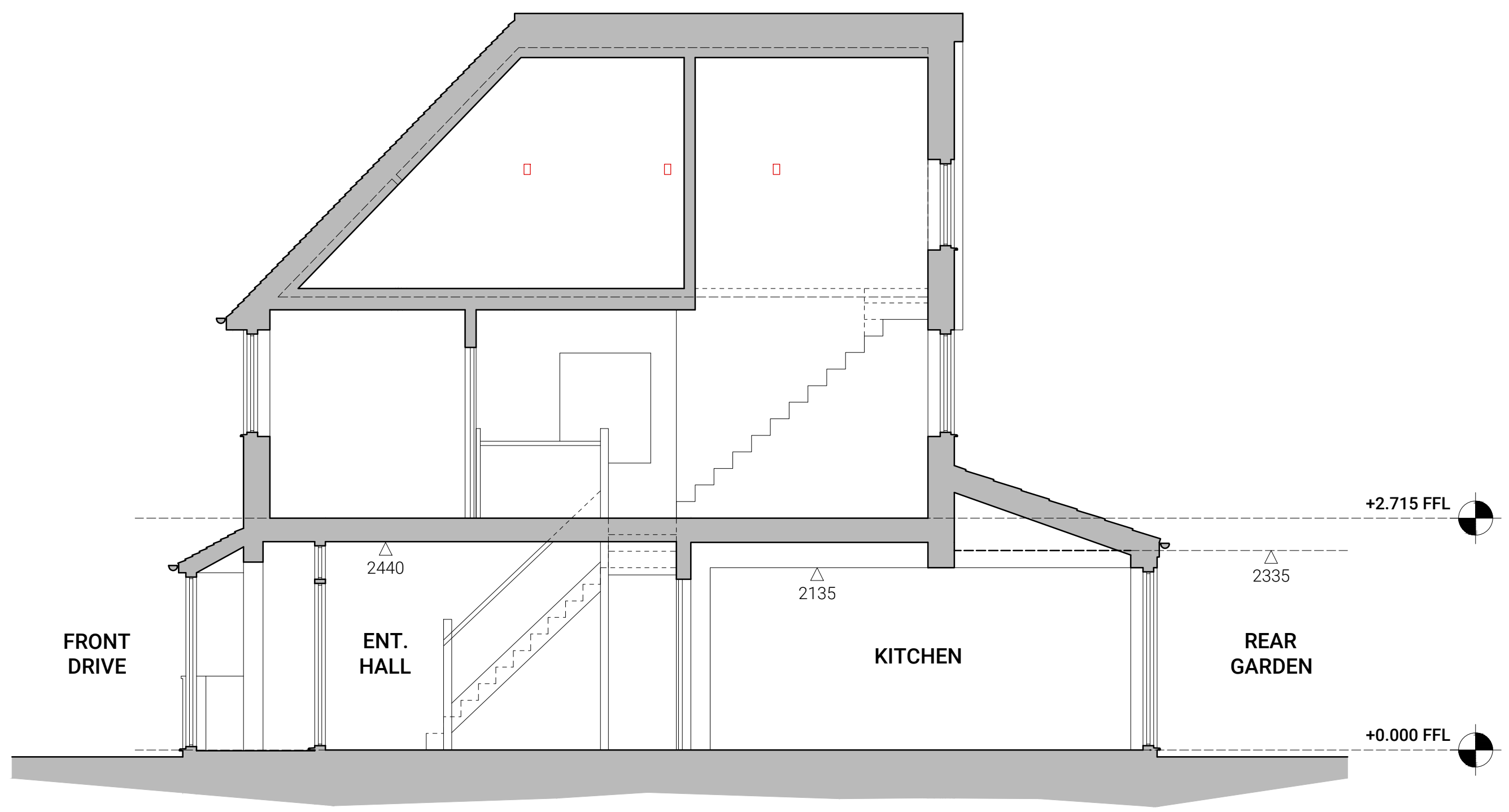
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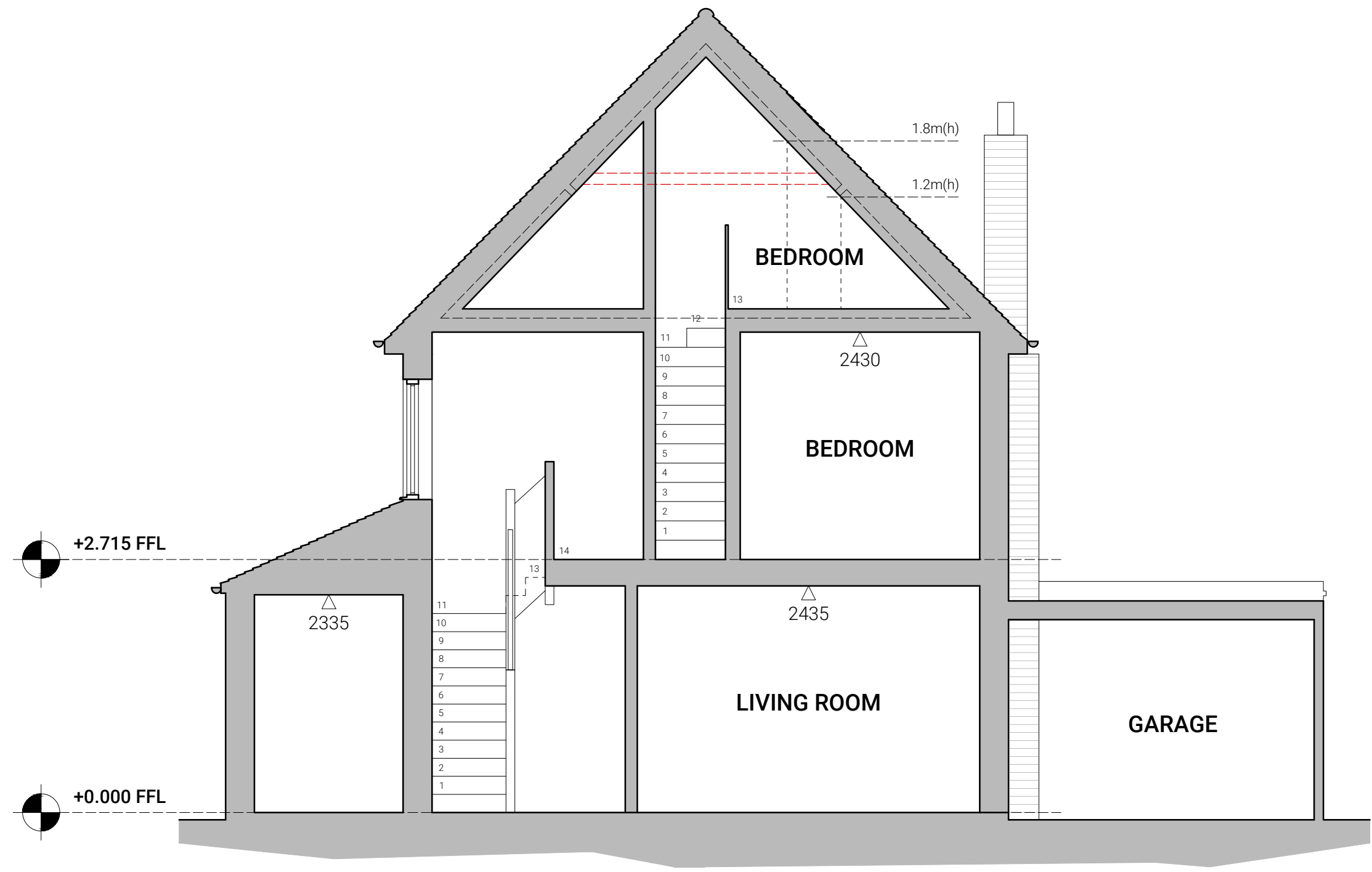
Rev	Date	Notes
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01 Proposed Site Plan
 Scale 1:100 @ A1 / 1:200 @ A3



02 Proposed Section A-A
 Scale 1:50 @ A1 / 1:100 @ A3



03 Proposed Section B-B
 Scale 1:50 @ A1 / 1:100 @ A3

Client :	Mr Steve Evans
Project :	115 Estcourt Road Gloucester GL1 3LN
Ref :	21-014
Title :	

Proposed Roof Plan & Sections

Date :	05/2022
Scale :	As Shown
Status :	PLANNING
Revision :	-
No. :	

P-200

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