

Householder Application for Planning Permission for works or extension to a dwelling.
Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Site Address

Number	46
Suffix	
Property name	
Address line 1	Swift Road
Address line 2	
Address line 3	
Town/city	Gloucester
Postcode	GL4 4XH

Description of site location must be completed if postcode is not known:

Easting (x)	385693
Northing (y)	216139
Description	

2. Applicant Details

Title	Mr & Mrs
First name	
Surname	Murphy
Company name	
Address line 1	46, Swift Road
Address line 2	
Address line 3	
Town/city	Gloucester
Country	

2. Applicant Details

Postcode

Are you an agent acting on behalf of the applicant?

Yes No

Primary number

Secondary number

Fax number

Email address

3. Agent Details

Title

First name

Surname

Company name

Address line 1

Address line 2

Address line 3

Town/city

Country

Postcode

Primary number

Secondary number

Fax number

Email

4. Description of Proposed Works

Please describe the proposed works:

Has the work already been started without consent?

Yes No

5. Materials

Does the proposed development require any materials to be used externally?

Yes No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material):

Walls	
Description of existing materials and finishes (optional):	

5. Materials

Description of proposed materials and finishes:	Walls to be Chartwell green outside, PVCu with clear glass to sides, obscure Charcoal Sticks to boundary side.
Roof	
Description of existing materials and finishes (optional):	
Description of proposed materials and finishes:	Roof to be Ultraframe Classic roof with Activ Blue Climate Guard glass. 2.5 Note glass self cleaning feature will not be effective due to low roof pitch.

Are you supplying additional information on submitted plans, drawings or a design and access statement? Yes No

6. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your proposed development? Yes No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal? Yes No

7. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? Yes No

Is a new or altered pedestrian access proposed to or from the public highway? Yes No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way? Yes No

8. Parking

Will the proposed works affect existing car parking arrangements? Yes No

9. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
- The applicant
- Other person

10. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? Yes No

11. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

11. Authority Employee/Member

It is an important principle of decision-making that the process is open and transparent.

Yes No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

12. Ownership Certificates and Agricultural Land Declaration

CERTIFICATE OF OWNERSHIP - CERTIFICATE A - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run. ** 'agricultural holding' has the meaning given by reference to the definition of 'agricultural tenant' in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person role

- The applicant
 The agent

Title

First name

Surname

Declaration date (DD/MM/YYYY)

Declaration made

13. Declaration

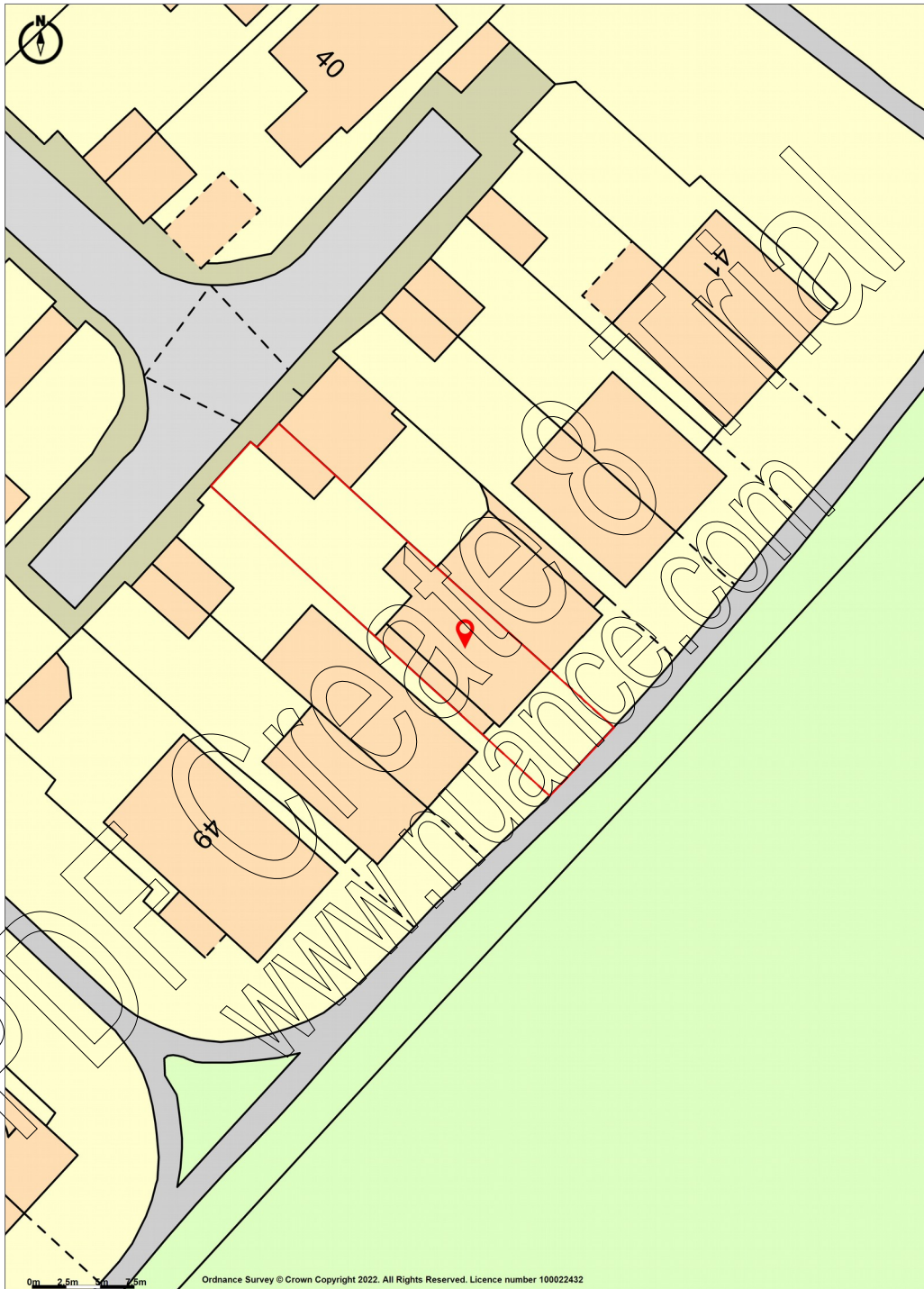
I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

Date (cannot be pre-application)



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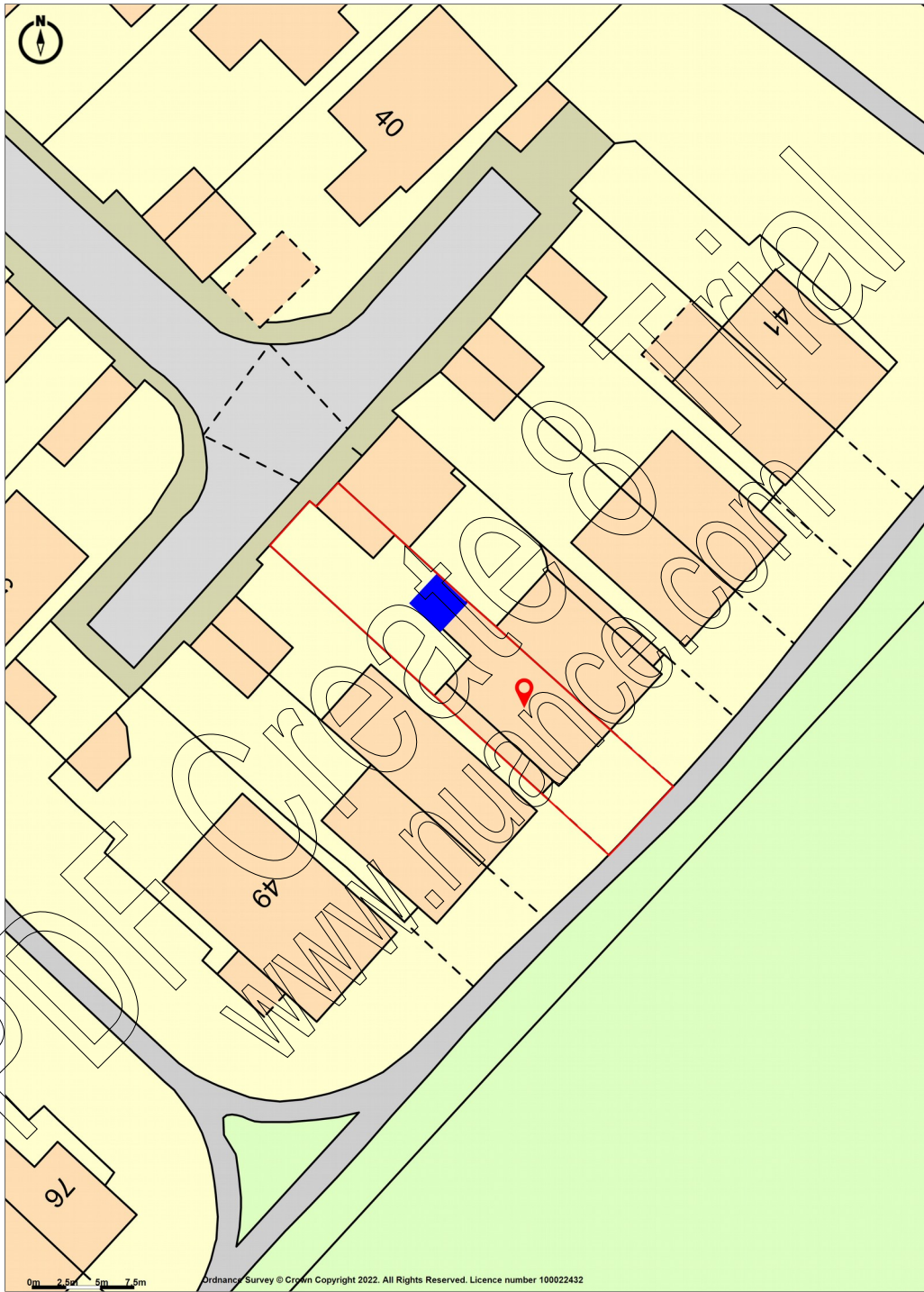
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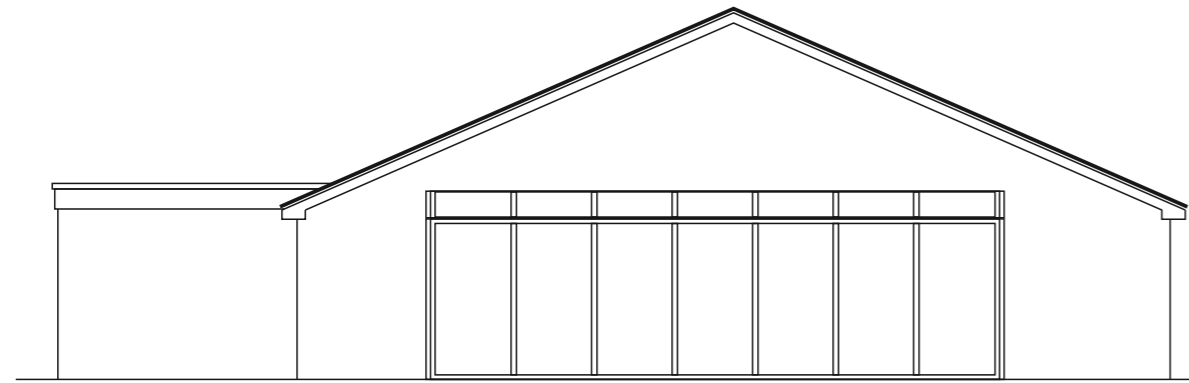
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LANDMARK INFORMATION

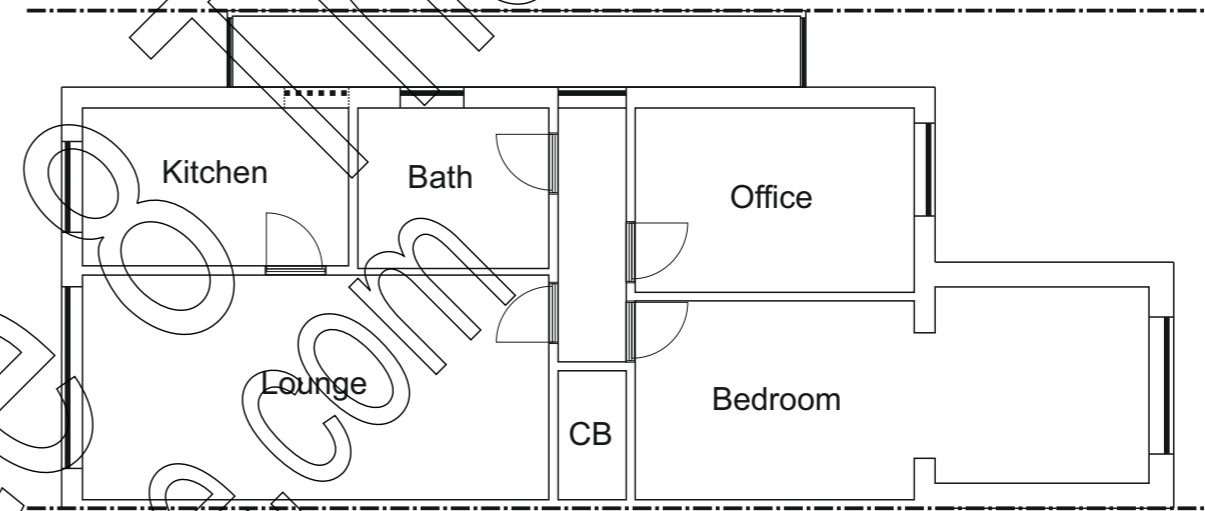
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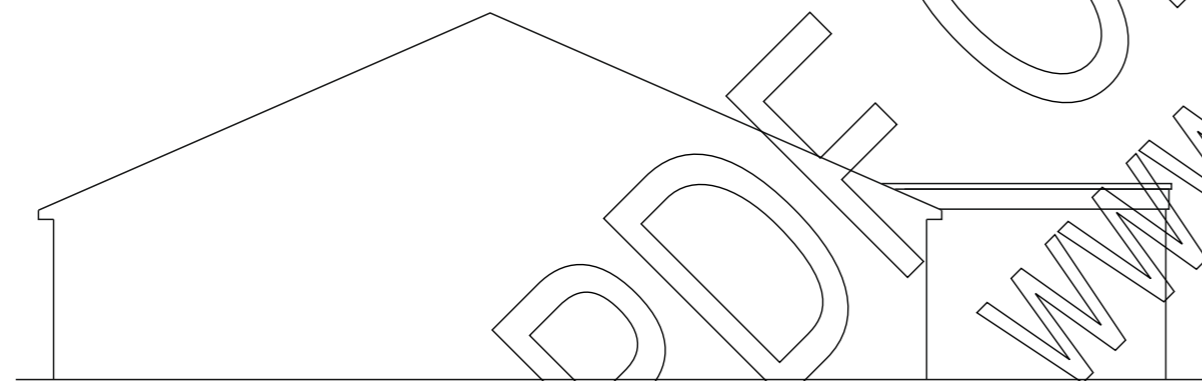


Side



Boundary

Floor Plan



Side



Rear



Customer Signature :

PRINT TO A3

Drawing Number :
20210658

Property Elevation :
Existing

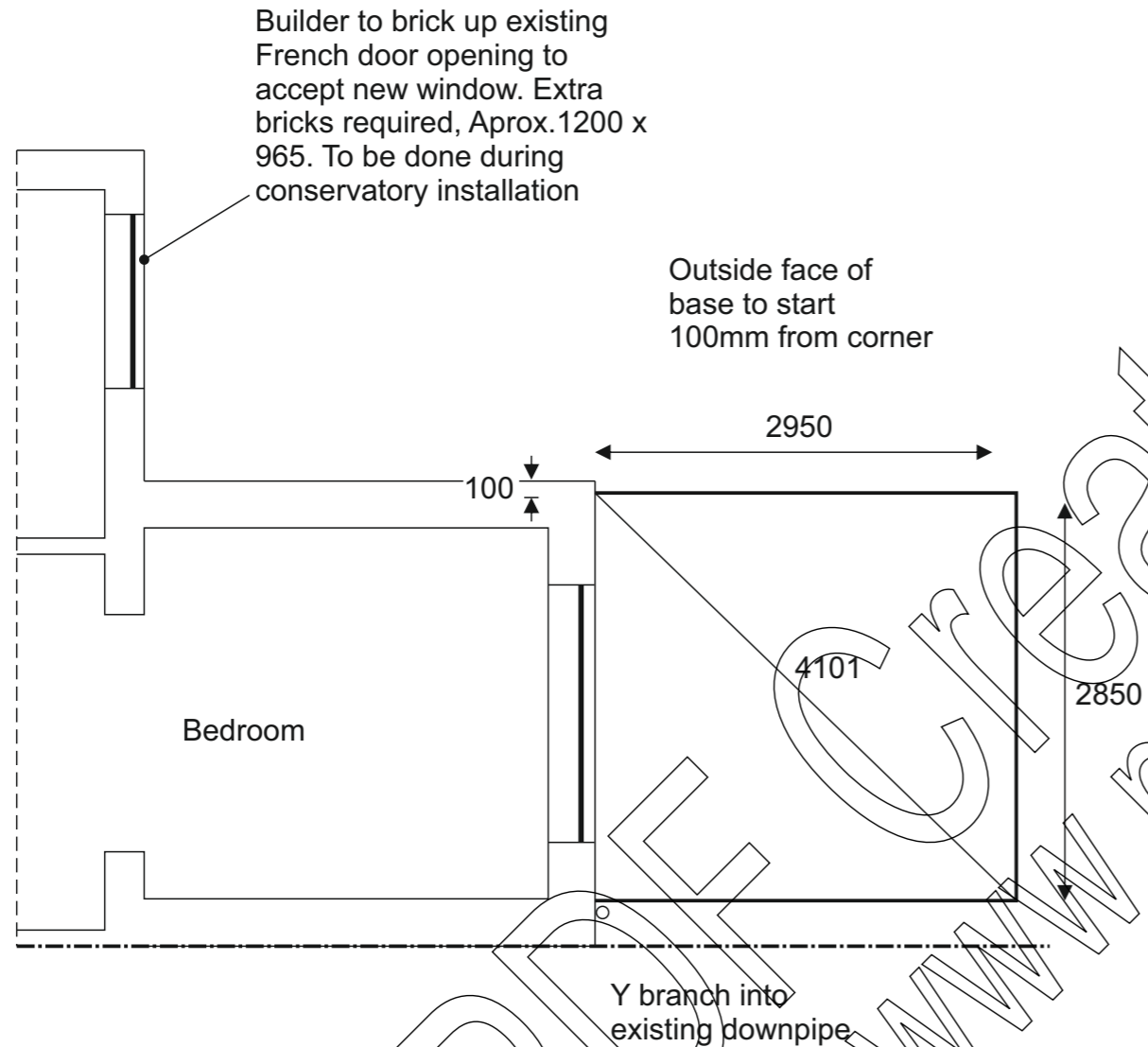
Unit Elevation :

Scale :
1 : 100

Drawn :
Graham Rose

Date : 08/11/2021

Contract Manager :
Graham Rose



All dimensions are to the outside face of the base.

Builders to cover adjoining doors with polythene.

Skip to go on road.

Check house wall for plumb to establish correct datum point.

Foundations to be a minimum depth of 1 metre below ground level.

Base to DPC only, no dwarf wall. Bricks to perimeter to be closest match to main existing property. Additional bricks required to reduce window height.

Floor level to existing DPC height.

Floor insulation.

Lift slabs within perimeter. Make good to perimeter with white gravel. Use existing, customer has more if required.

Difficult access through garage. Narrow garage personnel door, possible hand dig. Build manager to confirm.

Confirm position of garage power supply armoured cable.



Customer Signature :	<u>PRINT TO A3</u>	Drawing Number : 20210658	Property Elevation : Proposed Floor Plan	Unit Elevation : Base Plan	Scale : 1 : 50	Drawn : Graham Rose
					Date : 08/11/2021	Contract Manager : Graham Rose

All dimensions are to the internal ring beam i.e. the internal face of the window frames.

Installers to chase in vertical DPC.

Chartwell green outside, white inside. PVCu with clear glass to sides, obscure Charcoal Sticks to boundary side. Pilkington K / Optiwhite, Intercept warm edge spacer with argon fill.

Ultraframe Classic roof with Activ Blue Climate Guard glass. 2.5°
Note glass self-cleaning feature will not be effective due to low roof pitch.

Firrings required.

Black window and door handles.

Black gutter and down pipe.

Base to DPC only, no dwarf wall. Bricks to perimeter to be closest available match to main existing property.

Floor level to existing DPC height.

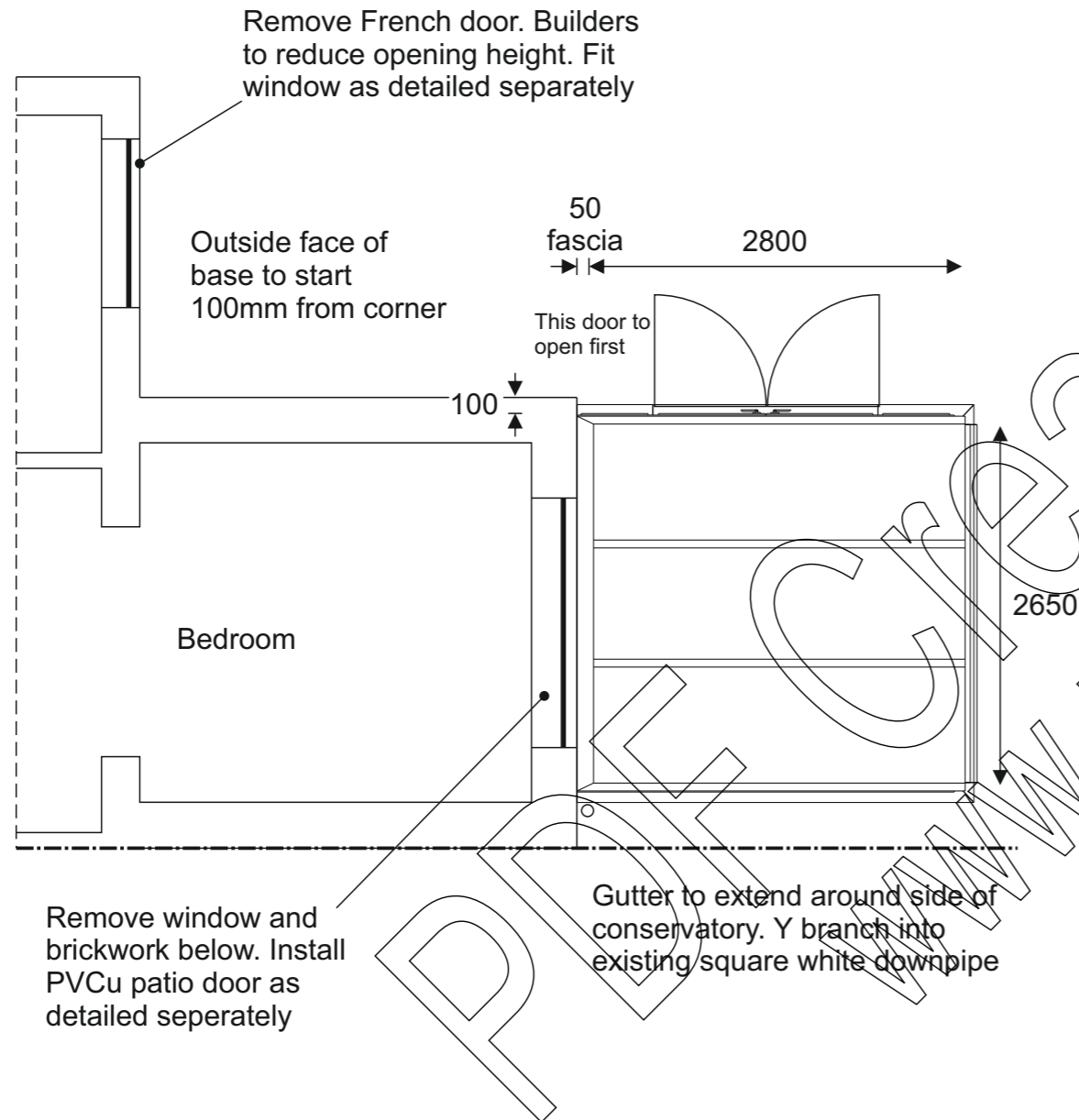
Floor insulation.

Lift slabs within perimeter and dispose of. Make good to perimeter with white gravel. Use existing, customer has more if required.

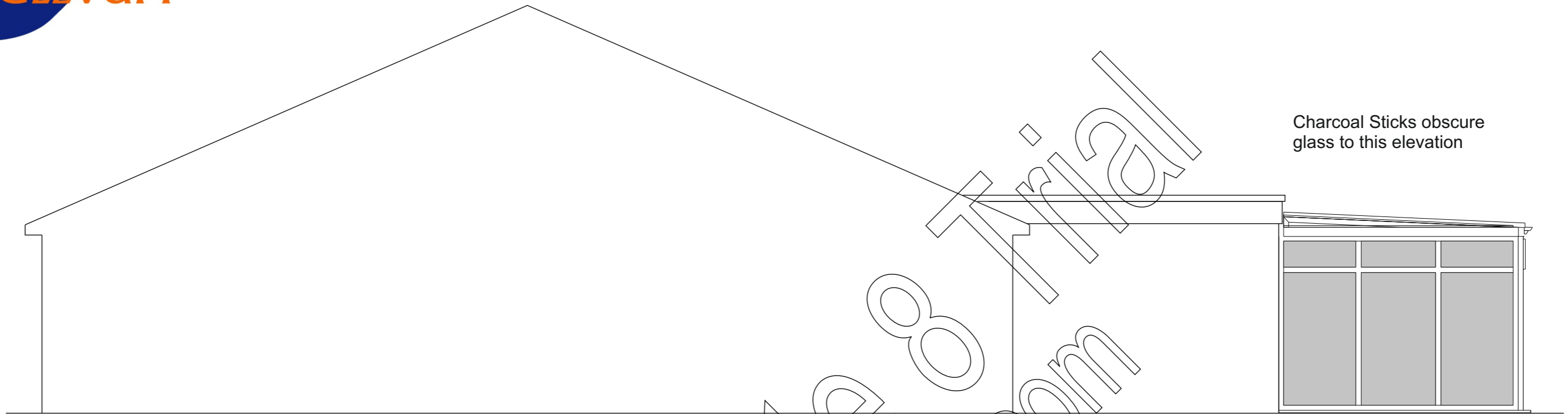
Ceramic floor tiles required, KDP72CB Blanco. Tiler to fit white PVCu quadrant to perimeter.

Customer to remove radiator.

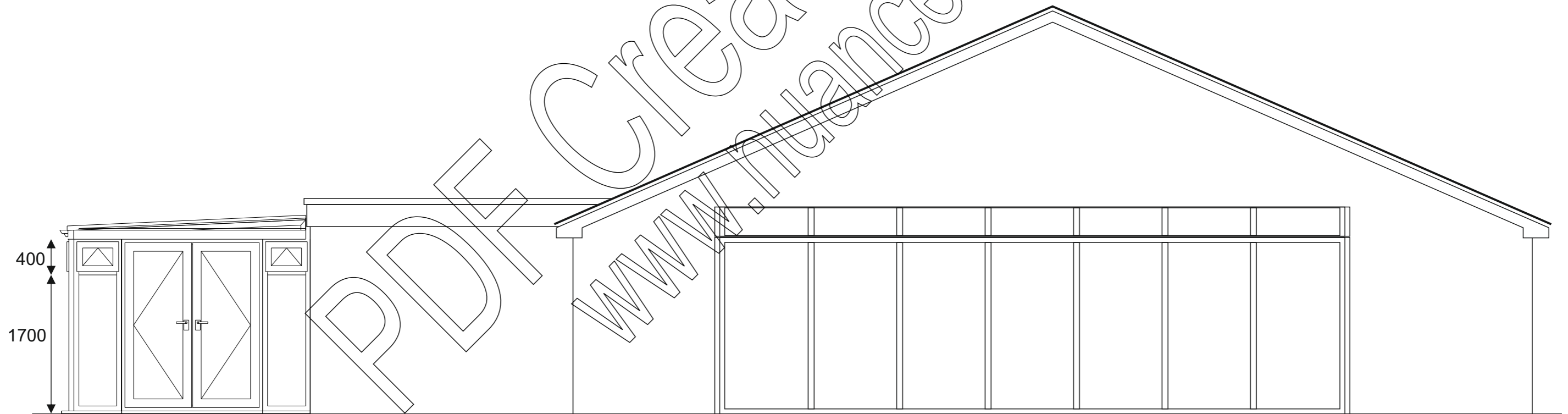
Difficult access through garage. 700 door width.



Customer Signature :	PRINT TO A3	Drawing Number : 20210658	Property Elevation : Floor Plan	Unit Elevation : Roof Plan	Scale : 1 : 50	Drawn : Graham Rose
					Date : 08/11/2021	Contract Manager : Graham Rose



North West Elevation

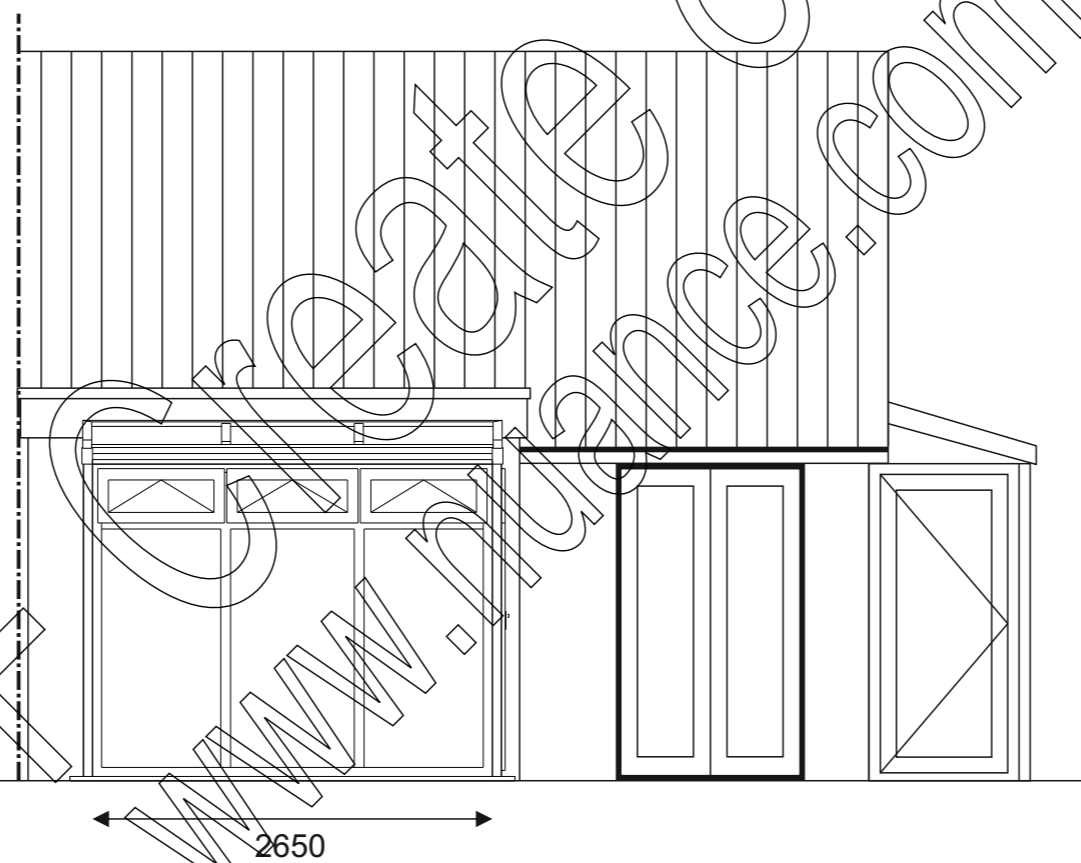


South East Elevation



Customer Signature :	PRINT TO A3	Drawing Number : 20210658	Property Elevation :	Unit Elevation : Side	Scale : 1 : 50 Date : 08/11/2021	Drawn : Graham Rose Contract Manager : Graham Rose
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Fix wall plate to fascia. Lead flashing dressed up under the edge of flat roof felt



Customer Signature :

PRINT TO A3

Drawing Number :
20210658

Property Elevation :
Rear, North East

Unit Elevation :
Front

Scale :
1 : 50

Drawn :
Graham Rose

Date : 08/11/2021

Contract Manager :
Graham Rose