

Householder Application for Planning Permission for works or extension to a dwelling and for relevant demolition of an unlisted building in a conservation area
Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Site Address

Number

Suffix

Property name

Address line 1

Address line 2

Address line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)

Northing (y)

Description

2. Applicant Details

Title

First name

Surname

Company name

Address line 1

Address line 2

Address line 3

Town/city

2. Applicant Details

Country

Postcode

Are you an agent acting on behalf of the applicant?

Yes No

Primary number

Secondary number

Fax number

Email address

3. Agent Details

Title

First name

Surname

Company name

Address line 1

Address line 2

Address line 3

Town/city

Country

Postcode

Primary number

Secondary number

Fax number

Email

4. Description of Proposed Works

Please describe the proposed works:

Has the work already been started without consent?

Yes No

5. Explanation for Proposed Demolition Work

Why is it necessary to demolish all or part of the building(s) and/or structure(s)?

6. Materials

Does the proposed development require any materials to be used externally?

Yes No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material):

Walls	
Description of existing materials and finishes (optional):	brick
Description of proposed materials and finishes:	dark grey timber/weatherboard

Roof	
Description of existing materials and finishes (optional):	
Description of proposed materials and finishes:	match existing

Windows	
Description of existing materials and finishes (optional):	white upvc
Description of proposed materials and finishes:	white upvc

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes No

If Yes, please state references for the plans, drawings and/or design and access statement

PL01, PL02, PL03, PL04 and Design and Access Statement

7. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

Yes No

Is a new or altered pedestrian access proposed to or from the public highway?

Yes No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

Yes No

8. Parking

Will the proposed works affect existing car parking arrangements?

Yes No

9. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your proposed development?

Yes No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

Yes No

10. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
 The applicant
 Other person

11. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes No

12. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

Yes No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

13. Ownership Certificates and Agricultural Land Declaration

CERTIFICATE OF OWNERSHIP - CERTIFICATE A - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run. ** 'agricultural holding' has the meaning given by reference to the definition of 'agricultural tenant' in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person role

- The applicant
 The agent

Title

First name

Surname

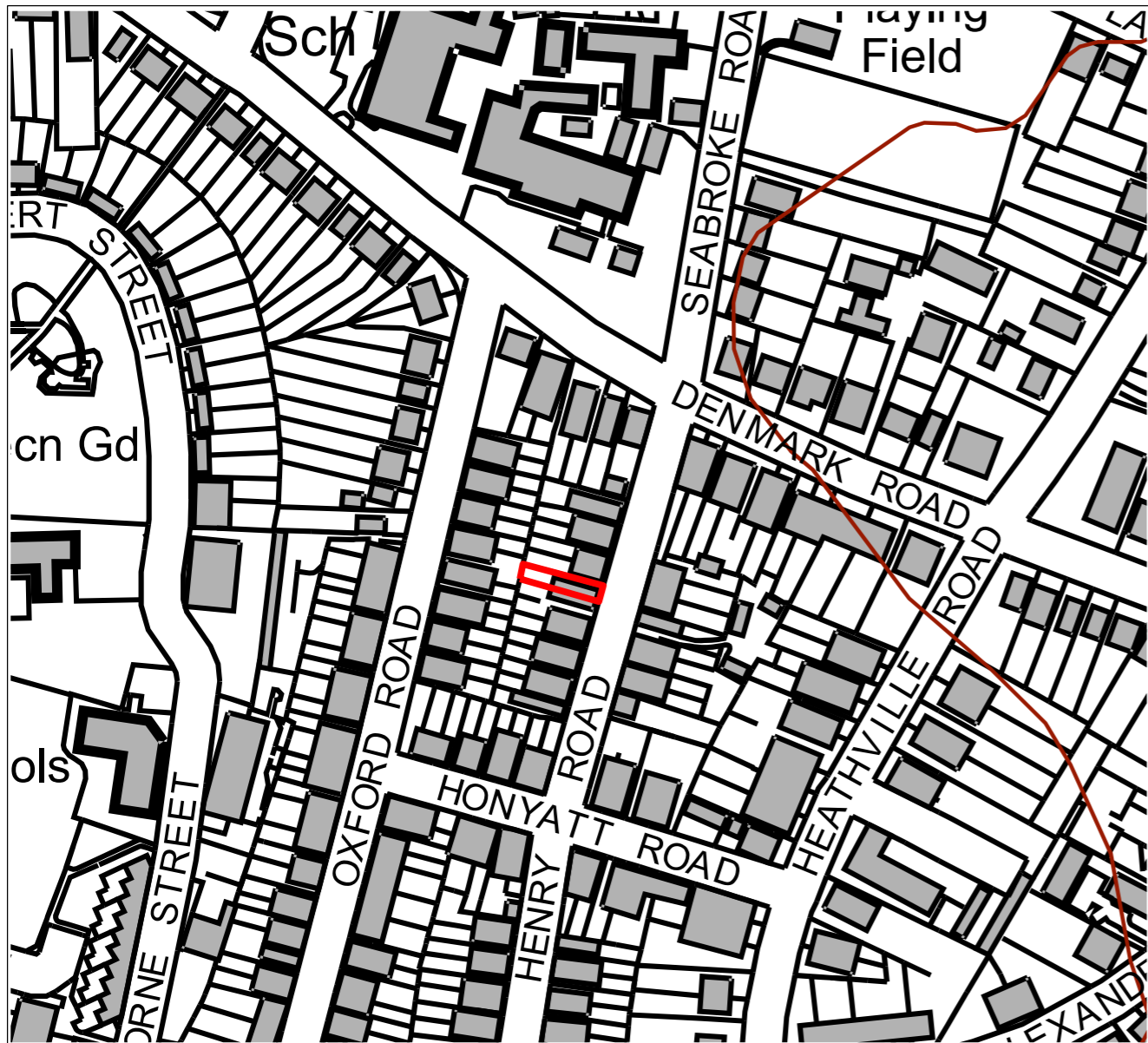
Declaration date (DD/MM/YYYY)

Declaration made

14. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

Date (cannot be pre-application)



Location Plan Scale 1:1250



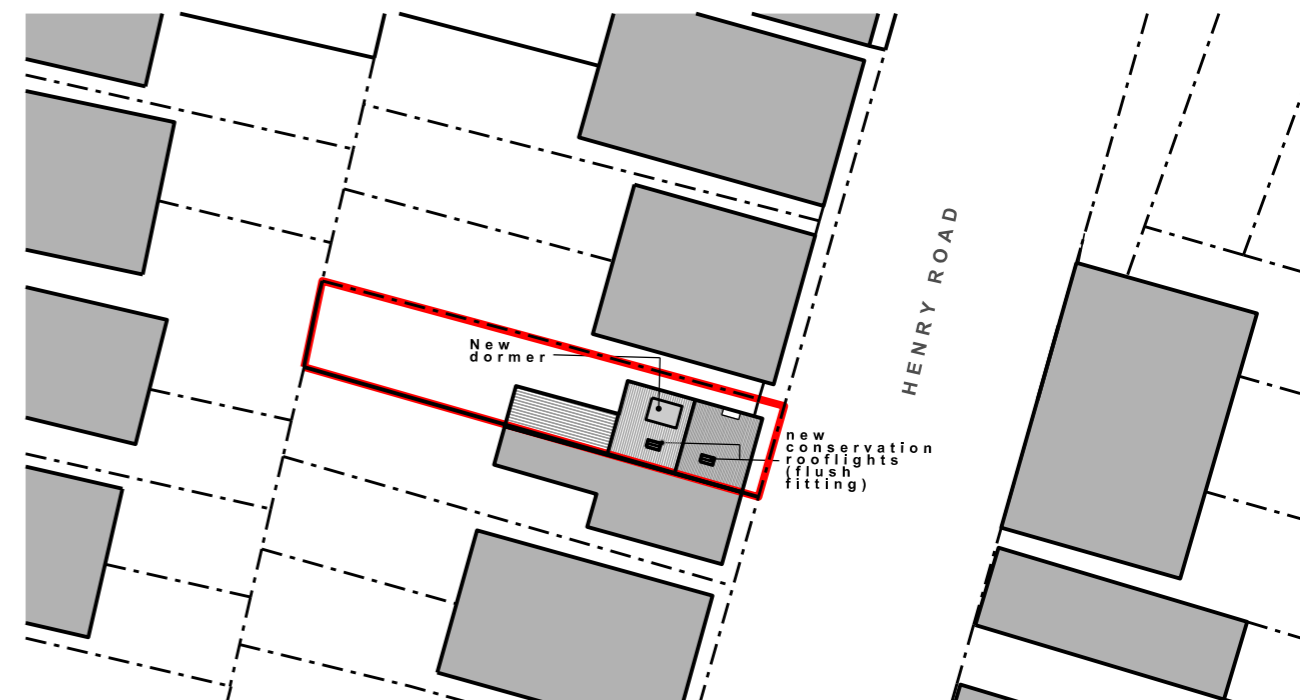
Front View



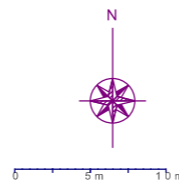
Rear View



Existing Site Layout Scale 1:500



Proposed Site Layout Scale 1:500



Forde Architecture

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Client: Bretherton

Project: 55 Henry Road | Gloucester

Orientation:


Drawing Title: Location Plan & Existing and Proposed Site/Block Plans

Date: November 2021

Sheet: 55 Henry | P01b

Scale: Varies

6 College Green
Gloucester
GL1 2LX



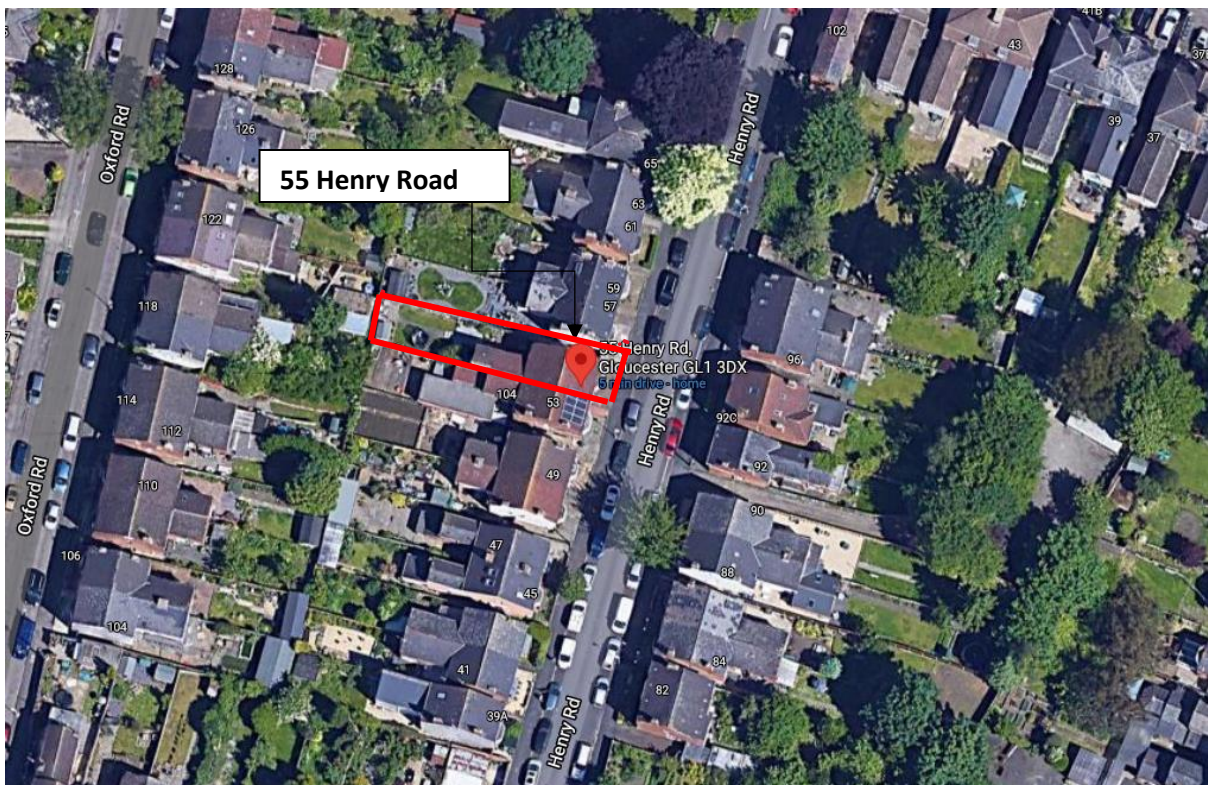
Forde | Architecture

55 Henry Road
Gloucester
GL1 3DX

Design, Planning & Access Statement
November 2021

Contents

1. Introduction
2. Planning History
3. Use / History
4. Amount
5. Layout
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7. Appearance
8. Access



1. Introduction

This design, access and justification statement has been prepared on behalf of Lucy Bretherton and her family. This property consists of a semi-detached brick dwelling over two levels with a loft room located off Henry Road in Gloucester within the Denmark Road conservation area. The property is situated just to the northeast of the city centre and is semi-detached. The house is bound by number 53 and timber fencing along the south with a rear garden bound by timber fencing.

Ms. Bretherton moved into the property in 2014 with her family and now that the children are older, they wish to have separate bedrooms which is the intention of the proposed loft conversion. The loft is currently used as a play room and storage.



Rear view

2. Planning History

We are not aware of any planning applications made on this property prior to the previous proposal for two roof dormers and a front conservation roof light being refused in July 2021 with reference: 21/00901/FUL with comments below:

The rear dormer windows, by virtue of their scale, design and prominence would appear incongruous with the character of the host dwelling and out of keeping with the character and appearance of the street scene and wider area. This coupled with the size and design of the front rooflight would fail to preserve or enhance the character and appearance of the Denmark Road Conservation Area. Therefore, the proposed development would have a harmful impact on the character of the host dwelling and the surrounding Conservation Area contrary to Policies SD4 and SD8 of the Gloucester, Cheltenham and Tewkesbury Joint Core Strategy (December 2017), Policies A9 and D1 of the Pre-Submission Gloucester City Plan (2019), The Gloucester City Council Home Extension Guide Interim Adoption Supplementary Planning Document (2008) and the guidance contained within the National Planning Policy Framework (2021) and section 72 of the Planning (Listed Building and Conservation Area) Act 1990.

In response to these comments and further to a conversation with Conservation Officer Kate Biggs, the Client has revised the proposal to accommodate only one rear dormer significantly reduced in size. A simple flat roof with metal cladding will allow this dormer appear less noticeable although the rear of this property is still not

visible from the a public road. A small conservation style roof light is proposed to the front of the property which is seen throughout Henry Road as per the photos below. A small conservation style roof light is also proposed to the rear to allow adequate light and means of escape to the bedroom/loft space.



Roof lights seen on the front elevation of properties on Henry Road, some conservation style and some standard



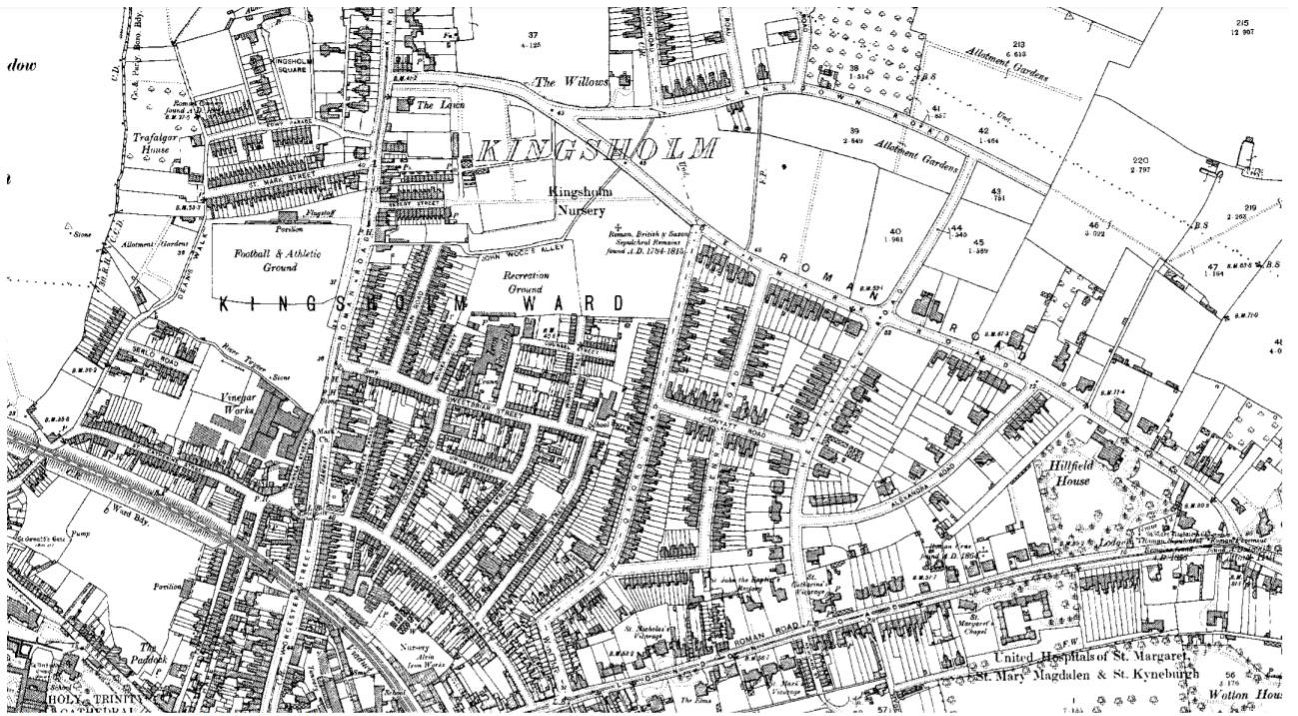
Dormers to the rear of two properties on Heathville Road (view from Honyatt Rd)



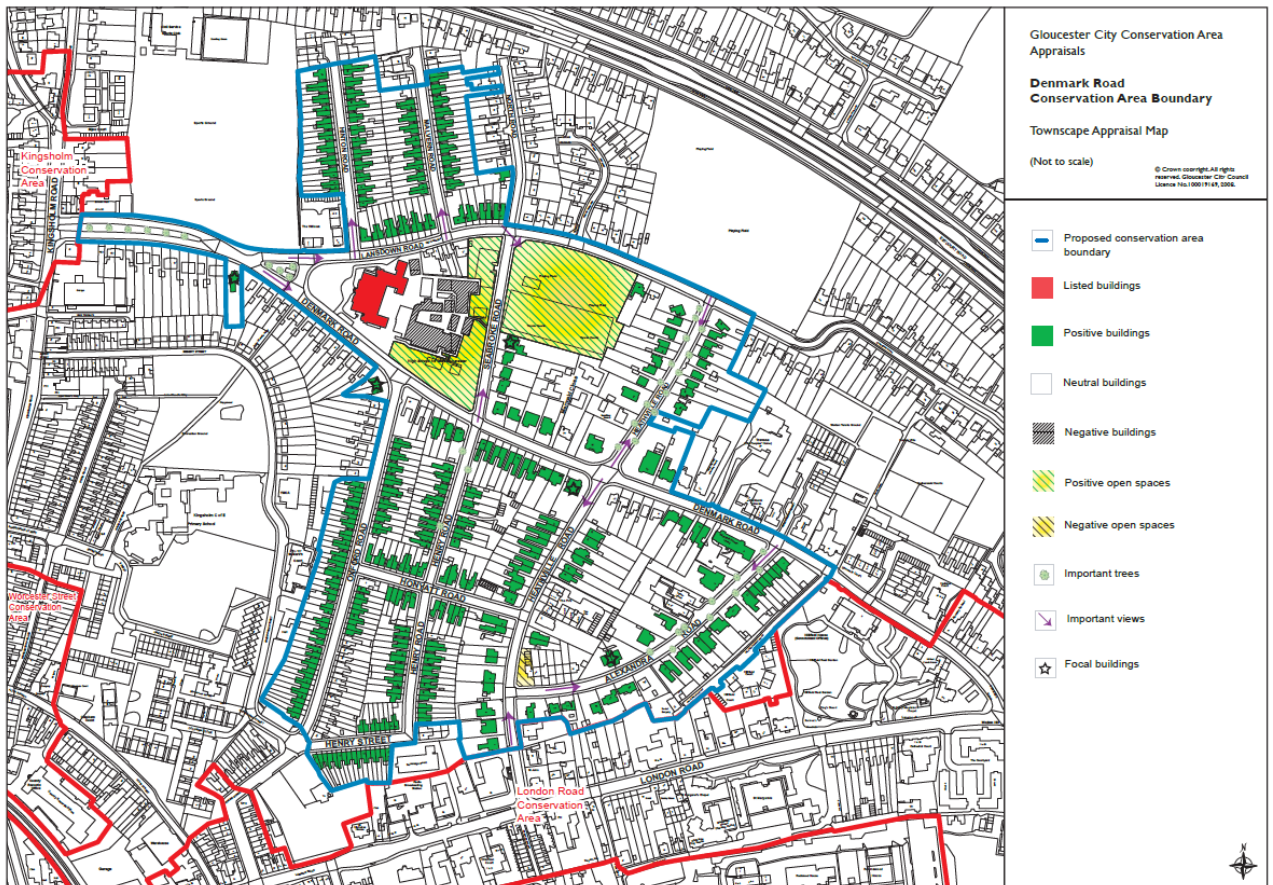
A dormer to the front is also seen on Henry Road albeit most-likely installed prior to the area becoming a Conservation Area.

3. Use / History

The house was built in the late 1800s as shown on the historic map from 1902. We are not aware of any planning applications made on this property. The building has always been used as a single-family home to our knowledge and will continue to be used in that way if the improvements to the loft space can be carried out.



1/2500 Ordnance Survey map 1902.



4. Amount

The proposal includes a new conservation style rooflight to the front and one to the rear and one flat-roof dormer to the rear allowing for a loft conversion accommodating a bedroom and en-suite with new stairs leading to the room.

5. Layout

The current room is only accessed by a hatch and is not to current building regs standards. The new stairs are proposed over the existing stairs to maintain fluid circulation throughout the house. The proposed dormer would allow for the loft to accommodate enough space for a shower room and double bedroom.

6. Scale

The proposed new dormer roof will sit lower than the highest part of the existing roof. The front wall of the dormer will sit back significantly from the edge of the eaves in order to reduce its size.

7. Appearance

The materials proposed for the rear dormer include a dark grey metal cladding to help dissolve into the colour of the roof. The window frames are black for the dormers and dark grey on the conservation style rooflight. See below a few dormers seen from the street in this area:



Access

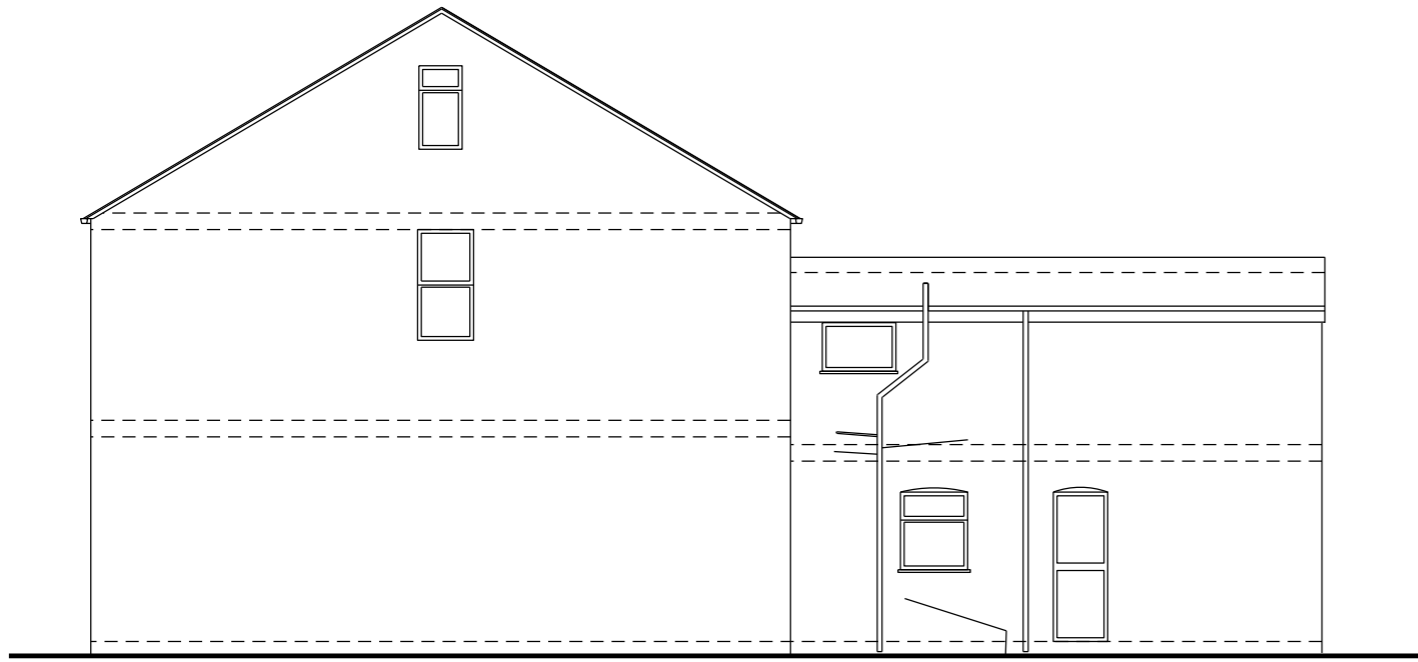
The property allows for off street parking from Henry Road. There is no change to any access to the property.

Thank you for your time and consideration in the proposal.

Kind regards,

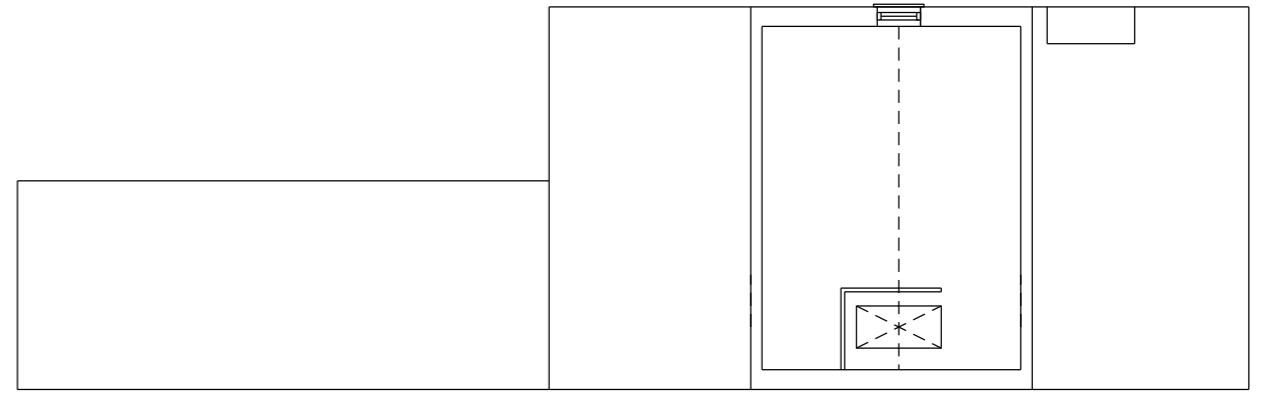
Denise Gooding

Forde | Architecture

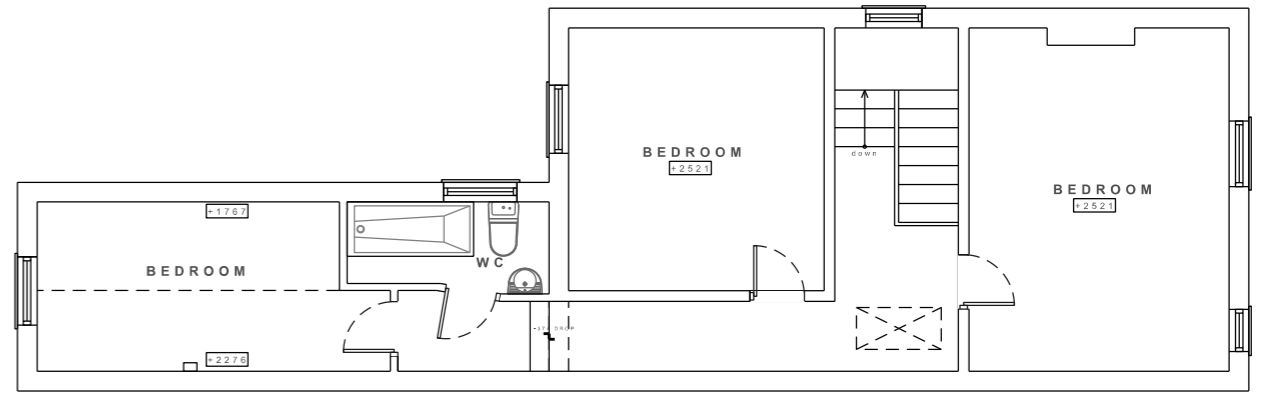


EXISTING FRONT ELEVATION

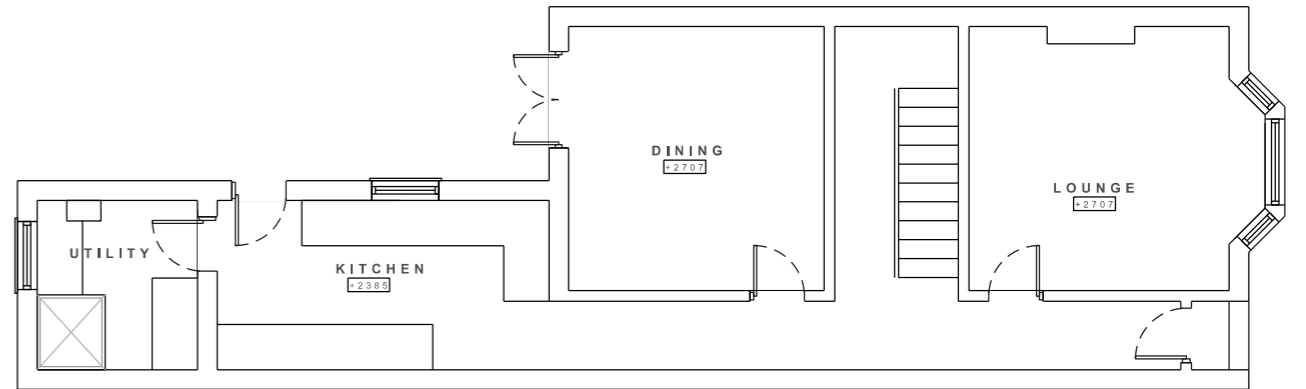
EXISTING REAR ELEVATION



EXISTING LOFT PLAN



EXISTING FIRST FLOOR PLAN



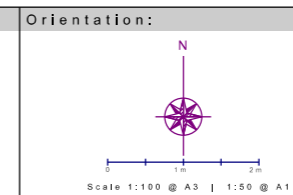
EXISTING GROUND FLOOR PLAN

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Client:
Bretherton

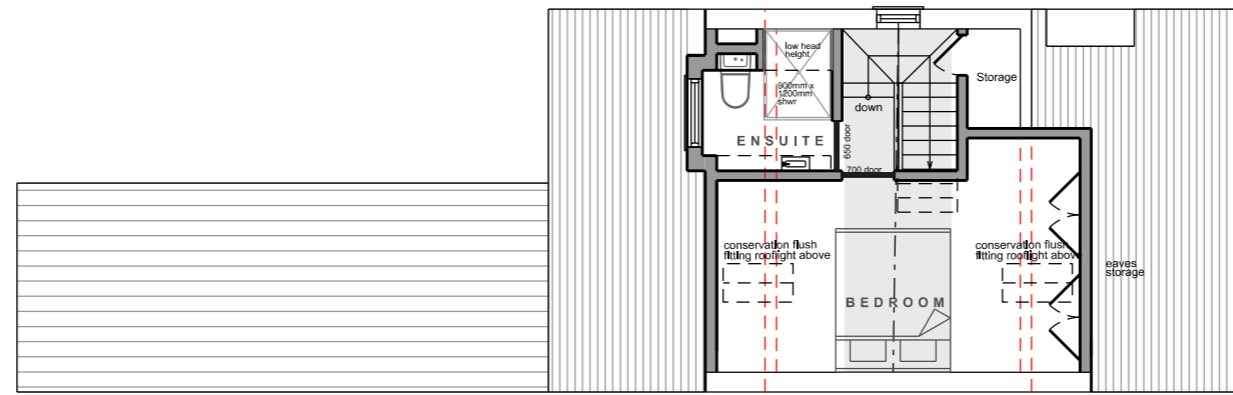
Project:
55 Henry Road | Gloucester



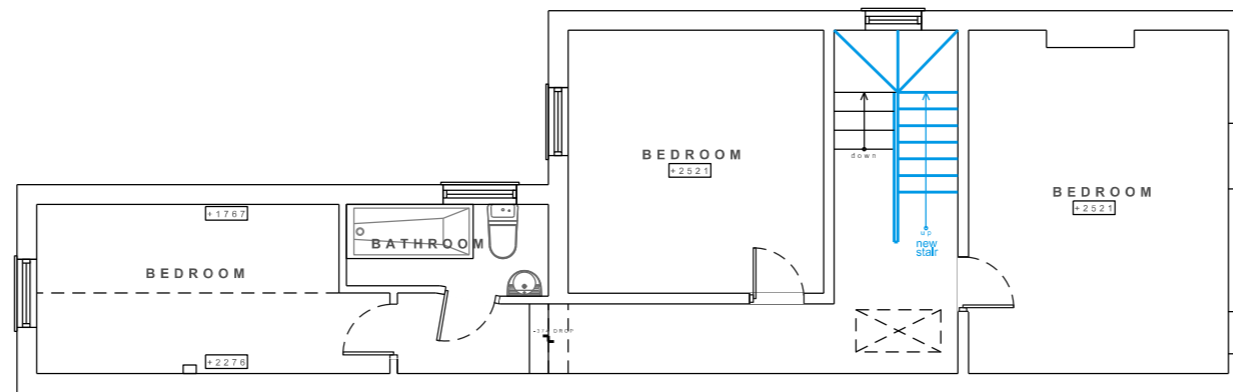
Drawing Title:
Existing Floor Plans & Elevations

Date:
July 2021

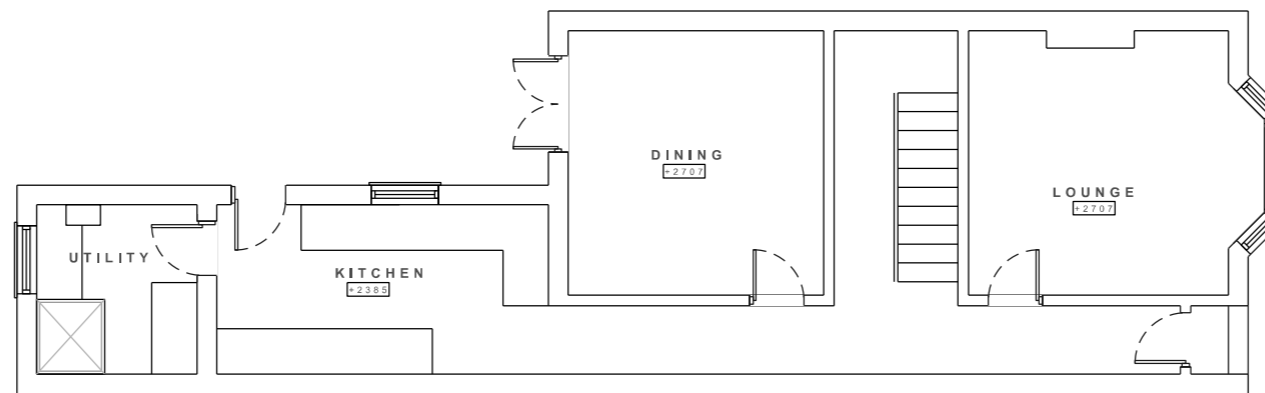
Sheet:
55 Henry |
P 0 2



PROPOSED SECOND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN



GROUND FLOOR PLAN (NO CHANGE)

