

## Householder Application for Planning Permission for works or extension to a dwelling

### Town and Country Planning Act 1990 (as amended)

#### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

### Site Location

**Disclaimer:** We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)  Northing (y)

Description

## Applicant Details

### Name/Company

Title

Mr and Miss

First name

Surname

Whiddon and Cosgrave

Company Name

### Address

Address line 1

115 The Wheatridge East

Address line 2

Address line 3

Gloucestershire

Town/City

Gloucester

Country

Postcode

GL4 5DW

Are you an agent acting on behalf of the applicant?

Yes

No

### Contact Details

Primary number

Secondary number

Fax number

Email address

## Agent Details

### Name/Company

Title

First name

Surname

Company Name

### Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

### Contact Details

Primary number

Secondary number

Fax number

Email address

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## Description of Proposed Works

Please describe the proposed works

Conversion of garage to provide accommodation for aged relative

Has the work already been started without consent?

- Yes  
 No

## Materials

Does the proposed development require any materials to be used externally?

- Yes  
 No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

<p><b>Type:</b> Walls</p> <p><b>Existing materials and finishes:</b> facing brick</p> <p><b>Proposed materials and finishes:</b> Infill areas to be in facing brick to match existing</p>
<p><b>Type:</b> Roof</p> <p><b>Existing materials and finishes:</b> interlocking concrete tiles</p> <p><b>Proposed materials and finishes:</b> tile hung to match existing</p>

Are you supplying additional information on submitted plans, drawings or a design and access statement?

- Yes  
 No

If Yes, please state references for the plans, drawings and/or design and access statement

Application comprises of two A1 size drawings which include location and block plans drawing numbers 7744/01 and 7744/03 Rev B inclusive refer

## Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

- Yes  
 No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

- Yes  
 No

## Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

- Yes  
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes  
 No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

- Yes  
 No

## Parking

Will the proposed works affect existing car parking arrangements?

- Yes  
 No

If Yes, please describe:

Garage will be lost but three on-site parking spaces will remain

## Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes  
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent  
 The applicant  
 Other person

## Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes

No

**If Yes, please complete the following information about the advice you were given (this will help the authority to deal with this application more efficiently):**

Officer name:

Title

First Name

Surname

Reference

Date (must be pre-application submission)

Details of the pre-application advice received

## Authority Employee/Member

**With respect to the Authority, is the applicant and/or agent one of the following:**

(a) a member of staff

(b) an elected member

(c) related to a member of staff

(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

Yes

No

## Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes  
 No

Is any of the land to which the application relates part of an Agricultural Holding?

- Yes  
 No

## Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner\* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding\*\*

\* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

\*\* "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

**NOTE:** You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

- The Applicant  
 The Agent

Title

Mr and Miss

First Name

Surname

Whiddon and Cosgrave

Declaration Date

24/10/2022

Declaration made

## Declaration

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

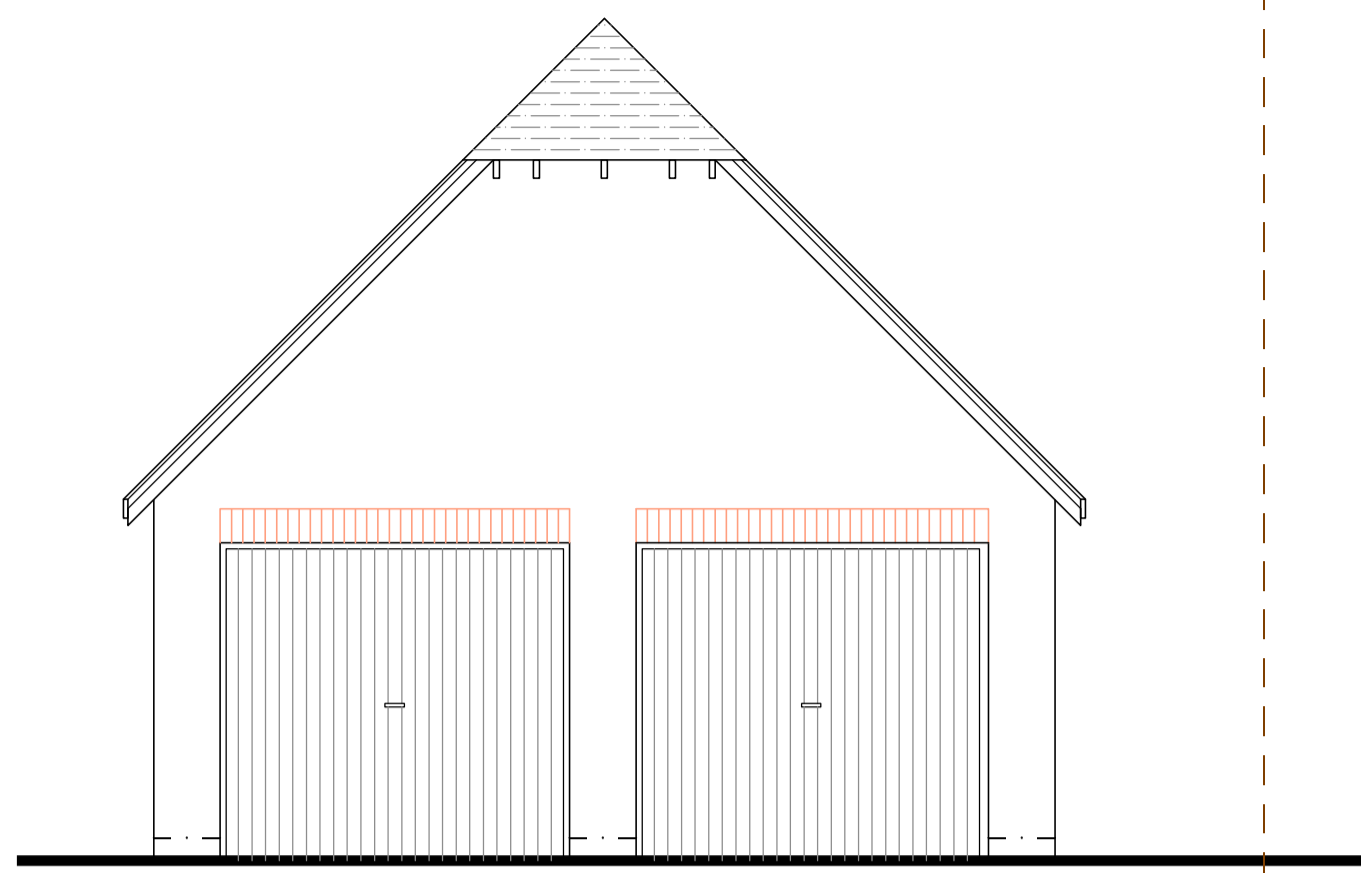
Graham Barker-Dench

Date

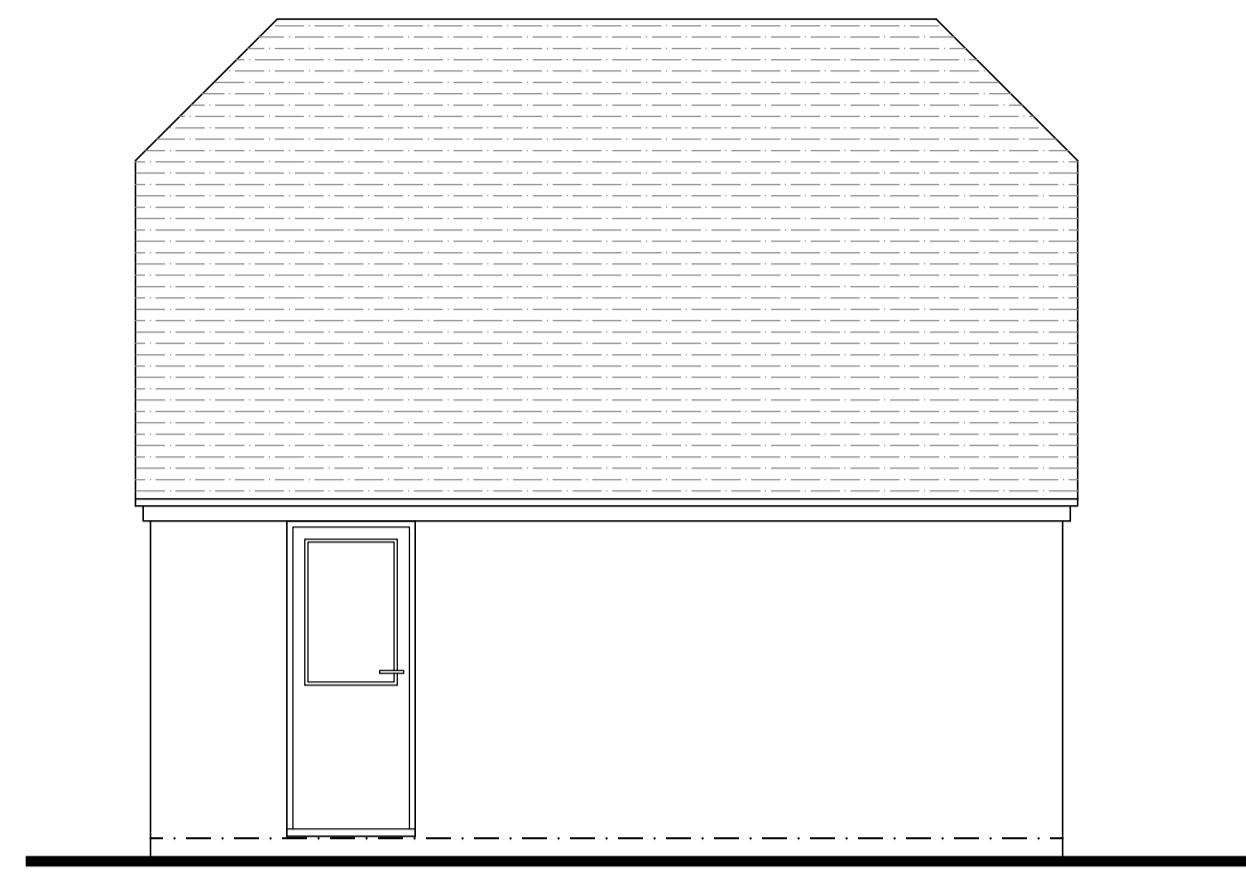
24/10/2022



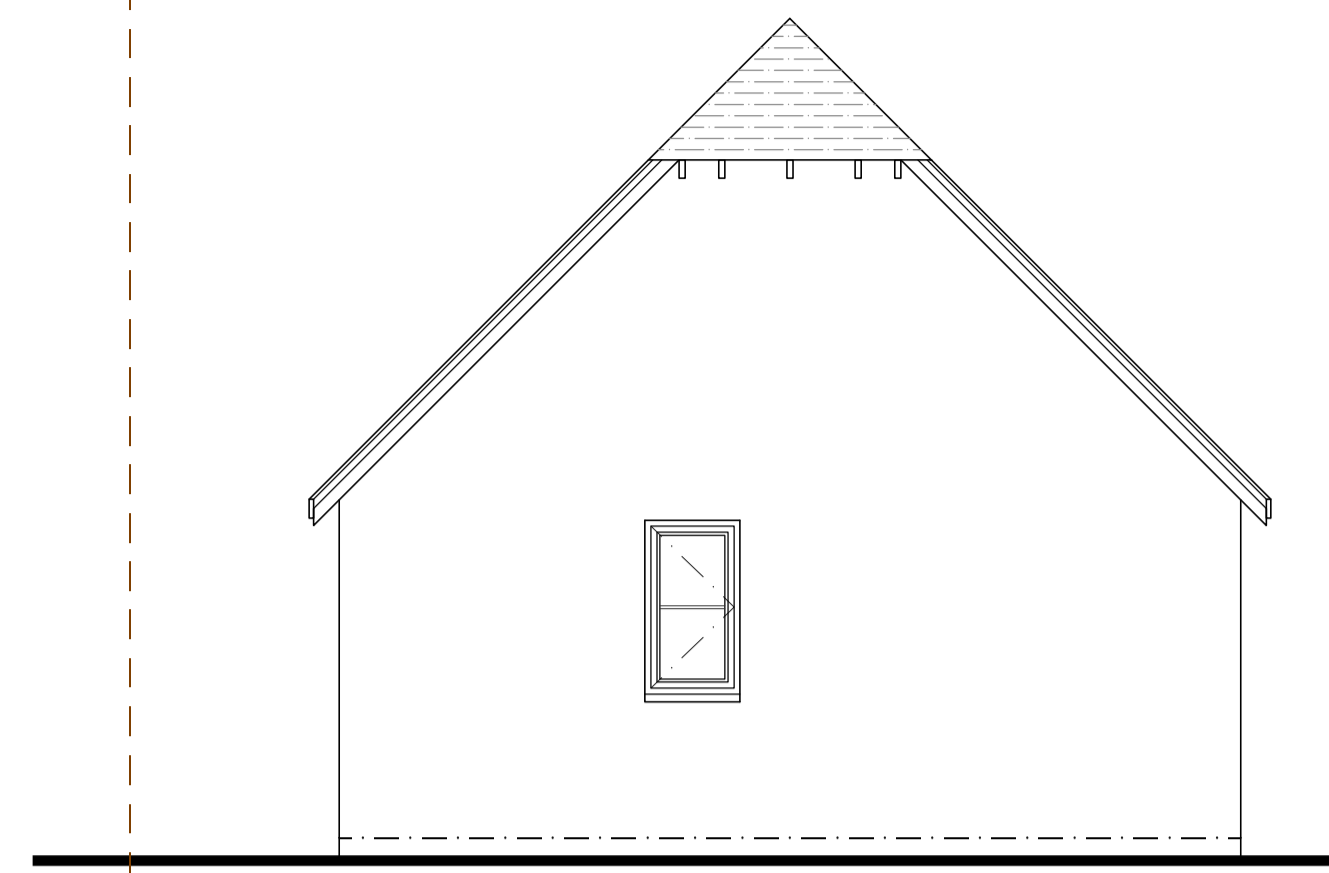




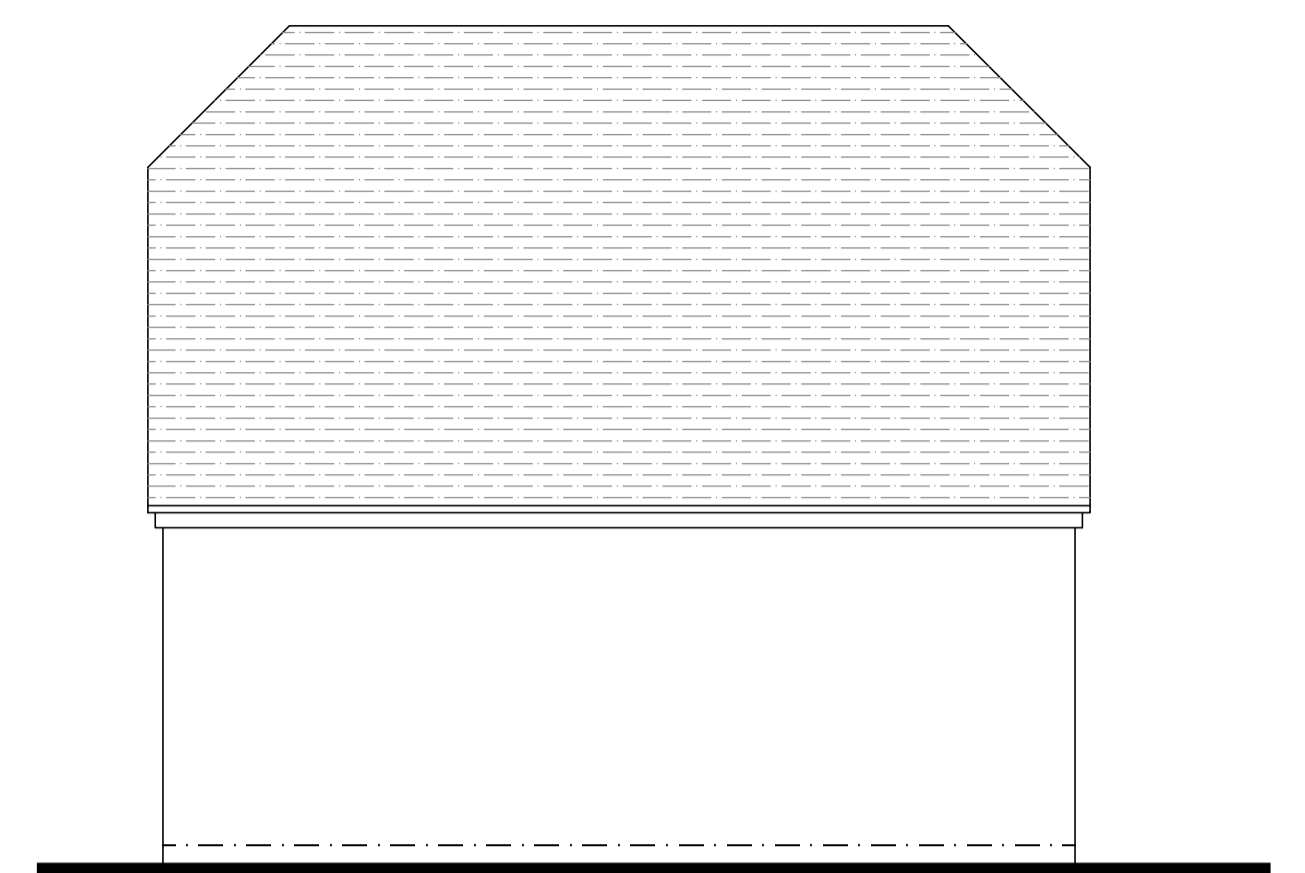
Existing Front Elevation



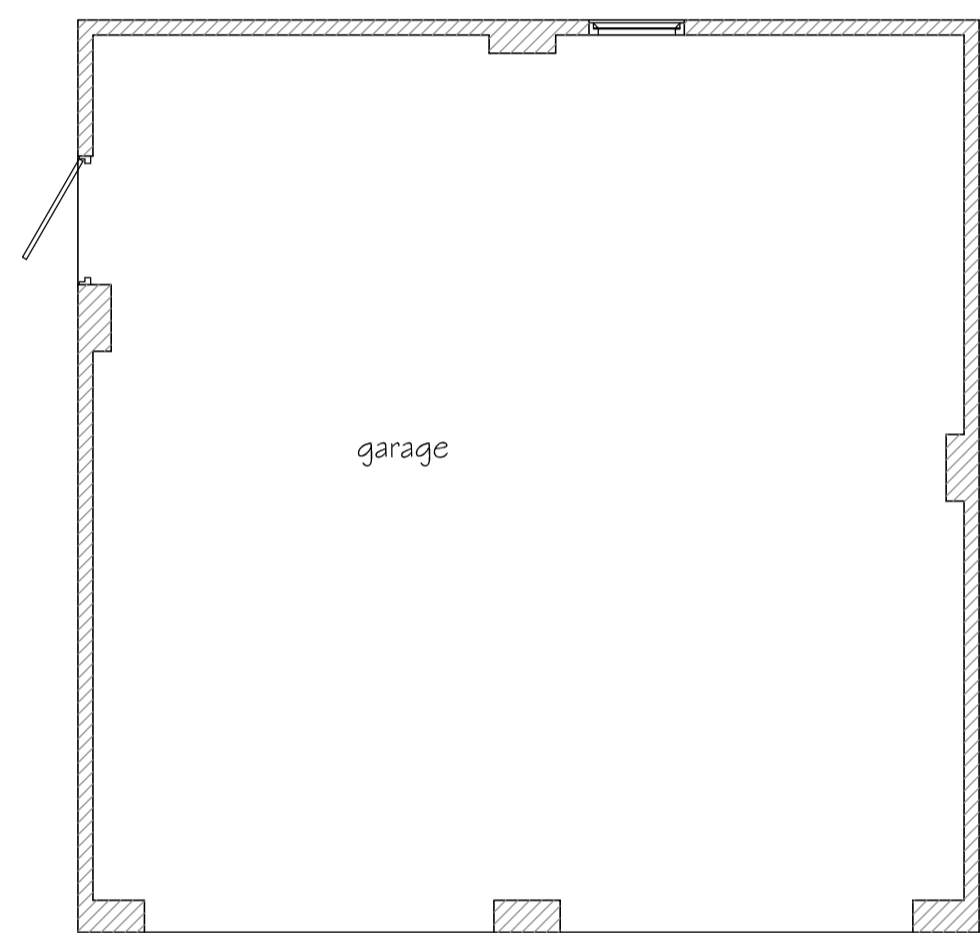
Existing Side Elevation



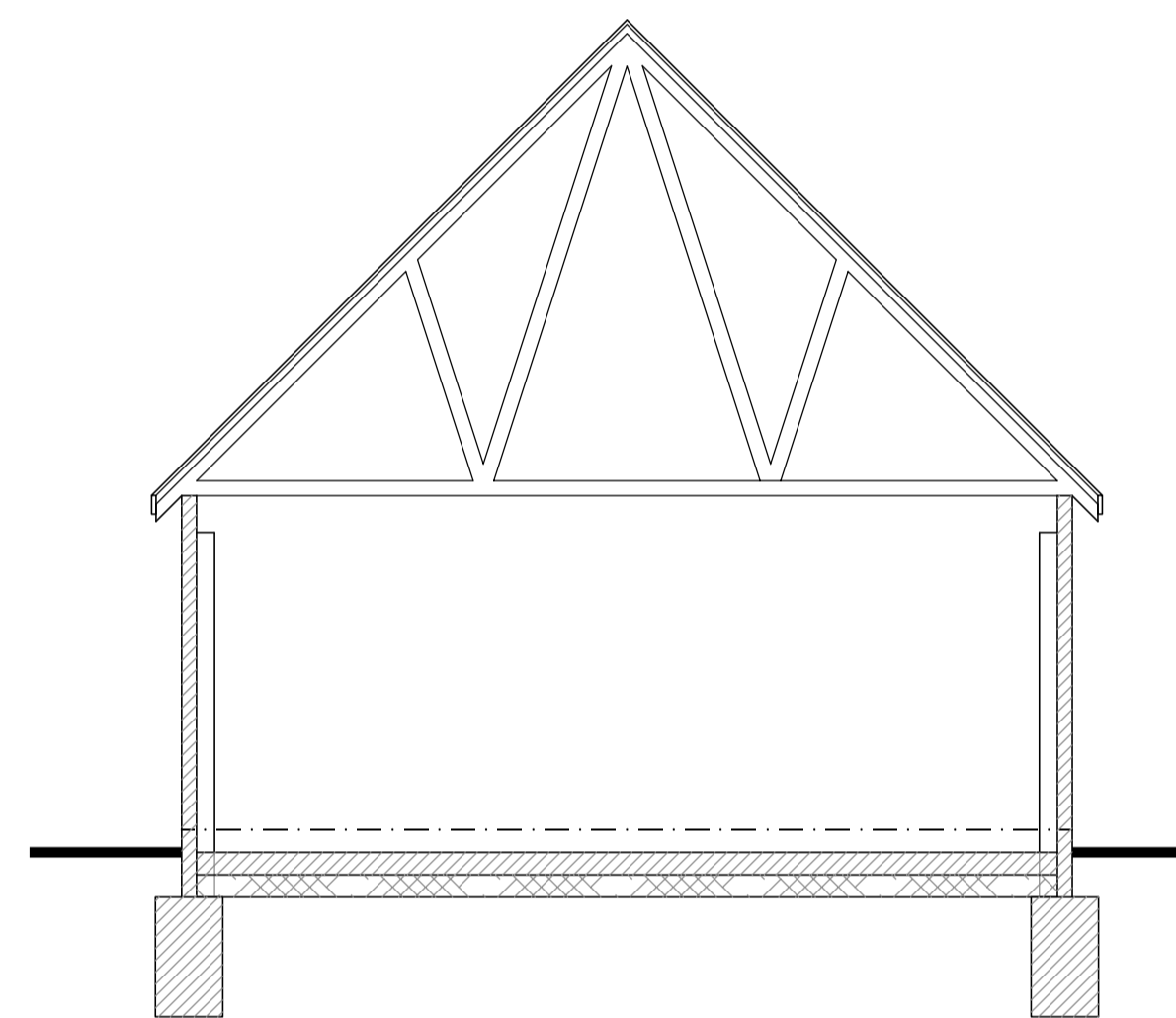
Existing Rear Elevation



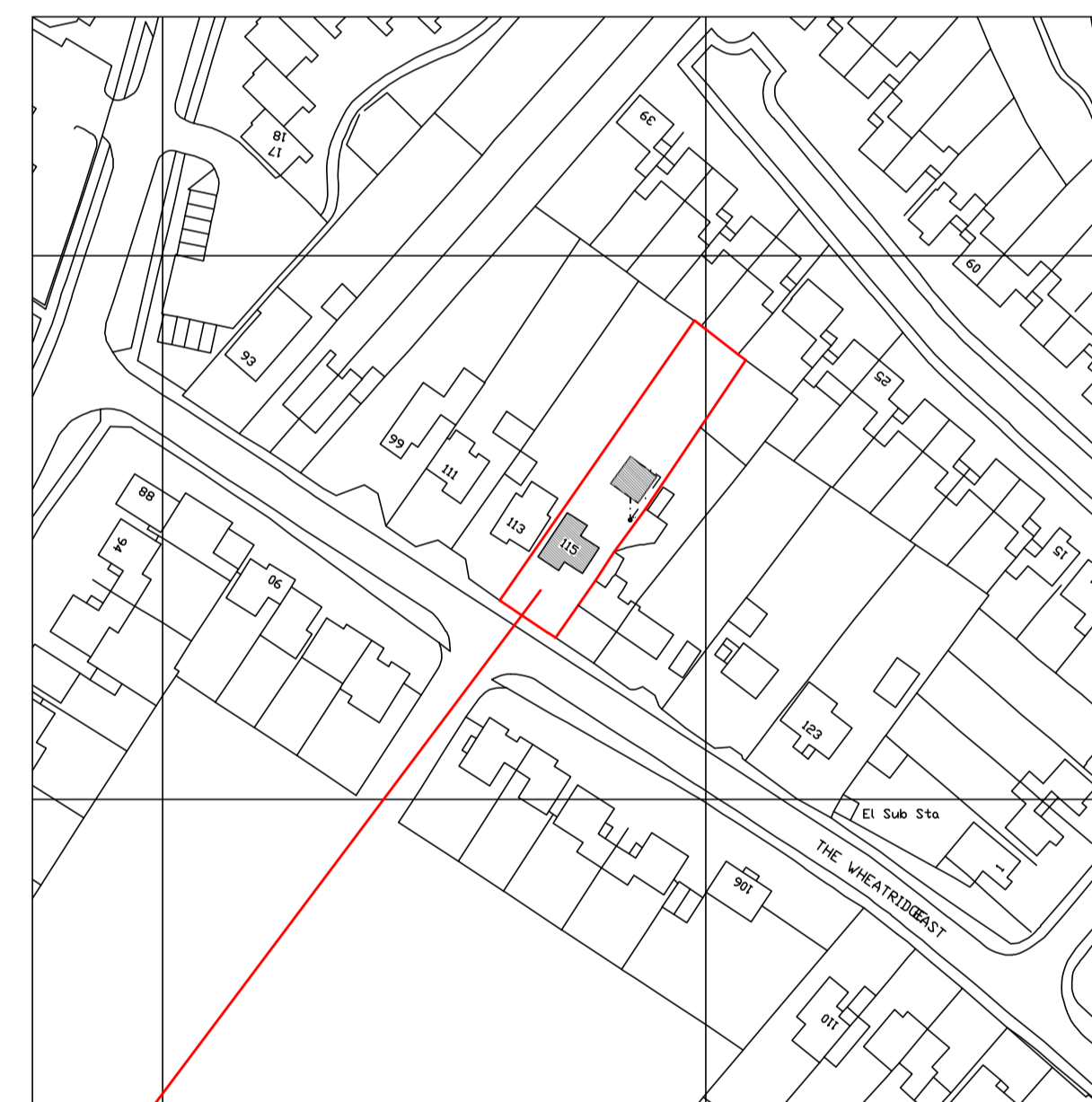
Existing Side Elevation



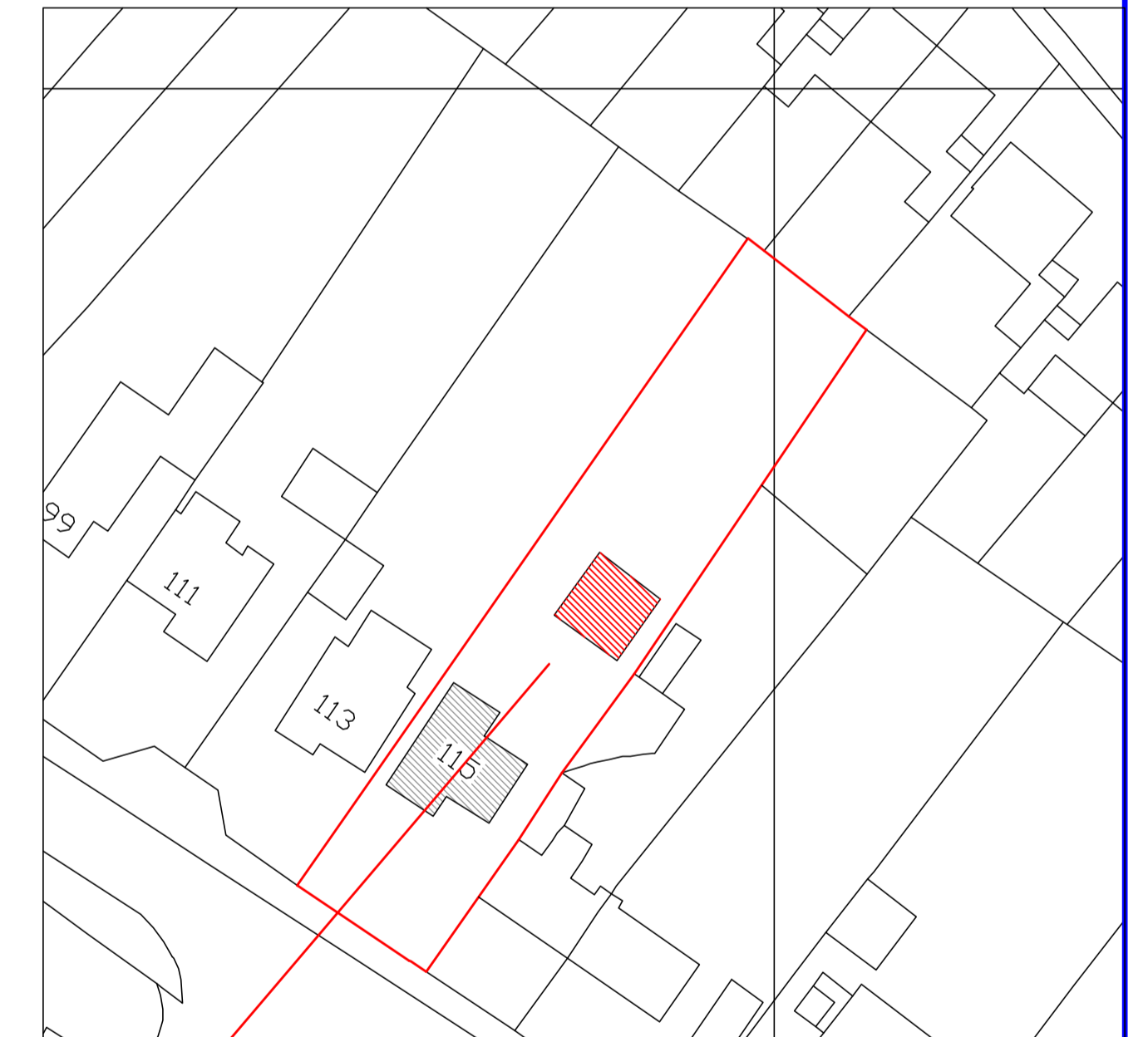
Existing Layout



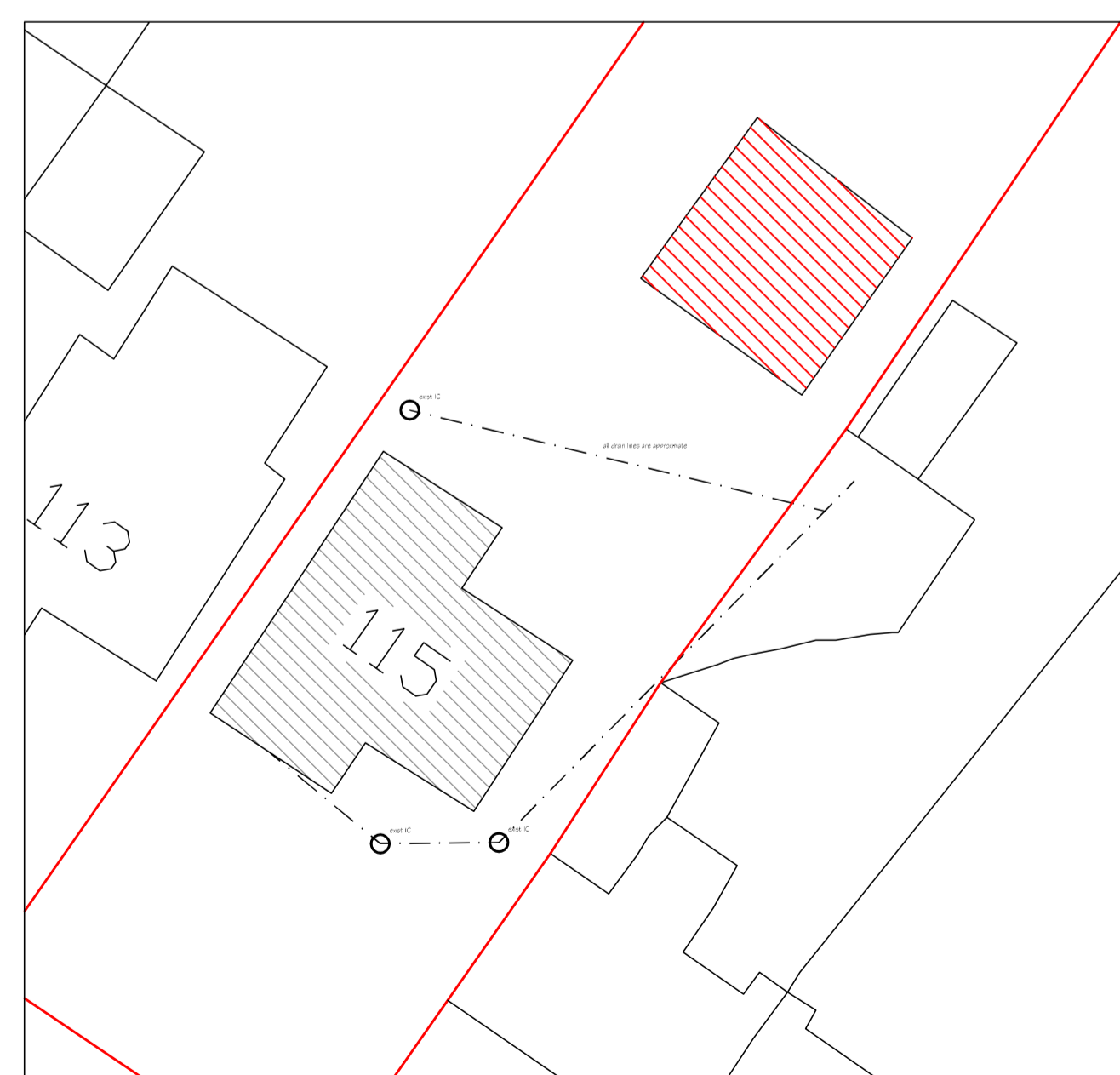
Existing Section



The Site Location Plan  
Scale 1:1250



The Site Block Plan  
Scale 1:500

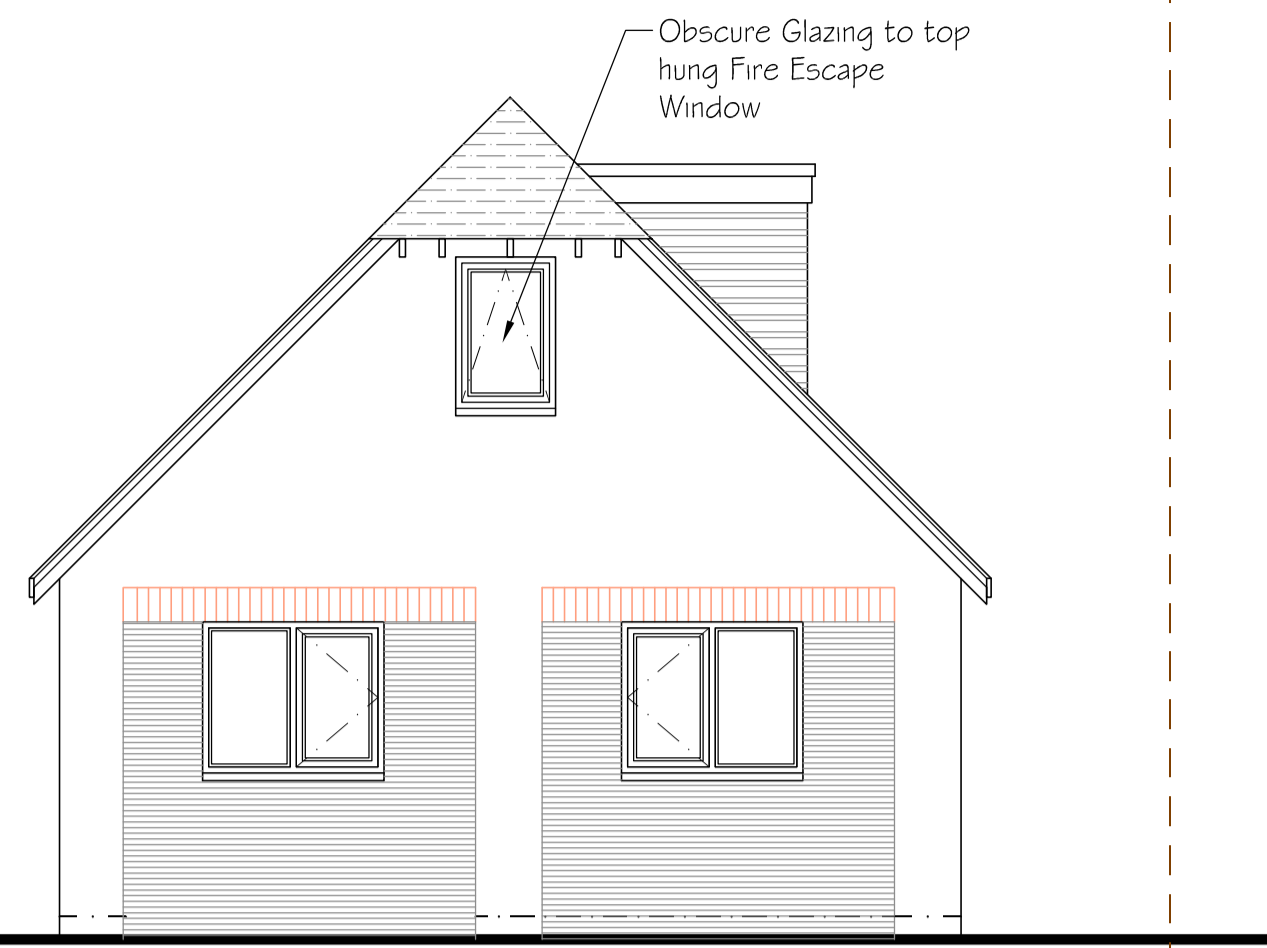


Drainage Plan  
Scale 1:200

**D2B designs**

Proposed Garage Conversion  
at 115, The Whetridge East  
Abbeydale, Gloucester GL4 5DW  
For Mr. J. N. Whiddon & Miss J. Cosgrave

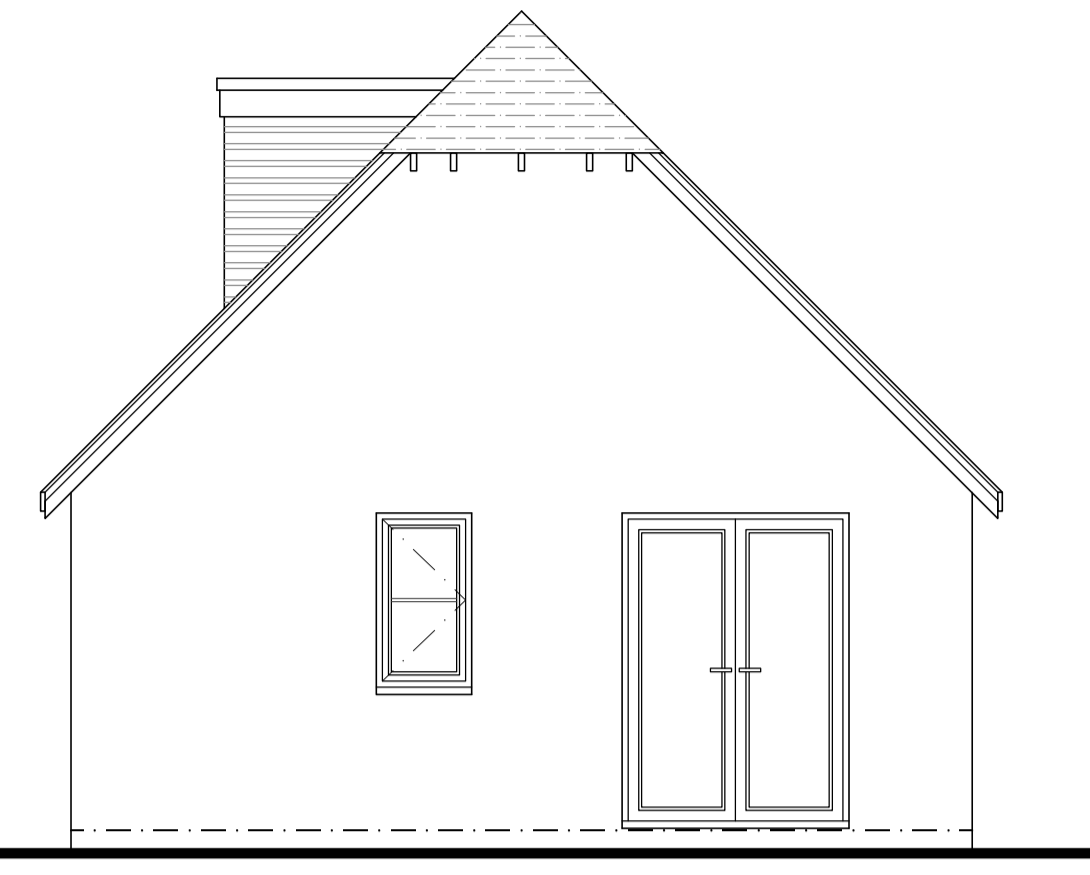
Scales 1:50, 1:200, 1:500, 1:1250      Drawing No. 7744/01



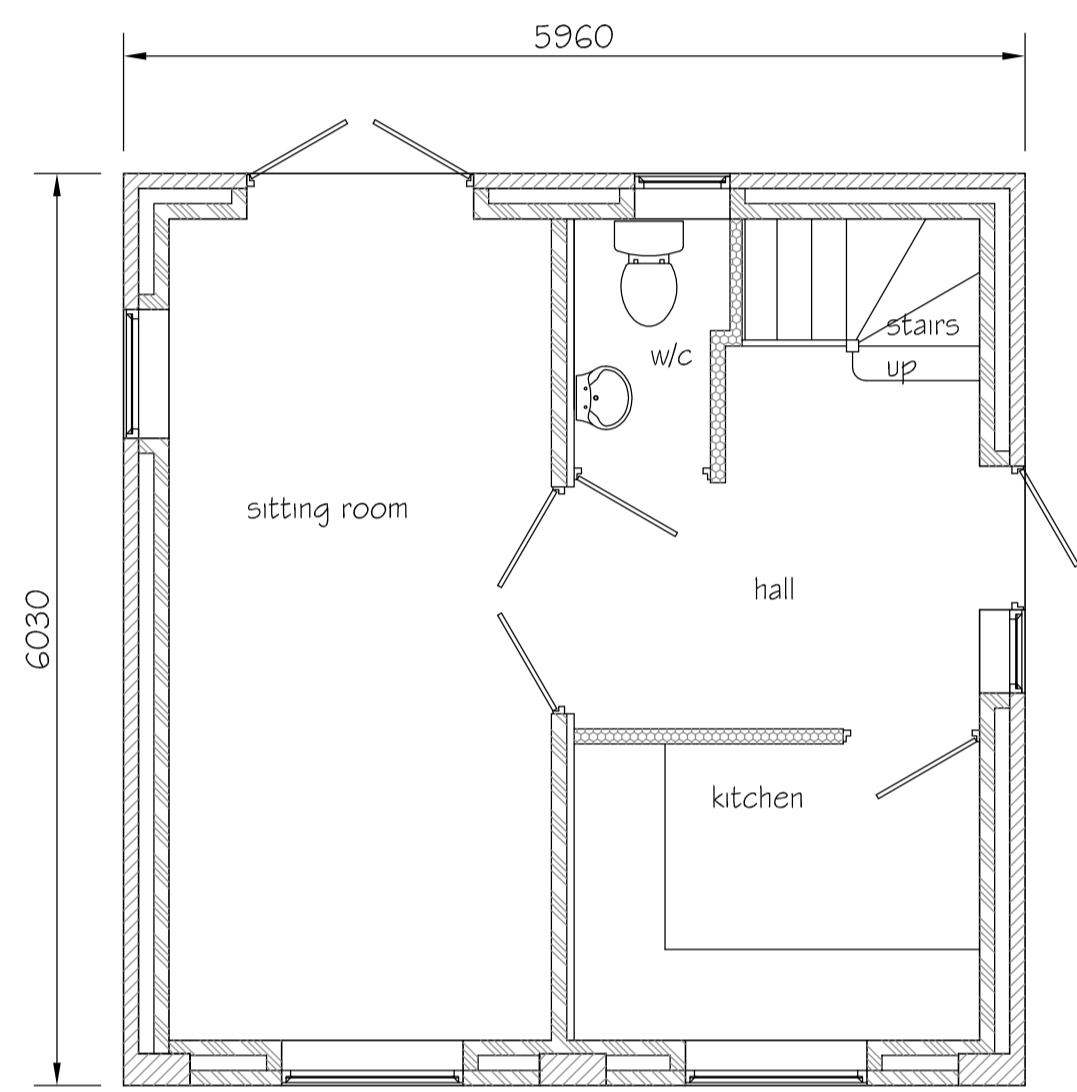
Proposed Front Elevation



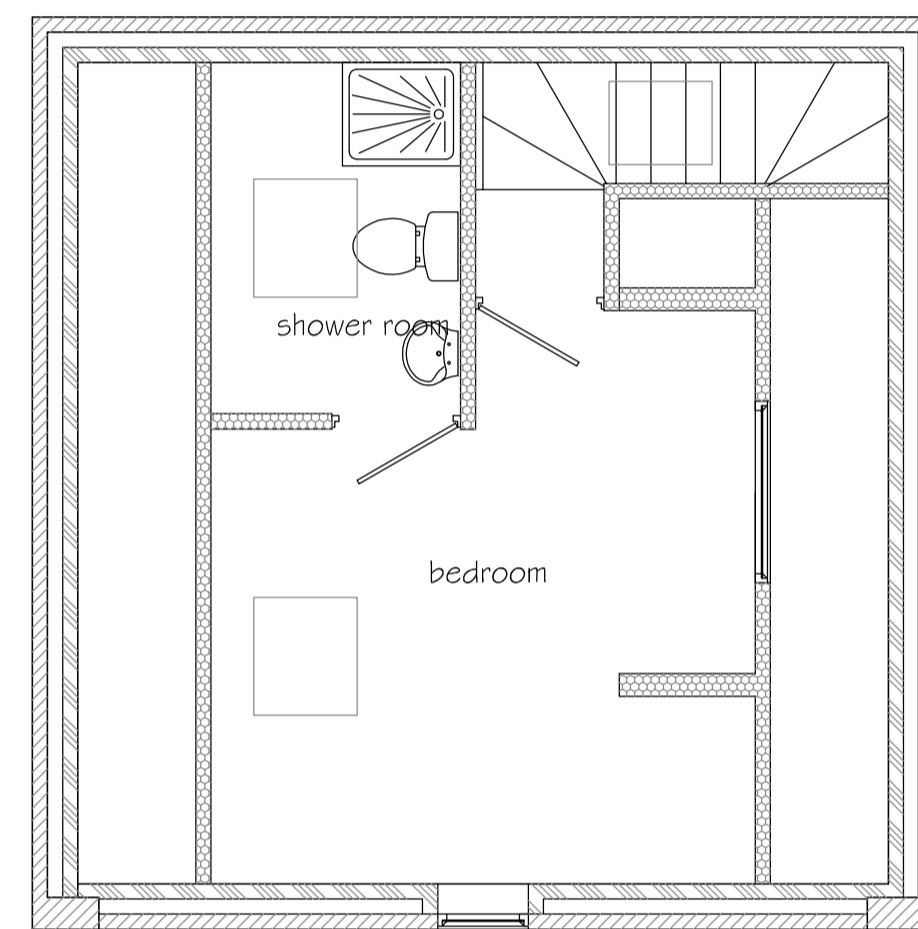
Proposed Side Elevation



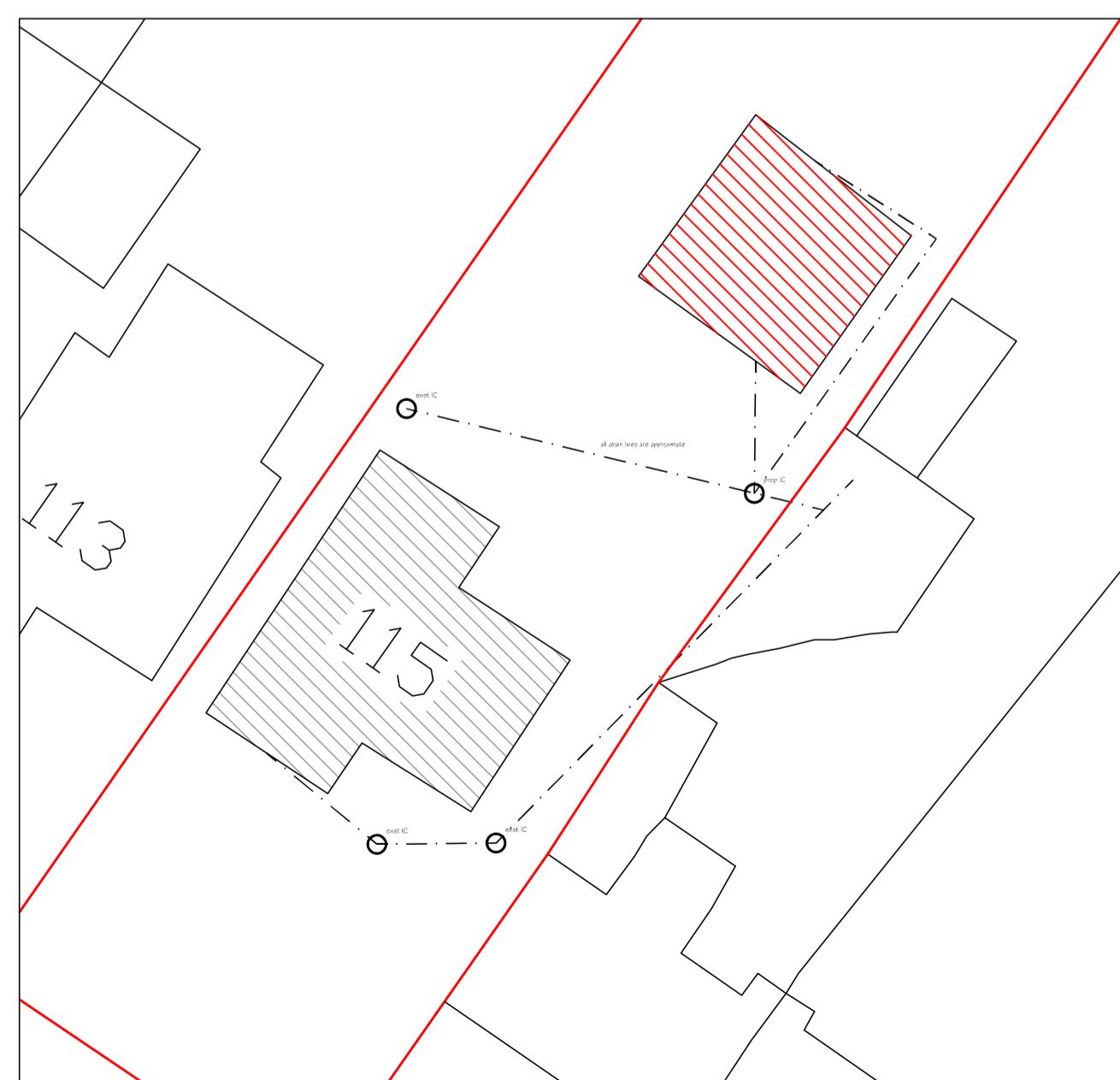
Proposed Rear Elevation



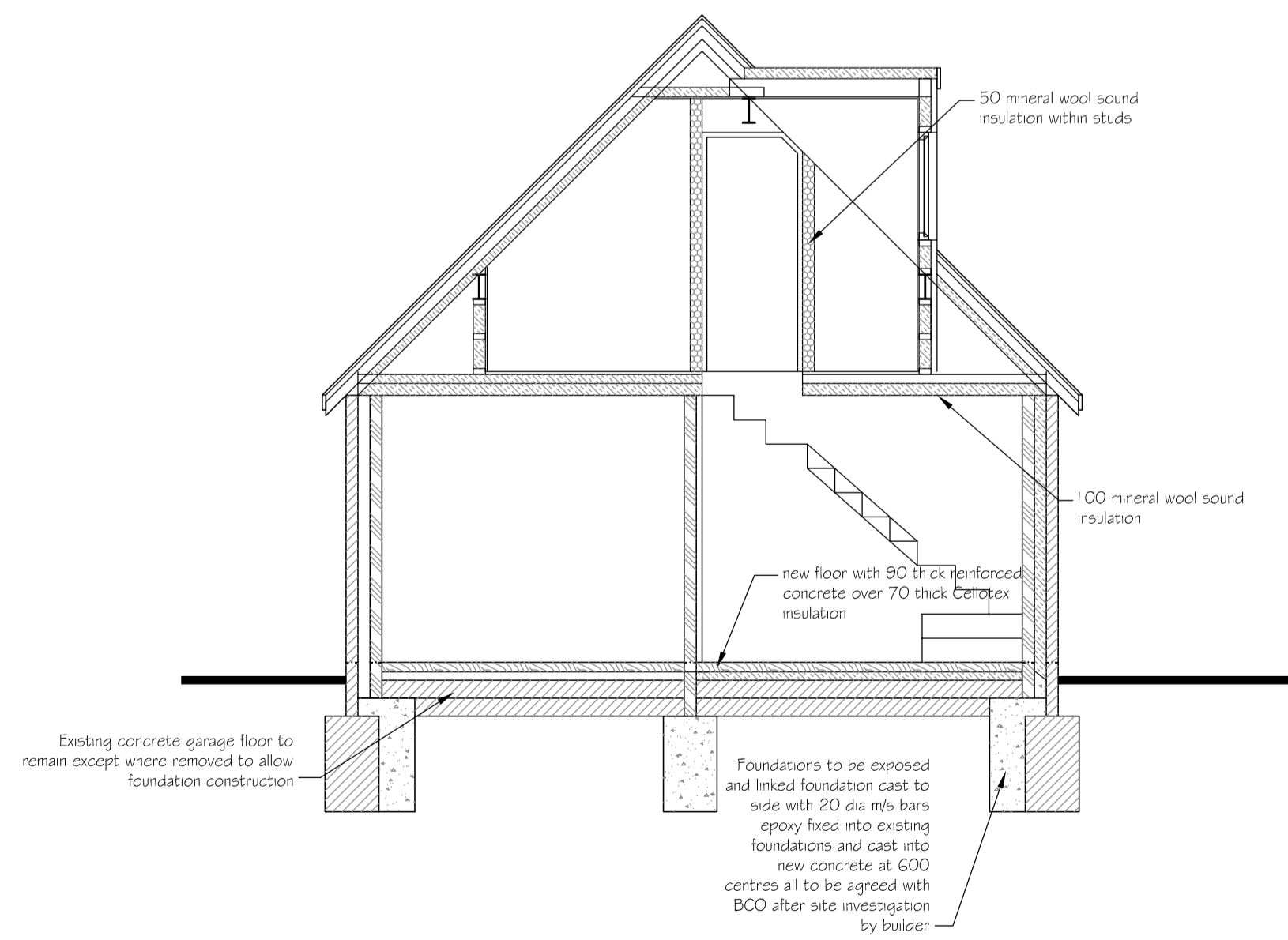
Proposed Ground Floor Layout



Proposed First Floor Layout



Proposed Drainage Plan  
Scale 1:200



Proposed Section

DESCRIPTION OF THE WORKS

The works comprised the conversion of the existing detached garage to this existing detached dwelling. The domestic space created by the conversion will form a new kitchen, sitting room and w/c at ground floor level with a new bedroom and shower room at first floor. One half of the existing garage will remain as a garage. The conversion will be used as an annex to the main house to accommodate an elderly relative of the owners. Off road parking spaces for approximately 6 vehicles are already available in the rear garden area and drive areas of the property, these are to be retained.

WALLS

Foundations are to be linked mass concrete foundations connected and formed in mass concrete around and in accordance with the existing concrete foundations to the garage. The existing foundations are to be exposed by the builder to enable details of the new foundations to be determined. Two foundations are to be linked using 20 dia mild steel reinforcing bars fixed into existing foundations using proprietary two pack epoxy resin anchors at 600 centres and cast into new concrete. Inner leaf of proposed cavity walls are to be constructed in 103 engineering brickwork up to damp proof course and with 100 cavity with 100 Dri-therm or similar cavity insulation and 100 Celcon Solar or similar insulated blocks to form inner leaf. Dpc to be Hi-load dpc at min 150 above finished external ground level. Two leaves of cavity walls are to be tied together with 5 mm thick stainless steel ties at 900 centres every course of blockwork in staggered pattern. Ties to be securely fixed to inner surface of existing brickwork. Inner surface of walls within proposed habitable rooms are to be finished with 12 thick plaster and skim or plasterboard on dabs. Cavity to be sealed at eaves and gable levels with 100 thick blockwork no new lintels are required. Vertical d.p.c. and 18 thick Damcor or similar to be provided to all reveals to prevent cold bridging. At window and garage door locations New walls are to be tied into existing walls by toothing into existing brickwork. All walls are to be strapped to proposed pitch roof structure at minimum 1200 centres with 30 x 5 galvanised mild steel straps. Studded walls to separate rooms to be in 75 x 50 C18 grade timber studding at 450 centres in both directions, 12.5 thick plasterboard to both sides min density of plasterboard to be 10 kg/sq.m. Voids with walls to have 50 thick mineral wool sound insulation within voids, min density of sound insulation to be 10 kg per sq.m. Windows are to be white upvc double glazed windows with max U value of windows and frames to be 1.8 W/sq.m. K.

FLOORS

Existing garage floor is to be provided with 1200 gauge dpm linked to new and existing dpc's, 70 thick Celotex and 80 approx thick mass concrete oversite with A393 mesh to prevent cracking, or floating floor with 1200 gauge dpm with 75 thick Flooring grade Celotex boards with timber interlocking flooring grade boarding above. Proposed first floor to be 22.5 thick flooring grade boarding with min density of 15 kg/sq.m laid across 175 x 50 C24 grade joists at 600 centres fixed to existing ceiling ties to existing rafters. Floor joists and new rafters to be bolted with timber connections at wall plate. Void to floor over living space to be provided with 100 thick mineral wool sound insulation with min density of 10 kg/cu.m. Void over garage to have sound insulation with additional 60 thick celotex insulation as thermal break. Ceiling to domestic area to be 12.5 thick plasterboard min density of 10 kg/sq.m., with two layers fire stopped over garage.

VENTILATION

New windows are to be upvc with 8000 sq. mm trickle vents provided and double glazing in Pilkington K glass. Safety glass to be provided to all areas lower than 800 from finished floor level. Max U value of windows and frames to be 1.8 W/sq.m. K. Proposed kitchen area to have additional forced ventilation with capacity of 60 litres per second and bathroom to have capacity of 30 litres per second and 10 mm gap under door to ensure effective ventilation provided. Ventilation to bathroom to be light activated with min 15 minute over-run.

HEATING SYSTEM

New heating system is to be provided with gas boiler within kitchen area. Boiler to be condensing type in accordance with Part J of approved documents and zoned timers and interlocks to be provided to heating system. Thermostatic radiator valves to be provided to all new radiators. All installation and commissioning work to be carried out by qualified fitters and companies and certification to be provided to BCO.

ROOFS

Proposed main roof areas to remain with new 150 x 50 C24 rafters at 600 centres fixed to the existing roof rafter ties forming part of the existing trusses. Insulation to be 90 thick Celotex fixed between rafters with 45 thick celotex laid across rafter faces and 12.5 thick foil backed plasterboard and skim ceiling. Collar timber to be 75 x 50 C24 spiked to rafters at high level, same insulation and ceiling boards to be provided to flat ceiling areas. have interlocking concrete tiles to match existing dwelling and to suit pitch supported on 50 x 40 tanalised timber battens at centres to suit the tile configuration, laid across Tyvek or similar sarking felt laid on trussed rafters at 600 mm or less centres. Manufacture, design and installation including cross bracing of trusses to comply with BS 5268 part 3. Truss design is to be provided by manufacturer and approved by BCO before fabrication commences. Roof trusses to be strapped to all walls at max 1200 centres to provide lateral restraint, noggins to be provided to trusses at strap locations. Trusses are to be supported upon 100 x 75 wall plates fixed to the top of external walls. Proposed ceilings to be 12.5 thick foil backed plasterboard and skim with 270 thick fibreglass insulation quilt with 100 laid between ceiling ties and 170 thick laid over ceiling joists for full area. Insulation near eaves to have 50 clearance under tiles and felt with air gap at eaves equivalent to continuous 25 mm screened void to allow cross ventilation of roof space. All roof timbers to be attached to walls with 30 x 5 galvanised mild steel straps at 1200 centres. 1200 gauge vapour barrier to be provided to warm side of all insulation.

DRAINAGE

100 dia upvc connection to be made from existing inspection chambers at side of existing dwelling all laid to falls with 100 thick granular bed and surround. Air admittance valve provided in new bathroom and rear entry trapped gully provided to kitchen. Sinks to have min 38 dia upvc wates with 150 deep sealed trapped wastes. 90 rigid glittering to be provided to front and rear elevations with new soakaway provided in rear garden of dwelling.

STRUCTURAL STEELWORK

Roof supported on \_\_\_ x \_\_\_ x \_\_\_ kg/m purlin on \_\_\_ x \_\_\_ x \_\_\_ r/c padstones. Lintels over inner leaf to garage doors to be Catnic CNSXC box lintels.

ALL DIMENSIONS ARE TO BE REGARDED AS A GUIDE TO THE OVERALL REQUIREMENTS AND ARE TO BE CHECKED AND VERIFIED BY BUILDER PRIOR TO MATERIALS BEING ORDERED.

Rev B - Obscure Glazing and Top Hung Window Notes - Jan 2007  
Rev A - Elevations corrected to match layouts - Nov 2006

**D2B designs**

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at 115, The Whetridge East  
Abbeydale, Gloucester GL4 5DW  
For Mr. J. N. Whiddon & Miss J. Cosgrave

Scales 1:50, 1:200, 1:500, 1:1250      Drawing No. 7744/03 Rev B