

Application for Planning Permission; Listed Building Consent for alterations, extension or
 demolition of a listed building

Town and Country Planning Act 1990 (as amended); Planning (Listed Buildings and Conservation
 Areas Act) 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

39a Upper Floors

Address Line 1

Westgate Street

Address Line 2

Address Line 3

Gloucestershire

Town/city

Gloucester

Postcode

GL1 2NW

Description of site location must be completed if postcode is not known:

Easting (x)

383063

Northing (y)

218636

Description

Applicant Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

Secondary number

Fax number

Email address

Agent Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Contact Details

Primary number

Secondary number

Fax number

Email address

Description of the Proposal

Please note in regard to:

- **Fire Statements** - From 1 August 2021, planning applications for buildings of over 18 metres (or 7 stories) tall containing more than one dwelling will require a 'Fire Statement' for the application to be considered valid. There are some exemptions. [View government planning guidance on fire statements](#) or [access the fire statement template and guidance](#).
- **Permission In Principle** - If you are applying for Technical Details Consent on a site that has been granted Permission In Principle, please include the relevant details in the description below.
- **Public Service Infrastructure** - From 1 August 2021, applications for certain public service infrastructure developments will be eligible for faster determination timeframes. See help for further details or [view government planning guidance on determination periods](#).

Description

Please describe details of the proposed development or works including details of proposals to alter, extend or demolish the listed building(s)

Conservation fabric repairs to the existing fabric including the medieval timber frame. Conversion of the first, second and third floors into 2no. residential accommodation including associated improvement and modification works to meet building regulations.

Has the development or work already been started without consent?

Yes

No

If Yes, please state when the development or work was started (date must be pre-application submission)

01/12/2021

Has the development or work already been completed without consent?

Yes

No

Listed Building Grading

What is the grading of the listed building (as stated in the list of Buildings of Special Architectural or Historical Interest)?

Don't know

Grade I

Grade II*

Grade II

Is it an ecclesiastical building?

Don't know

Yes

No

Demolition of Listed Building

Does the proposal include the partial or total demolition of a listed building?

Yes

No

Immunity from Listing

Has a Certificate of Immunity from Listing been sought in respect of this building?

Yes

No

Listed Building Alterations

Do the proposed works include alterations to a listed building?

Yes

No

If Yes, do the proposed works include

a) works to the interior of the building?

Yes

No

b) works to the exterior of the building?

Yes

No

c) works to any structure or object fixed to the property (or buildings within its curtilage) internally or externally?

Yes

No

d) stripping out of any internal wall, ceiling or floor finishes (e.g. plaster, floorboards)?

Yes

No

If the answer to any of these questions is Yes, please provide plans, drawings and photographs sufficient to identify the location, extent and character of the items to be removed. Also include the proposal for their replacement, including any new means of structural support, and state references for the plan(s)/drawing(s).

Please refer to all architect and structural engineer drawings that are submitted with the application.

Materials

Does the proposed development require any materials to be used?

Yes

No

Please provide a description of existing and proposed materials and finishes to be used (including type, colour and name for each material) demolition excluded

Type:

Roof covering

Existing materials and finishes:

Natural slates

Proposed materials and finishes:

Natural slates

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

Please see architect drawings

Site Area

What is the measurement of the site area? (numeric characters only).

149.50

Unit

Sq. metres

Existing Use

Please describe the current use of the site

Derelict

Is the site currently vacant?

Yes

No

If Yes, please describe the last use of the site

Unknown/ storage

When did this use end (if known)?

Does the proposal involve any of the following? If Yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated

Yes

No

Land where contamination is suspected for all or part of the site

- Yes
 No

A proposed use that would be particularly vulnerable to the presence of contamination

- Yes
 No

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicular access proposed to or from the public highway?

- Yes
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes
 No

Are there any new public roads to be provided within the site?

- Yes
 No

Are there any new public rights of way to be provided within or adjacent to the site?

- Yes
 No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

- Yes
 No

Vehicle Parking

Does the site have any existing vehicle/cycle parking spaces or will the proposed development add/remove any parking spaces?

- Yes
 No

Foul Sewage

Please state how foul sewage is to be disposed of:

- Mains sewer
 Septic tank
 Package treatment plant
 Cess pit
 Other
 Unknown

Are you proposing to connect to the existing drainage system?

- Yes
 No
 Unknown

If Yes, please include the details of the existing system on the application drawings and state the plan(s)/drawing(s) references

Please see associated drawings

Assessment of Flood Risk

Is the site within an area at risk of flooding? (Check the location on the Government's [Flood map for planning](#). You should also refer to national [standing advice](#) and your local planning authority requirements for information as necessary.)

- Yes
 No

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

- Yes
 No

Will the proposal increase the flood risk elsewhere?

- Yes
 No

How will surface water be disposed of?

- Sustainable drainage system
 Existing water course
 Soakaway
 Main sewer
 Pond/lake

Trees and Hedges

Are there trees or hedges on the proposed development site?

- Yes
 No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

- Yes
 No

If Yes to either or both of the above, you may need to provide a full tree survey, at the discretion of the local planning authority. If a tree survey is required, this and the accompanying plan should be submitted alongside the application. The local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

To assist in answering this question correctly, please refer to the help text which provides guidance on determining if any important biodiversity or geological conservation features may be present or nearby; and whether they are likely to be affected by the proposals.

a) Protected and priority species

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

b) Designated sites, important habitats or other biodiversity features

- Yes, on the development site
- Yes, on land adjacent to or near the proposed development
- No

c) Features of geological conservation importance

- Yes, on the development site
- Yes, on land adjacent to or near the proposed development
- No

Supporting information requirements

Where a development proposal is likely to affect features of biodiversity or geological conservation interest, you will need to submit, with the application, sufficient information and assessments to allow the local planning authority to determine the proposal.

Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the local planning authority has been submitted.

Your local planning authority will be able to advise on the content of any assessments that may be required.

Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

- Yes
- No

If Yes, please provide details:

See associated drawings

Have arrangements been made for the separate storage and collection of recyclable waste?

- Yes
- No

If Yes, please provide details:

See associated drawings

Residential/Dwelling Units

Does your proposal include the gain, loss or change of use of residential units?

- Yes
- No

Please note: This question is based on the current housing categories and types specified by government.

If your application was started before 23 May 2020, the categories and types shown in this question will now have changed. We recommend that you review any information provided to ensure it is correct before the application is submitted.

Proposed

Please select the housing categories that are relevant to the proposed units

- Market Housing
- Social, Affordable or Intermediate Rent
- Affordable Home Ownership
- Starter Homes
- Self-build and Custom Build

Market Housing

Please specify each type of housing and number of units proposed

Housing Type:

Flats / Maisonettes

1 Bedroom:

1

2 Bedroom:

1

3 Bedroom:

0

4+ Bedroom:

0

Unknown Bedroom:

0

Total:

2

Proposed Market Housing Category Totals	1 Bedroom Total	2 Bedroom Total	3 Bedroom Total	4 Bedroom Total	Unknown Bedroom Total	Bedroom Total
	1	1	0	0	0	2

Existing

Please select the housing categories for any existing units on the site

- Market Housing
- Social, Affordable or Intermediate Rent
- Affordable Home Ownership
- Starter Homes
- Self-build and Custom Build

Totals

Total proposed residential units	2
Total existing residential units	0
Total net gain or loss of residential units	2

All Types of Development: Non-Residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

Note that 'non-residential' in this context covers all uses except Use Class C3 Dwellinghouses.

Yes

No

Employment

Are there any existing employees on the site or will the proposed development increase or decrease the number of employees?

Yes

No

Hours of Opening

Are Hours of Opening relevant to this proposal?

Yes

No

Industrial or Commercial Processes and Machinery

Does this proposal involve the carrying out of industrial or commercial activities and processes?

Yes

No

Is the proposal for a waste management development?

Yes

No

Hazardous Substances

Does the proposal involve the use or storage of Hazardous Substances?

Yes

No

Trade Effluent

Does the proposal involve the need to dispose of trade effluents or trade waste?

Yes

No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes

No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

The agent

The applicant

Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes

No

If Yes, please complete the following information about the advice you were given (this will help the authority to deal with this application more efficiently):

Officer name:

Title

***** REDACTED *****

First Name

***** REDACTED *****

Surname

***** REDACTED *****

Reference

Conservation Officer

Date (must be pre-application submission)

30/09/2021

Details of the pre-application advice received

Phone calls and site meetings.

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

(a) a member of staff

(b) an elected member

(c) related to a member of staff

(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

Yes

No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 & Regulation 6 - Planning (Listed Buildings and Conservation Areas) Regulations 1990

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of **all** the land to which this application relates; **and** has the applicant been the sole owner for more than 21 days?

Yes

No

Is any of the land to which the application relates part of an Agricultural Holding?

Yes

No

Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** 'agricultural holding' has the meaning given by reference to the definition of 'agricultural tenant' in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

The Applicant

The Agent

Title

Ms

First Name

Bonnie

Surname

Kitching

Declaration Date

01/02/2022

Declaration made

Declaration

I / We hereby apply for Full planning & listed building consent as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

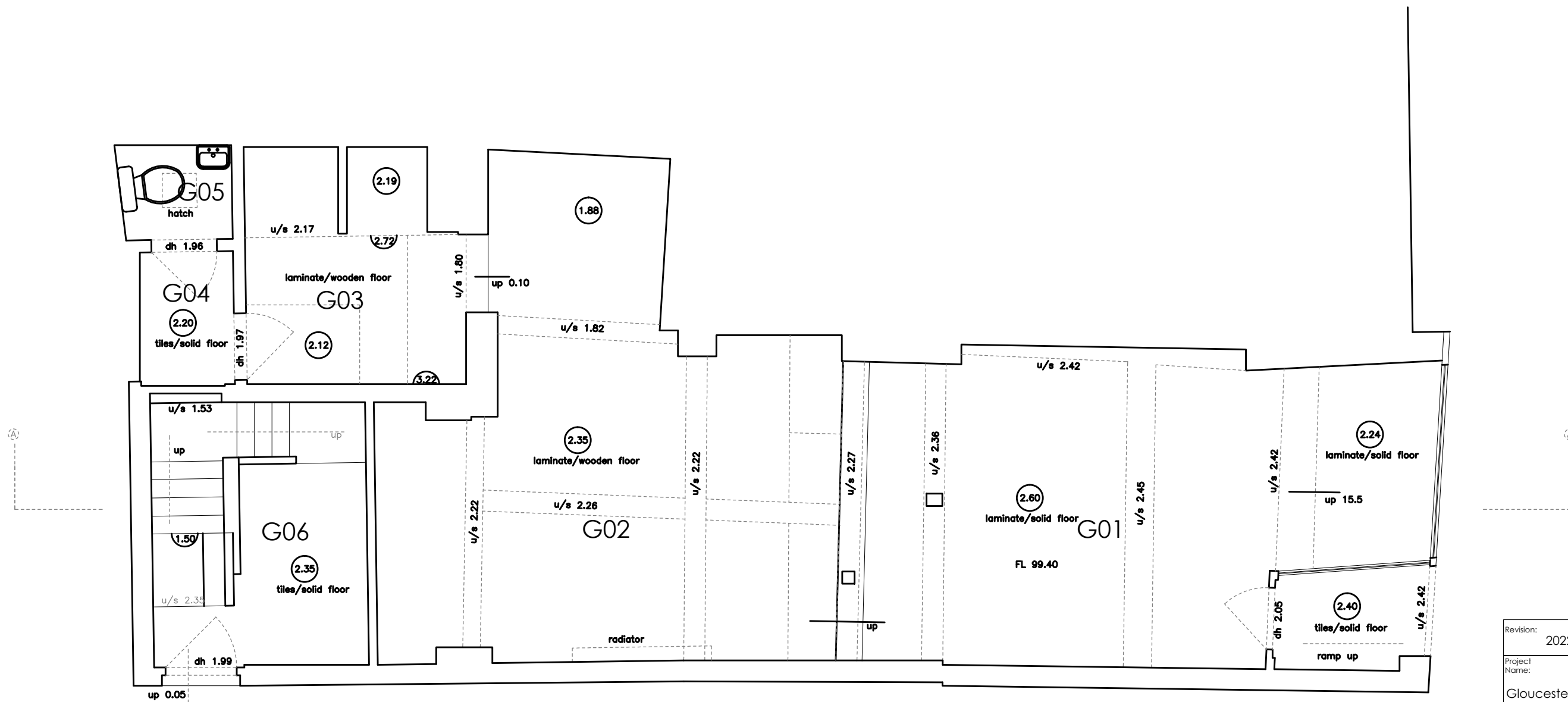
I / We agree to the outlined declaration

Signed

Bonnie Kitching

Date

01/02/2022



Revision: 2022.02.01 Issued for Planning LBC		
Project Name: Gloucester, 39 Westgate Street		
Client: Jake Etherton, JJ Property Rentals (39)		
Drawing Title: Existing Ground Floor Plan - Fabric Repairs		
Hummingbird Architecture Ltd Lydney Town Hall, High St, Lydney GL15 5DY		
Drawn By: BK	Checked By:	Date: Feb 2022
Drawing Size: 1:100 @ A3		
Drawing No: 1040-50	Rev:	

External scaffold required to undertake corner heavy duty timber repairs, unknown exact details without scaffolding installed and further inspection. Allow a provisional sum £10k for repair works.

The floor joists require further inspection to understand how they are hanging. Further inspection is required within this area with the structural engineer also within the ground floor shop area under. Possible prop/ building under to pick up joists for repair works.

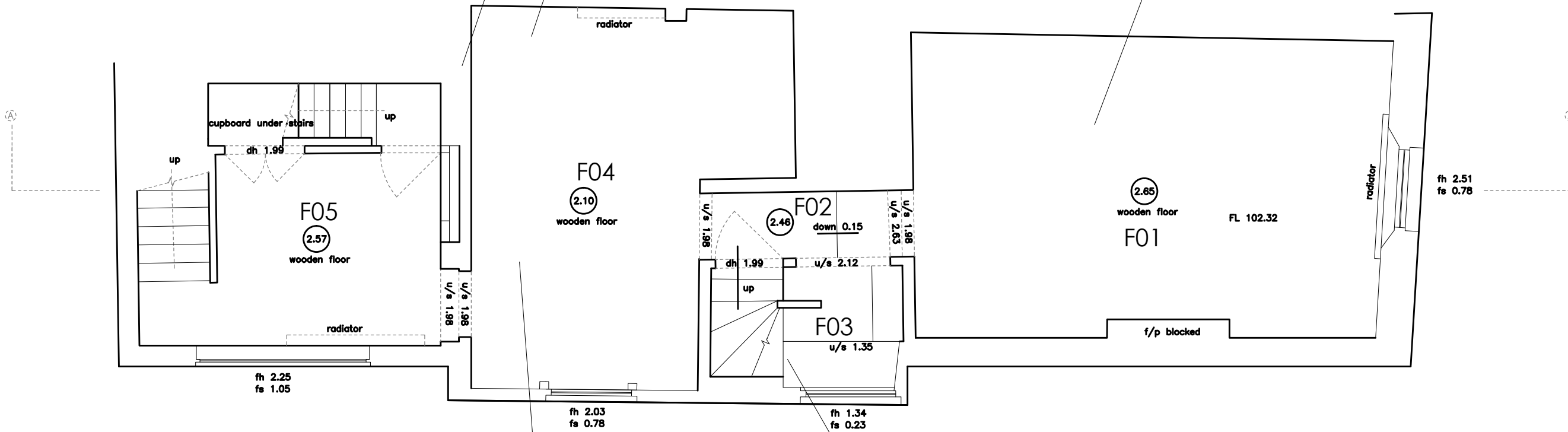
Within this room there are original 1540 floor boards with a newer (Georgian) boarded floor inserted over. It is discussed that the medieval 1540 boards should be left undisturbed in situ and that they will be left encapsulated by the boards over. The proposal is to increase the floor level within this room over the level of the Georgian boards.

The ceiling and the cornice are in fair condition, there are good keys on the back of the plaster.

The structural engineer's drawings cover all the obvious repairs on the primary structure.

The internal wall (when facing No. 41) is opened up to 2 truss areas. The structural engineer comments that there is a z shaped steel to the left hand side midway. The structure appears stable and there appears to be no ongoing movement. The wall is open to No. 41. There is evidence of historic fire within the left hand side corner.

4sqm internal wall (when facing No. 41) plaster repair like for like in lime and laths where required.



Fire and sound separation to be developed within this area.

Under 3rd floor rear room, 1 no. further space beyond that is accessible (existing with steps to go to ground floor level, also proposed to house steps to go up to 2nd floor accommodation).

Revision:		
2022.01.25 Issued to QS and For Approvals		
2022.02.01 Rev A Issued for Planning LBC		
Project Name:		
Gloucester, 39 Westgate Street		
Client:		
Jake Etherton, JJ Property Rentals (39)		
Drawing Title:		
Existing First Floor Plan - Fabric Repairs		
Hummingbird Architecture Ltd		
Lydney Town Hall, High St, Lydney GL15 5DY		
Drawn By:	Checked By:	Date:
BK		Jan 2022
Drawing Size:	1:100 @ A3	
Drawing No:	1040-51	Rev: A

M&E Consultant to develop design of mechanical and electrical works.

Fire and acoustic separation and all details to comply with building regulations are to be developed in consultation with building control officer.

Do not scale from drawings. Drawings are indicative for pricing only.
Contractor to work with actual site dimensions.
All drawings to be read in accordance with structural engineer's information.

Drawing produced from architect site meeting notes 01.11.2021

Allow a provisional sum of £10k for heavy duty carpentry repairs to the rear timber stud wall. It is not possible to schedule the exact repairs because of restricted access. A scaffolding is required to safely access this area externally. The repair is likely to consist of a timber post and beam repair work and then reinstatement of the wall. This timber repair work is to the primary structure.

Allow 100% ceiling plaster work in lime with 30% ceiling lath replacement.

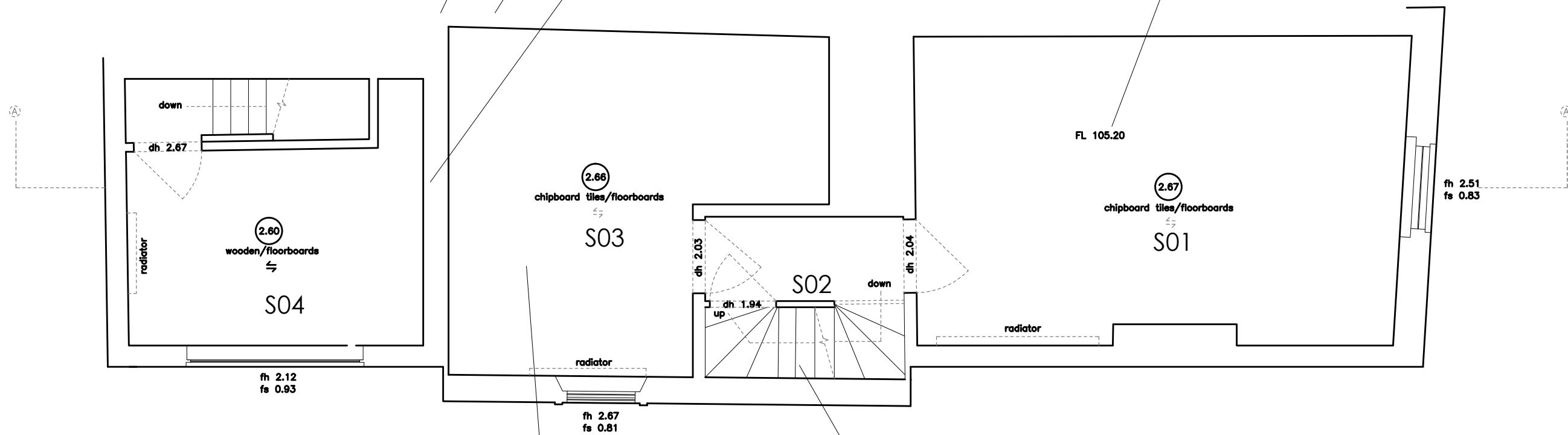
Allow for the numbering of all floor boards, carefully lifting and clearing of debris from in between the joists. Before replacement like for like, the fire and sound separation is to be confirmed.

The internal wall facing No. 41, allow for the removal of 1ft of lime plaster and laths from floor level for further inspection by architect and structural engineer. The fire strategy of how to separate in between No. 39 and No. 41 is critical along this wall.

The internal wall (when facing the rear of the site) requires all plaster work to be hacked off to reveal the timber work and truss.

Allow for 100% hacking off the plaster work to the ceiling and all walls and replacement with lime plaster.

Truss as extg, remove extg lath and plaster on kitchen side, allow for plaster finish in between lower sections of oak truss. Upper sections of truss left open over to allow light through to kitchen at high level. Details to be confirmed.



Fire and sound separation to be developed within this area.

Allow for the insulation to the wall facing the alleyway (this improvement and modification work is to be developed and is to be undertaken and scheduled and inspected from the outside).

Allow for 30% replacement of timber floor boards (these are to be reused from the lower levels and renewed at the lower levels).

M&E Consultant to develop design of mechanical and electrical works.

Fire and acoustic separation and all details to comply with building regulations are to be developed in consultation with building control officer.

Do not scale from drawings. Drawings are indicative for pricing only.

Contractor to work with actual site dimensions.

All drawings to be read in accordance with structural engineer's information.

Drawing produced from architect site meeting notes 01.11.2021

Revision: 2022.01.25 Issued to QS and For Approvals

2022.02.01 Rev A Issued for Planning LBC

Project Name:
Gloucester, 39 Westgate Street

Client:
Jake Etherton, JJ Property Rentals (39)

Drawing Title:
Existing Second Floor Plan - Fabric Repairs

Hummingbird Architecture Ltd
Lydney Town Hall, High St, Lydney GL15 5DY

Drawn By: BK Checked By: Date: Jan 2022

Drawing Size: 1:100 @ A3

Drawing No: 1040-52

Rev: A

This rear wall is a timber stud located over a truss at lower level. Ill proportioned later window to be removed. Retain existing collar at top of wall. Prop 2no. purlins in order to remove gable end wall in its entirety (apart from the historic stud work) under the collar. The wall is to be rebuilt as the structural engineer's drawings (dwg ref 02) fabric repairs.

In order to undertake the fabric repairs, scaffolding is required externally, design to be agreed with design team, this will result in the removal of the pitch roof tiles externally adjacent (in full).

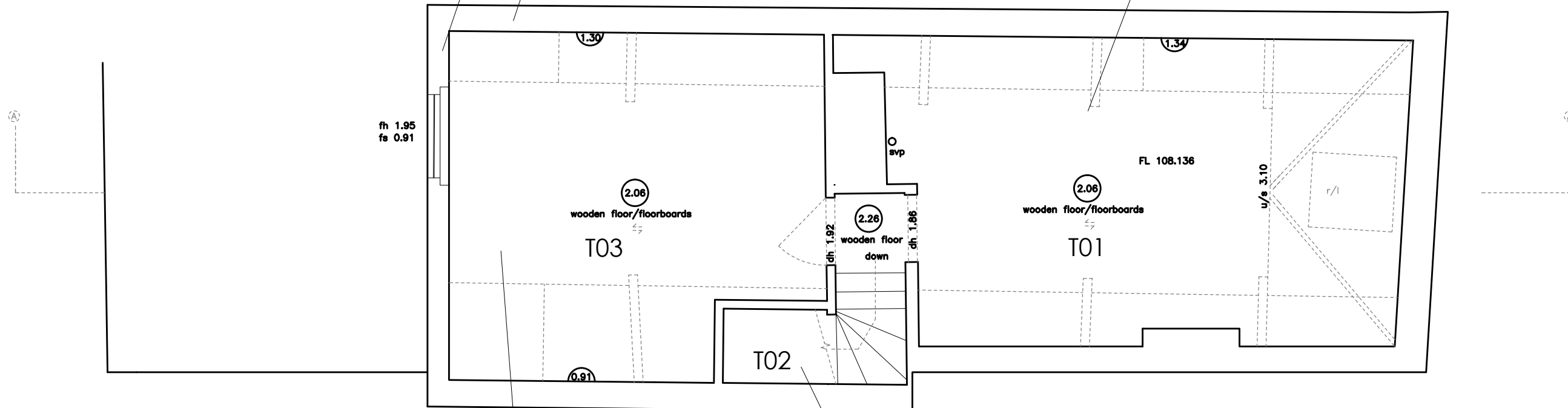
The external long wall (facing No. 41) has unknown repairs and requires further survey once scaffold is installed and access is available

Structural Works Completed within this room. See Structural Engineer's drawings for further details.

Front wall double brick skin.

2 sqm internal wall facing No. 41 plaster repair like for like lath and lime

4 sqm internal wall facing rear hack off and replace lime like for like



8 sqm hack off all wall finishes and ceilings and lime plaster repair

Replace 12no. ceiling joists like for like, raise up level to underside of ceiling level (by 125mm) 47x120mm sw, nailed x2

4sqm internal wall facing No. 41 hack off and replace lath and lime like for like

3.5sqm internal wall facing Westgate Street hack off and replace part lath and lime and part lime on masonry

M&E Consultant to develop design of mechanical and electrical works.
Fire and acoustic separation and all details to comply with building regulations are to be developed in consultation with building control officer.

Do not scale from drawings. Drawings are indicative for pricing only.
Contractor to work with actual site dimensions.
All drawings to be read in accordance with structural engineer's information.

Drawing produced from architect site meeting notes 01.11.2021

Revision: 2022.01.25 Issued to QS and For Approvals

2022.02.01 Rev A Issued for Planning LBC

Project Name:
Gloucester, 39 Westgate Street

Client:
Jake Etherton, JJ Property Rentals (39)

Drawing Title:
Existing Third Floor Plan - Fabric Repairs

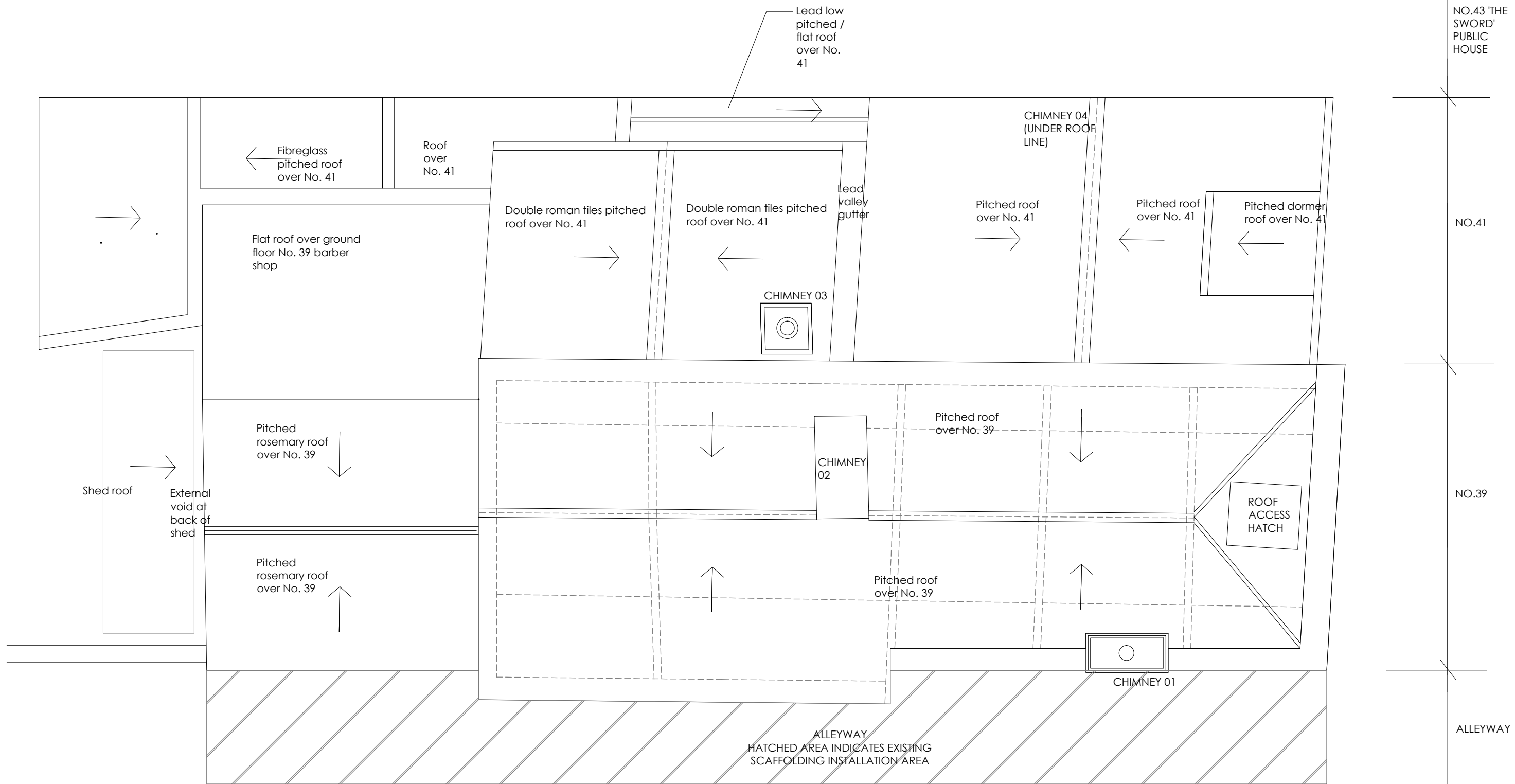
Hummingbird Architecture Ltd
Lydney Town Hall, High St, Lydney GL15 5DY

Drawn By: BK Checked By: Date: Jan 2022

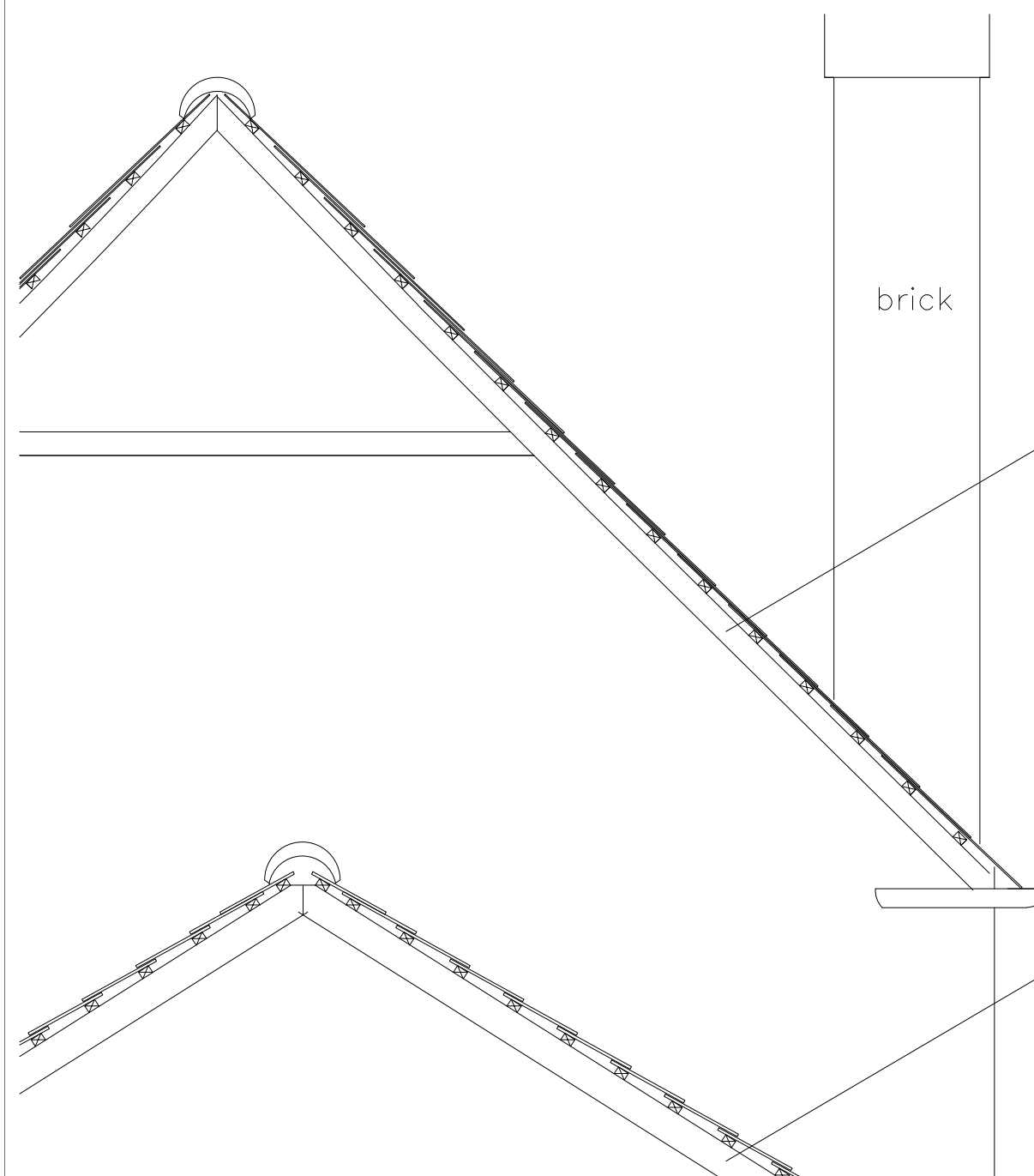
Drawing Size: 1:100 @ A3

Drawing No: 1040-53

Rev: A



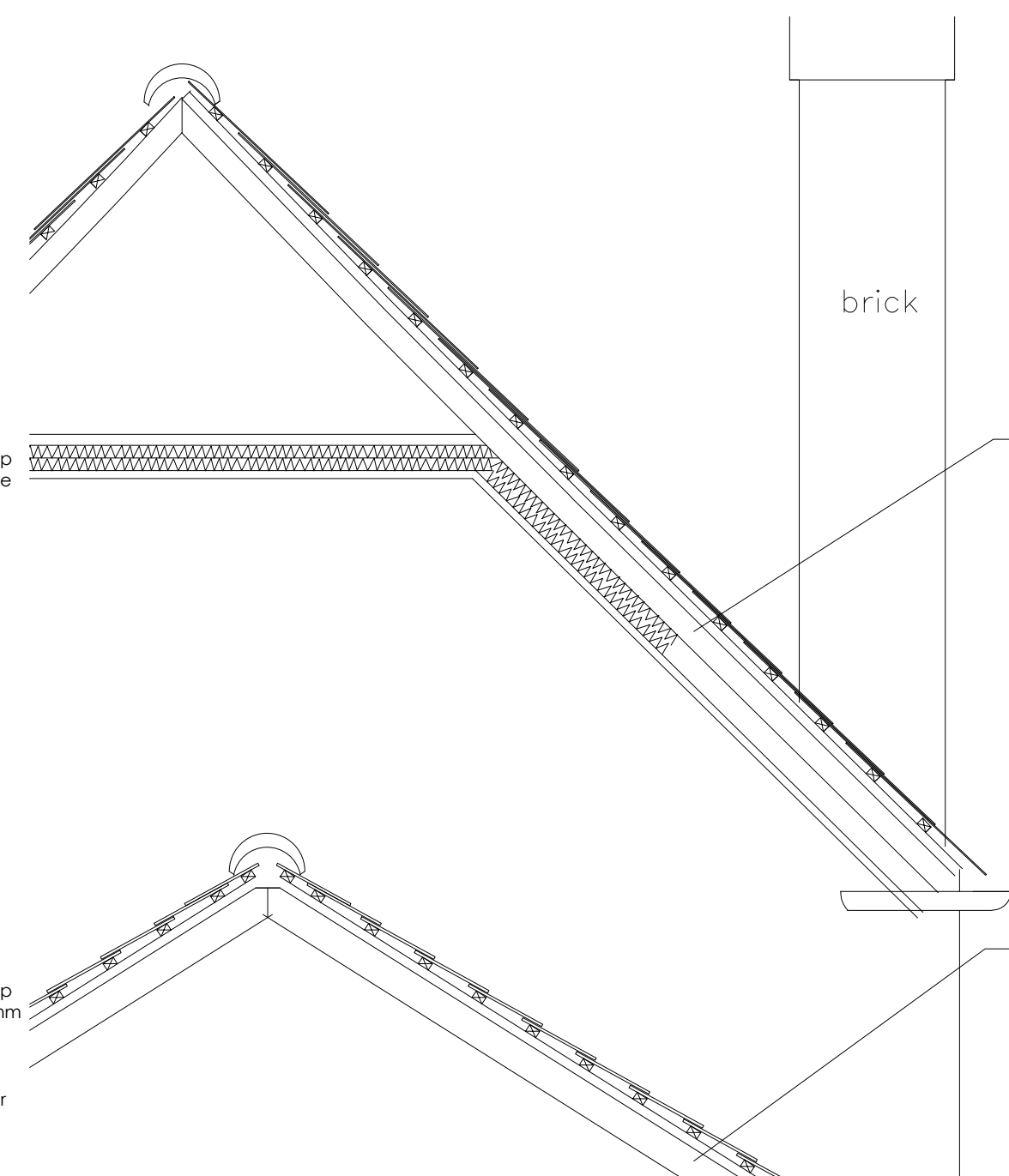
Revision: 2022.02.01 Issued for Planning LBC		
Project Name: Gloucester, 39 Westgate Street		
Client: Jake Etherton, JJ Property Rentals (39)		
Drawing Title: Existing Roof Plan - Fabric Repairs		
Hummingbird Architecture Ltd Lydney Town Hall, High St, Lydney GL15 5DY		
Drawn By: BK	Checked By:	Date: Feb 2022
Drawing Size: 1:100 @ A3		Rev:
Drawing No: 1040-54		



brick

Main Roof
Existing Roof Build Up
12" x 24" natural slate
19x38 slate battens
roofing felt
75mm timber rafter

Small Rear Roof
Existing Roof Build Up
nom.265mm x 165mm
rosemary tiles
19x38 slate battens
roofing felt
100mm timber rafter

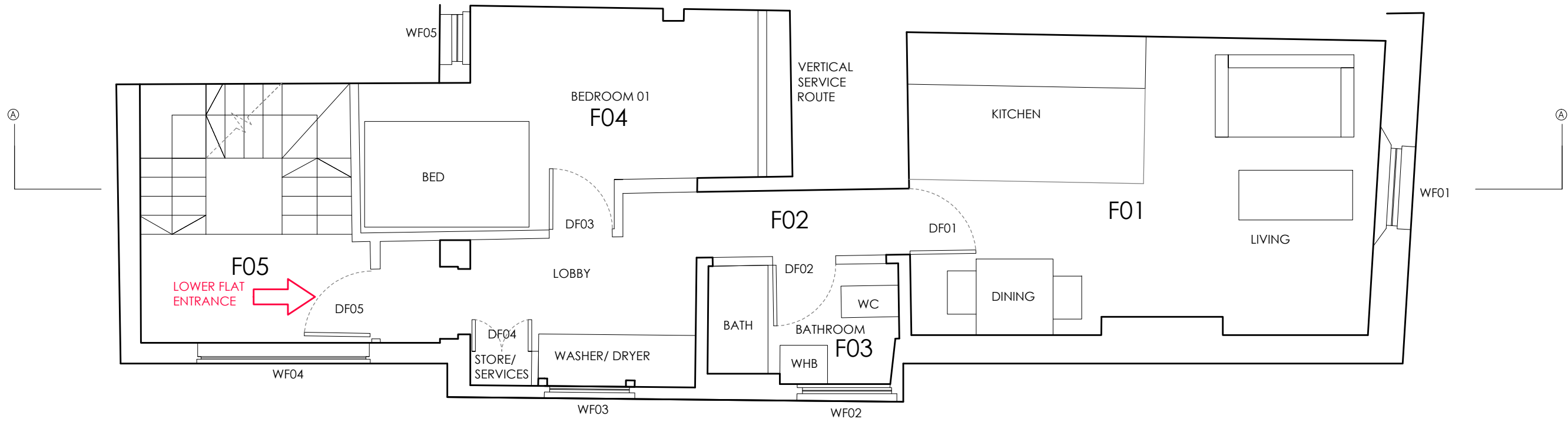


brick

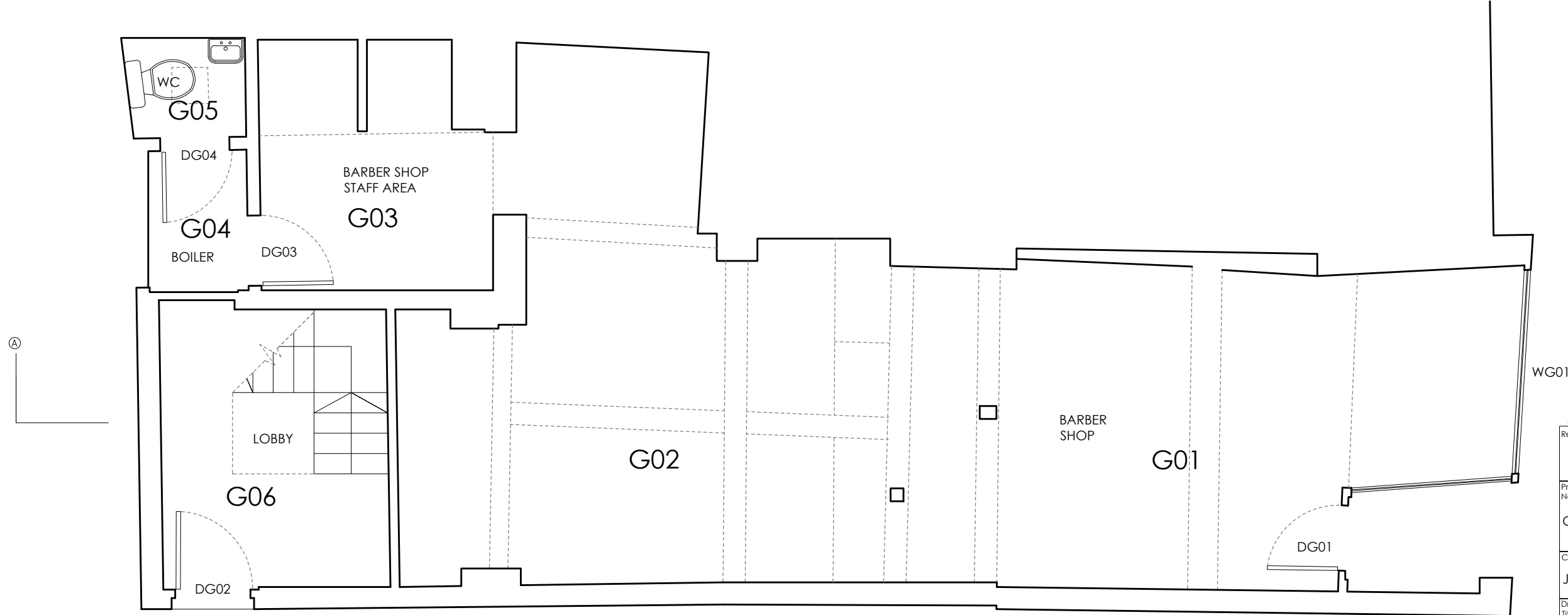
Main Roof
Proposed Roof Build Up
12" x 24" natural slate ('air open' so no further ventilation required in accordance with tlx manufacturer)
25x38 slate battens
33mm tlx gold thinsulate draped over the rafters, do not lay taught, leave void from 10mm up to 20mm under tlx for ventilation
75mm timber rafter
80mm Pavatex insulation on the underside of the rafter
Lime plaster ceiling finish

Small Rear Roof
Proposed Roof Build Up
nom.265mm x 165mm rosemary tiles
25x38 slate battens
33mm tlx gold thinsulate draped over the rafters, do not lay taught, leave void from 10mm up to 20mm under tlx for ventilation, 100mm timber rafter
80mm Pavatex insulation on the underside of the rafter to be further inspected and confirmed depending on whether there is sufficient headheight, lime plaster ceiling finish

Revision: 2022.02.01 Issued for Planning LBC		
Project Name: Gloucester, 39 Westgate Street		
Client: Jake Etherton, JJ Property Rentals (39)		
Drawing Title: Existing and Proposed Roof Build Ups (No. 39)		
Hummingbird Architecture Ltd Lydney Town Hall, High St, Lydney GL15 5DY [Redacted]		
Drawn By: BK	Checked By:	Date: Feb 2022
Drawing Size: 1:20 @ A3		
Drawing No: 1040-23		Rev:



Proposed First Floor Plan

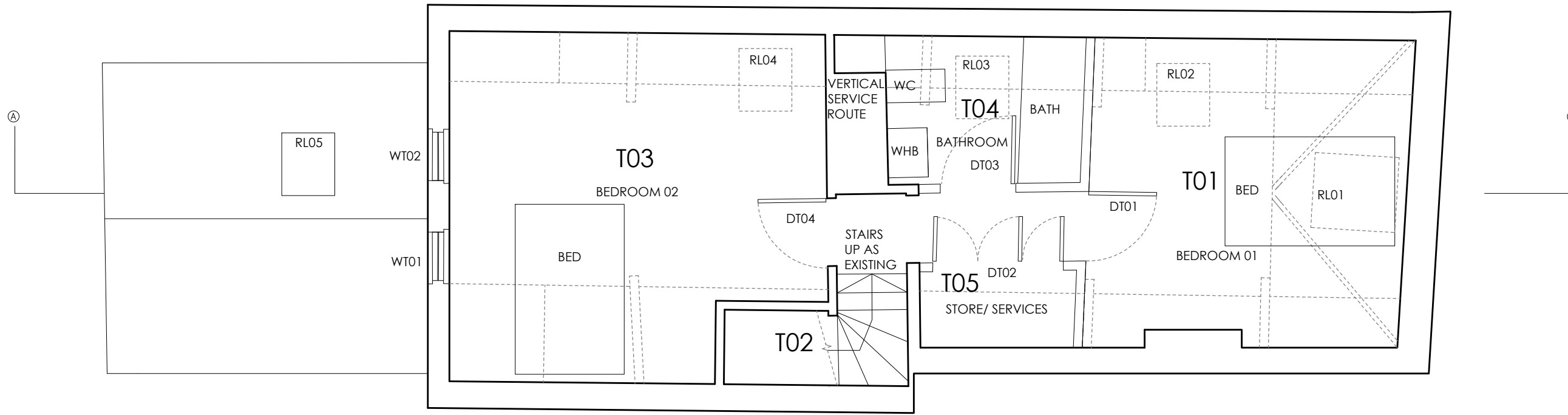


Proposed Ground Floor Plan

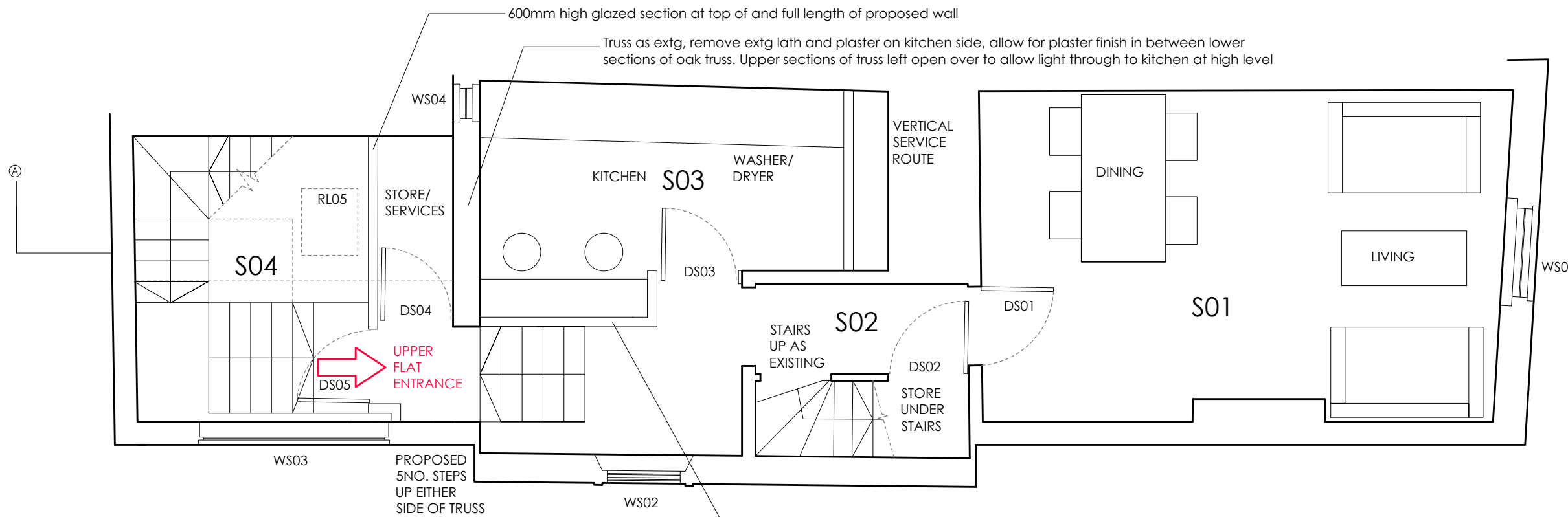
UPPER & LOWER FLAT ENTRANCES

NEXT STEPS
 QUANTITY SURVEYOR TO DEVELOP COST PLAN,
 STAIRCASE DESIGN DRAWINGS TO BE PRODUCED BY CONTRACTOR FOR COMMENT,
 FIRE STRATEGY TO BE AGREED WITH LOCAL FIRE OFFICER,
 FIRE AND ACOUSTIC SEPARATION TO BE AGREED WITH BUILDING CONTROL OFFICER,
 MECHANICAL AND ELECTRICAL LAYOUTS (INCL. MAINS INCOMING) ALL TO BE DEVELOPED WITH MECHANICAL AND ELECTRICAL CONSULTANT,
 APPROVALS INCLUDING REFUSE, RECYCLING AND BIKE STORES TO BE AGREED WITH PLANNING DEPARTMENT

Revision: 2022.01.18 Issued for Approvals and to Design Team 2022.02.01 Rev A Issued for Planning LBC		
Project Name: Gloucester, 39 Westgate Street		
Client: Jake Etherton, JJ Property Rentals (39)		
Drawing Title: Proposed Ground and First Floor Plan		
Hummingbird Architecture Ltd Lydney Town Hall, High St, Lydney GL15 5DY		
Drawn By: BK	Checked By:	Date: Jan 2022
Drawing Size: 1:100 @ A3		
Drawing No: 1040-20	Rev: A	



Proposed Third Floor Plan



Proposed Second Floor Plan

NEXT STEPS
 QUANTITY SURVEYOR TO DEVELOP COST PLAN,
 STAIRCASE DESIGN DRAWINGS TO BE PRODUCED BY CONTRACTOR FOR COMMENT,
 FIRE STRATEGY TO BE AGREED WITH LOCAL FIRE OFFICER,
 FIRE AND ACOUSTIC SEPARATION TO BE AGREED WITH BUILDING CONTROL OFFICER,
 MECHANICAL AND ELECTRICAL LAYOUTS (INCL. MAINS INCOMING) ALL TO BE DEVELOPED WITH MECHANICAL AND ELECTRICAL CONSULTANT,
 APPROVALS INCLUDING REFUSE, RECYCLING AND BIKE STORES TO BE AGREED WITH PLANNING DEPARTMENT

Revision: 2022.01.18
 Issued for Approvals and to Design Team
 2022.02.01 Rev A Issued for Planning LBC

Project Name:
 Gloucester, 39 Westgate Street

Client:
 Jake Etherton, JJ Property Rentals (39)

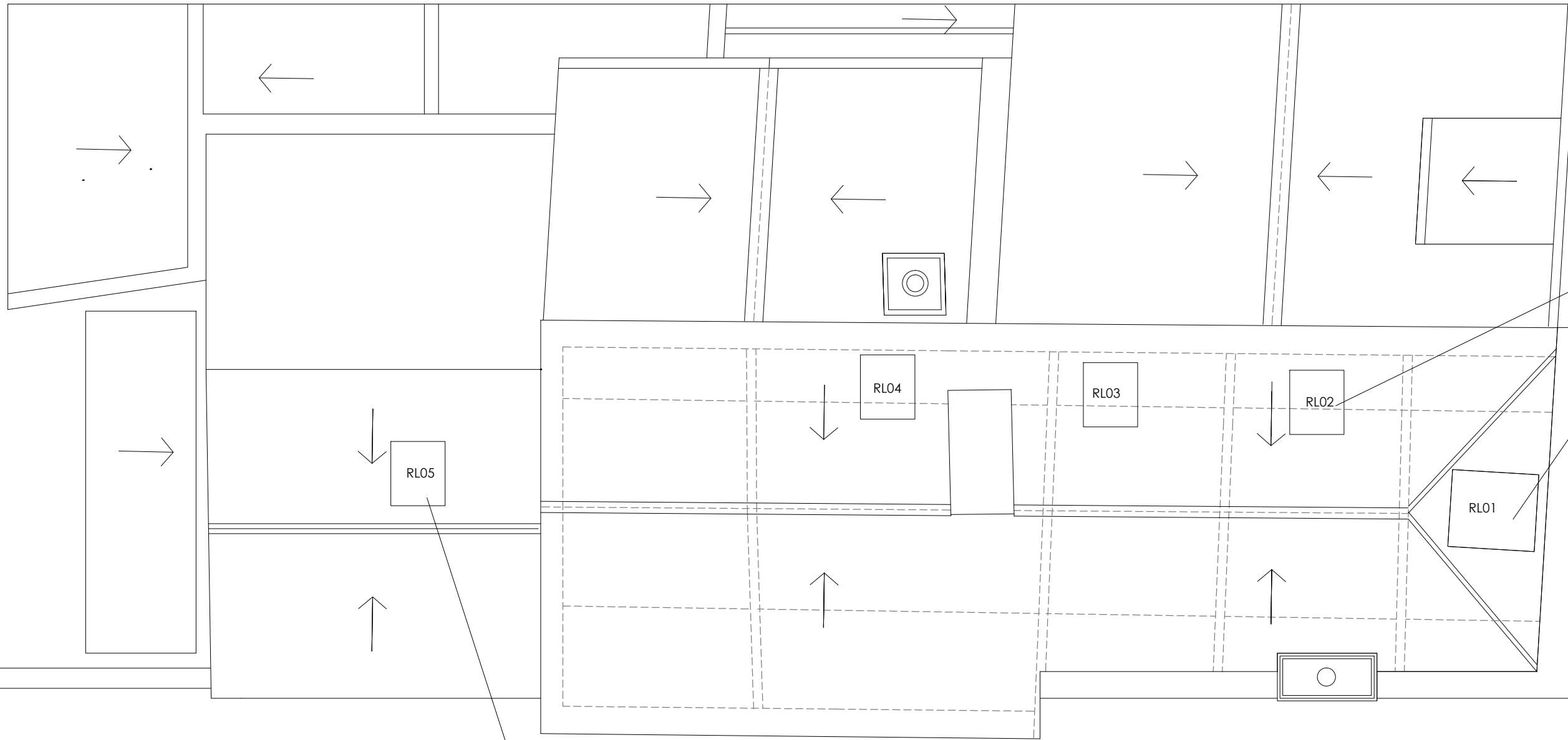
Drawing Title:
 Proposed Second and Third Floor Plan

Hummingbird Architecture Ltd
 Lydney Town Hall, High St, Lydney GL15 5DY

Drawn By: BK Checked By: Date: Jan 2022

Drawing Size: 1:100 @ A3

Drawing No: 1040-21 Rev: A



Proposed Roof Lights RL02, RL03 and RL04 to be Clement Glazing Roof Light Size 0

Existing roof access hatch to be replaced by Clement Glazing Roof Light Size 0

Proposed Roof Light RL05 to be Clement Glazing Roof Light Size 2

Revision: 2022.02.01 Issued for Planning LBC

Project Name:
Gloucester, 39 Westgate Street

Client:
Jake Etherton, JJ Property Rentals (39)

Drawing Title:
Proposed Roof Plan

Hummingbird Architecture Ltd
Lydney Town Hall, High St, Lydney GL15 5DY

Drawn By: BK Checked By: Date: Feb 2022

Drawing Size: 1:100 @ A3

Drawing No: 1040-22

Rev:

NEXT STEPS
 QUANTITY SURVEYOR TO DEVELOP COST PLAN,
 STAIRCASE DESIGN DRAWINGS TO BE PRODUCED BY CONTRACTOR FOR COMMENT,
 FIRE STRATEGY TO BE AGREED WITH LOCAL FIRE OFFICER,
 FIRE AND ACOUSTIC SEPARATION TO BE AGREED WITH BUILDING CONTROL OFFICER,
 MECHANICAL AND ELECTRICAL LAYOUTS (INCL. MAINS INCOMING) ALL TO BE DEVELOPED WITH MECHANICAL AND ELECTRICAL CONSULTANT,
 APPROVALS INCLUDING REFUSE, RECYCLING AND BIKE STORES TO BE AGREED WITH PLANNING DEPARTMENT

Proposed Roof Plan

