

Application for Listed Building Consent for alterations, extension or demolition of a listed building

Planning (Listed Buildings and Conservation Areas Act) 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x) Northing (y)

Description

Applicant Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

Secondary number

Fax number

Email address

Description of Proposed Works

Please describe the proposals to alter, extend or demolish the listed building(s)

Has the development or work already been started without consent?

- Yes
 No

Listed Building Grading

What is the grading of the listed building (as stated in the list of Buildings of Special Architectural or Historical Interest)?

- Don't know
 Grade I
 Grade II*
 Grade II

Is it an ecclesiastical building?

- Don't know
 Yes
 No

Demolition of Listed Building

Does the proposal include the partial or total demolition of a listed building?

- Yes
 No

Related Proposals

Are there any current applications, previous proposals or demolitions for the site?

- Yes
 No

If Yes, please describe and include the planning application reference number(s), if known

Immunity from Listing

Has a Certificate of Immunity from Listing been sought in respect of this building?

- Yes
 No

Listed Building Alterations

Do the proposed works include alterations to a listed building?

- Yes
 No

If Yes, do the proposed works include

a) works to the interior of the building?

- Yes
 No

b) works to the exterior of the building?

- Yes
 No

c) works to any structure or object fixed to the property (or buildings within its curtilage) internally or externally?

- Yes
 No

d) stripping out of any internal wall, ceiling or floor finishes (e.g. plaster, floorboards)?

- Yes
 No

If the answer to any of these questions is Yes, please provide plans, drawings and photographs sufficient to identify the location, extent and character of the items to be removed. Also include the proposal for their replacement, including any new means of structural support, and state references for the plan(s)/drawing(s).

CHANGE OF INTERNAL LAYOUT WITHIN APARTMENTS FROM PREVIOUS APPLICATION 15/00357/LBC

Materials

Does the proposed development require any materials to be used?

- Yes
 No

Neighbour and Community Consultation

Have you consulted your neighbours or the local community about the proposal?

- Yes
 No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes

No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

The agent

The applicant

Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes

No

If Yes, please complete the following information about the advice you were given (this will help the authority to deal with this application more efficiently):

Officer name:

Title

First Name

Surname

Reference

Date (must be pre-application submission)

Details of the pre-application advice received

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes
- No

Ownership Certificates

Certificates under Regulation 6 - Planning (Listed Buildings and Conservation Areas) Regulations 1990

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of **all** the land to which this application relates; **and** has the applicant been the sole owner for more than 21 days?

- Yes
- No

Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which the application relates.

Person Role

- The Applicant
- The Agent

Title

First Name

Surname

Declaration Date

Declaration made

Declaration

I / We hereby apply for Listed building consent as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

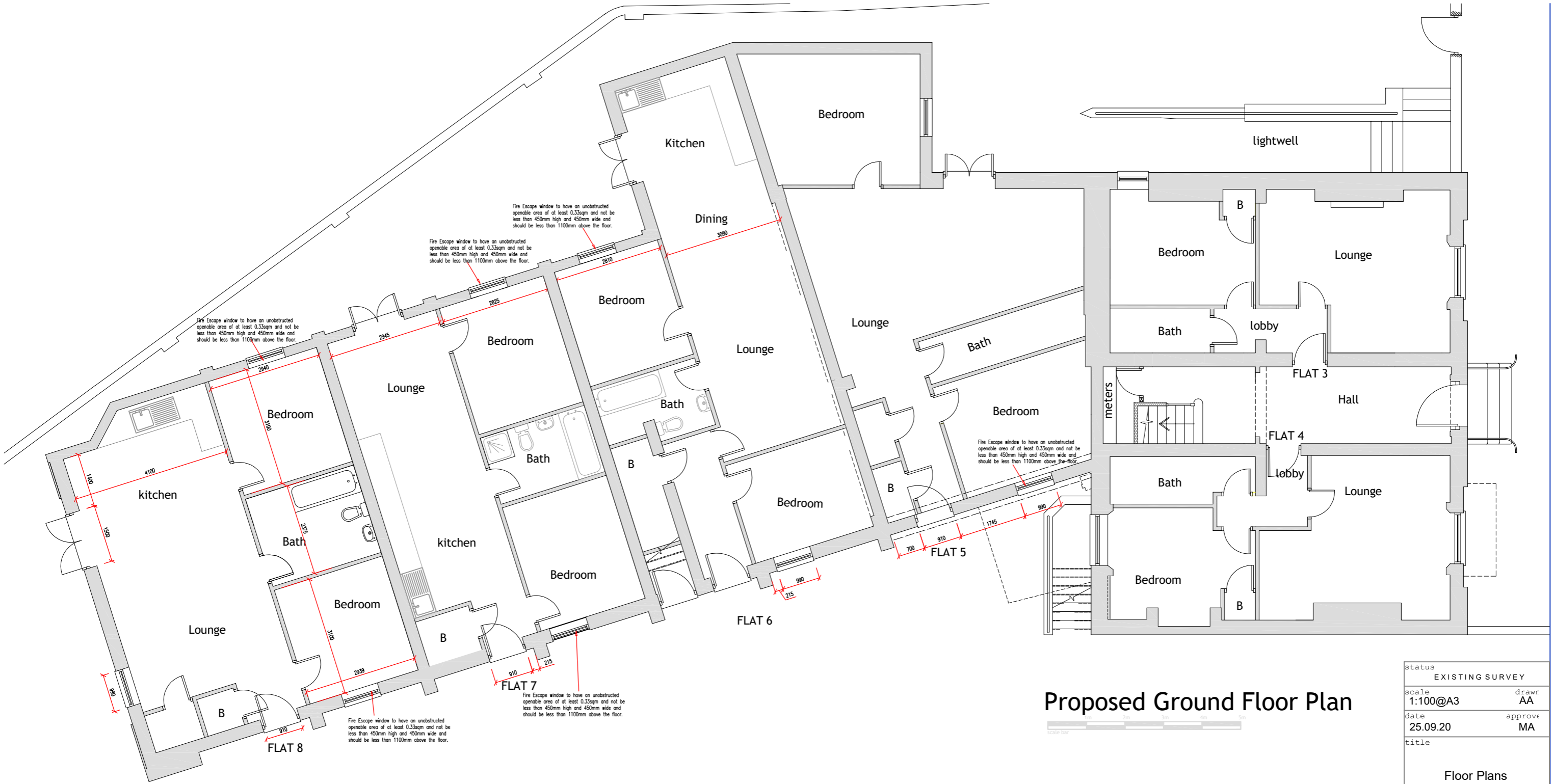
I / We agree to the outlined declaration

Signed

Gurj Dhaliwal

Date

19/07/2022



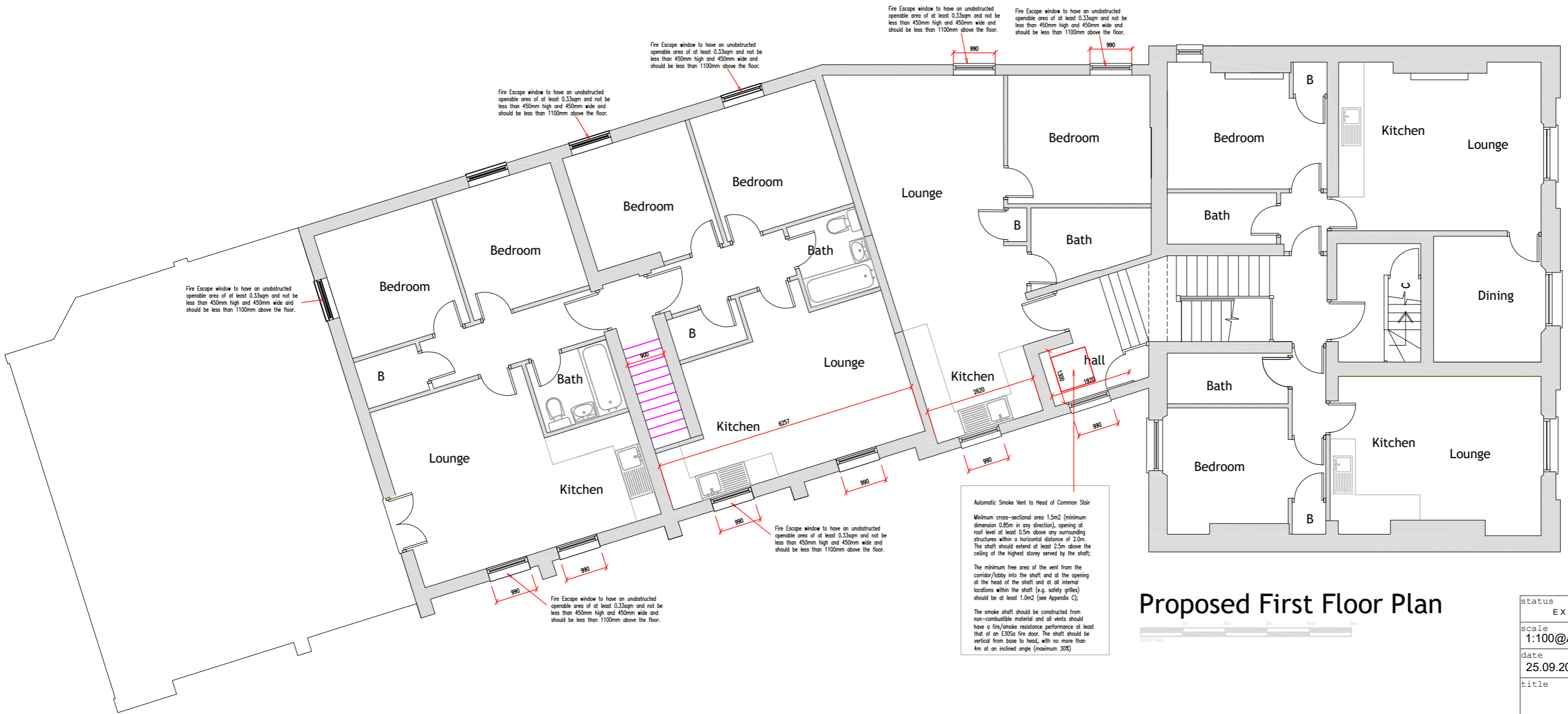
Proposed Ground Floor Plan



status	EXISTING SURVEY	
scale	1:100@A3	drawn AA
date	25.09.20	approved MA
title	Floor Plans	
project	6 Spa Road Gloucester GL1 1UZ	

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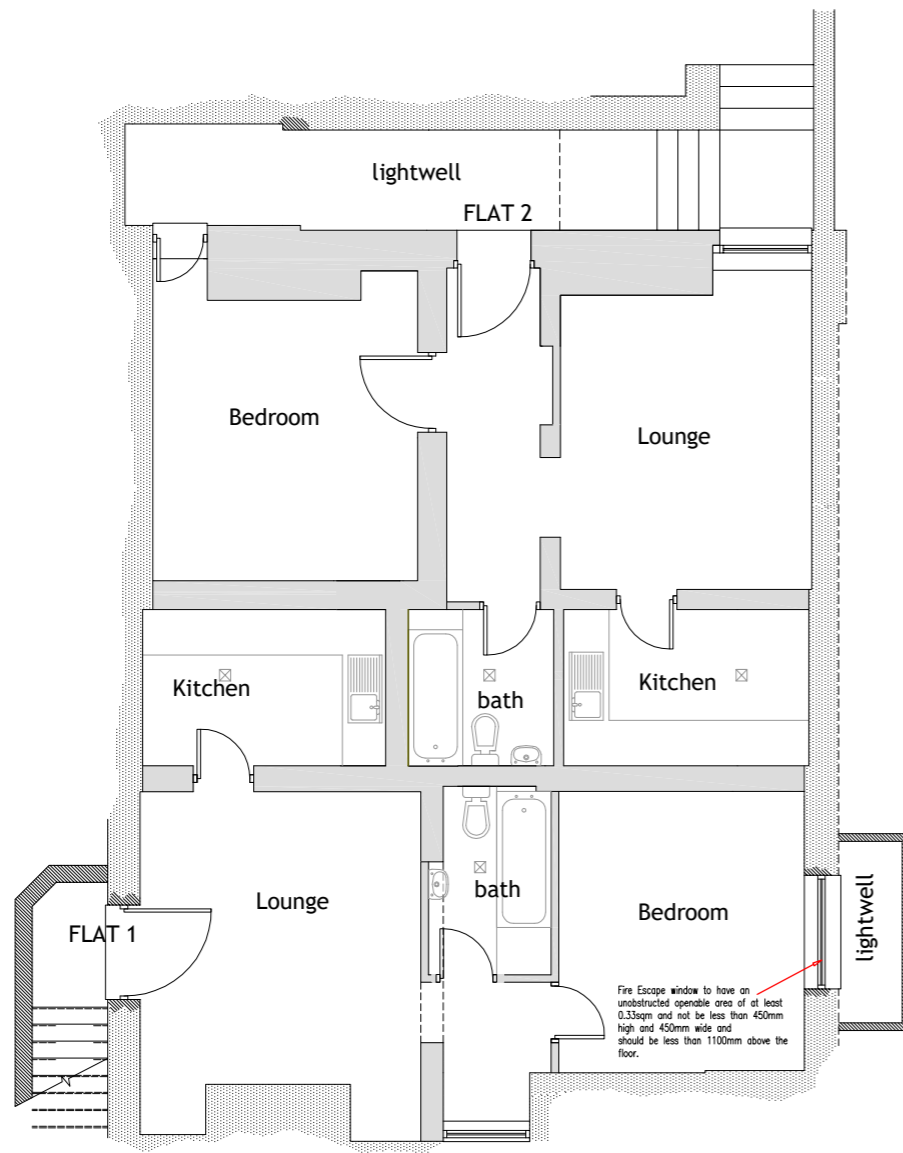
Proposed First Floor Plan



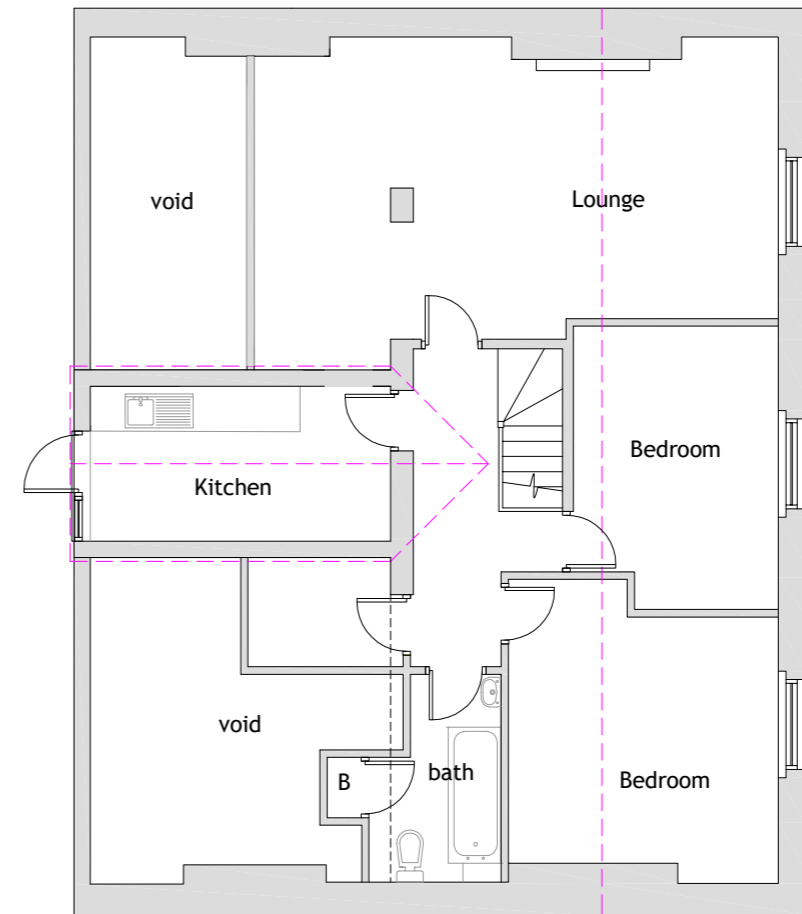
status	
EXISTING SURVEY	
scale	drawn
1:100@A3	AA
date	approved
25.09.20	MA
title	
Floor Plans	
project	
6 Spa Road Gloucester GL1 1UZ	

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Proposed Basement Plan



Proposed Second Floor Plan



status	EXISTING SURVEY	
scale	1:100@A3	drawn AA
date	25.09.20	approved MA
title	Floor Plans	
project	6 Spa Road Gloucester GL1 1UZ	

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Heritage Statement

Apartments 1 - 14

Norfolk house

6 Spa Road

Gloucester

GL1 1XL

March 2021

INTRODUCTION

This statement is being compiled for Listed Building Consent for Norfolk House 6 Spa Road. The application is for is for Listed Building Consent as a reconfiguration of the internal arrangement previously consented under 15/00357/LBC was required.

HISTORIC APPRASIAL

6 Spa Road is a grade II listed Building located within the Spa Road Conservation Area
In 1811 springs were discovered to the west of Rigney Stile (Gloucester Park) which is not called Spa Road and sankwells. The Springs were discovered by Sir James Jelf, he acquired grounds in this area, and built a spa along with a pump room and hot and cold baths, and a rove of magnificent houses, which can be seen in Spa Road. In 1815 the Spa Rooms were opened to subscribers.

The Importance of the Spa to the City was noticed and a group of shareholders paid £6500 to buy it. They added further amenities and sold off the adjoining land and building work took place in the immediate area in 1818. They built a Hotel, later to become Judges Lodgings and smart terrace

A Physician by the name of Dr John Baron recommended the water for its iodine content and the Spa was at its most popular in the 1820's, but by 1829 was losing favour with the public.

Unfortunately the Spa Pump Rooms are no longer standing and the only thing to be seen of them now is a plaque on a tree by the bowling green. However the Judges Lodge and Gloucester Registry Office are original buildings .

The Spa Gardens are still pleasant to walk around before walking through the main Municipal Park.

6 SPA ROAD

The Building is a Grade 2 Listed Building. A listed building is one that is included on the Government Statutory List of Buildings of Special Architectural or Historic Interest.

The building had previously been vacant and had fallen into disrepair as it has been unoccupied since 2010. The building was a cause for concern due to the rapid deterioration and anti-social behaviour, including squatting and drug use which had caused further harm to the building.

Some architectural fabric had been removed by the previous owners, including fireplaces on the first floor.

At Present the building is undergoing a conversion from RAFA Club to 14 apartments under planning permission 15/00356/FUL and Listed Building Consent 15/00357/LBC.

The principle of conversion to flats and the resulting alterations to the building is therefore accepted.

However, the consented proposal was designed in such a way as to route waste and water through the centre of the building and the new proposal seeks consent for this be reconfigured within the building. The revised scheme relocates ensuite bathrooms within each room in a more affective and less architecturally intrusive configuration that reduces the level of harm by running soil and waste through to the rear of the primary listed building, rather than through the centre.

See Below copy of listing for Norfolk House 6 Spa Road

Listing Text

GLOUCESTER

SO8217 SPA ROAD

844-1/15/303 (South side)

12/03/73 No.6

Norfolk House

(Formerly Listed as:

SPA ROAD

No.6

Norfolk House (RAF Association Club))

GV II

House, now Club (RAF Association). c1820. Stuccoed brick, slate roof; brick stacks on the end gables. Double-depth block with rear wing to left.

EXTERIOR: three storeys and cellar; symmetrical front of three

bays, the windows in the end bays set within a full-height, shallow recess with basket-arched head; offset plinth, shallow crowning cornice and blocking course; central entrance doorway, approached by a flight of three stone steps, in a plain opening with semicircular arched head with blocked fanlight and fielded six-panel door; windows in diminishing heights from ground to second floor, on either side of the doorway a large sash, and on each upper floor three sashes, all with glazing bars (3x4 panes on the ground and first floors, 3x2 panes on the second floor), all in openings with projecting stone sills.

INTERIOR: not inspected.

Listing NGR: SO8288417992

PROPOSALS

Drawings are attached with the application for:

Change of floor plans to

Ground floor	drawings number 06 (P) 01
First Floor	drawings number 06 (P) 02
Basement and Second Floor	drawings number 06 (P) 03

There are 2 changes proposed.

ENTRANCE LOBBYS & AOV

Most importantly the Apartments in the main listed building do need a lobby in their entrance to restrict smoke escaping from any apartment to the communal fire exit route. This is assisted with a AOV and fireman switch

This is a curial requirement by the fire service and a requirement of current building regulations

All lobby partitions will be attached to false walls agreed in Listed Building Consent 15/00357/LBC, therefore not effecting the original fibre of the Listed Building. The AOV is now proposed to be installed to the modern rear wing of the building which still forms part of the communal hall way but does not disturb the main Listed building

BATHROOM LOCATIONS

The layout of the bathrooms of The Apartments as granted in Listed Building Consent 15/00357/LBC will be changed to the rear of the main building. This will cause less disturbance to the side walls of the building by reducing extraction vents, flu pipes etc. With the revised floor plans extraction for these bathrooms will now be at the rear of the property which blends in with the modern rear wing.

CONCLUSION

Taking the above into consideration this will enhance the outlook of the main listed building and provide safe fire exit routes from occupants in the Apartments. Careful thought has been given to the original fabric of the main listed building and these proposals do not interfere with any existing architectural details, walls or ceilings. If anything it enhances the buildings appearance and its layout. The proposal is considered to be less harmful to the significance of the listed building than the previously consented scheme.