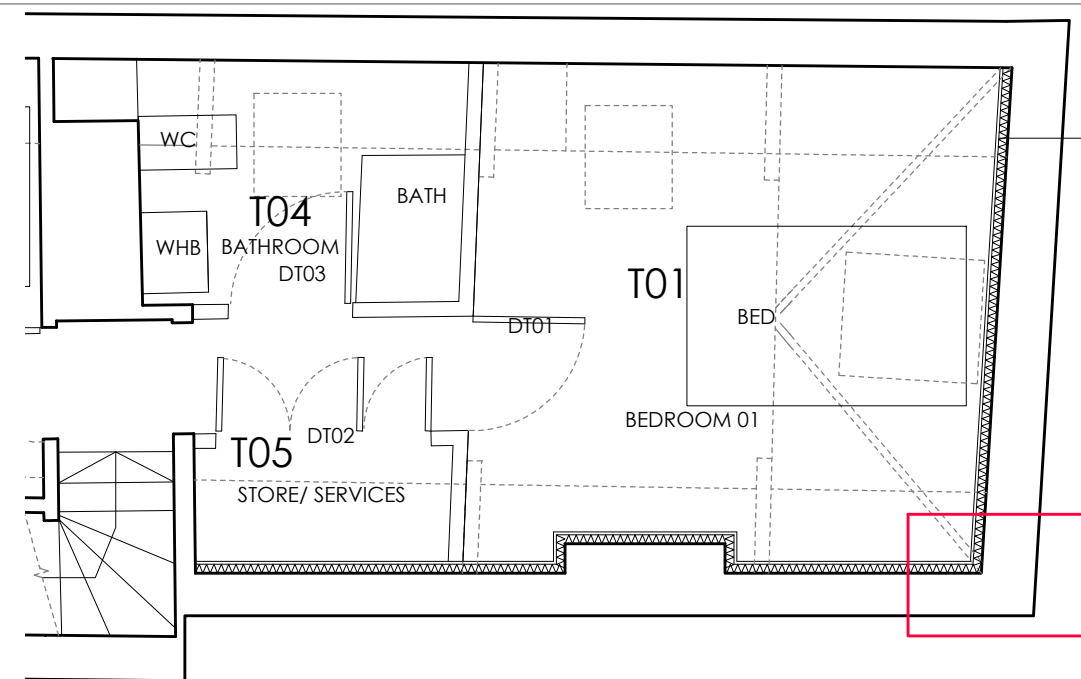
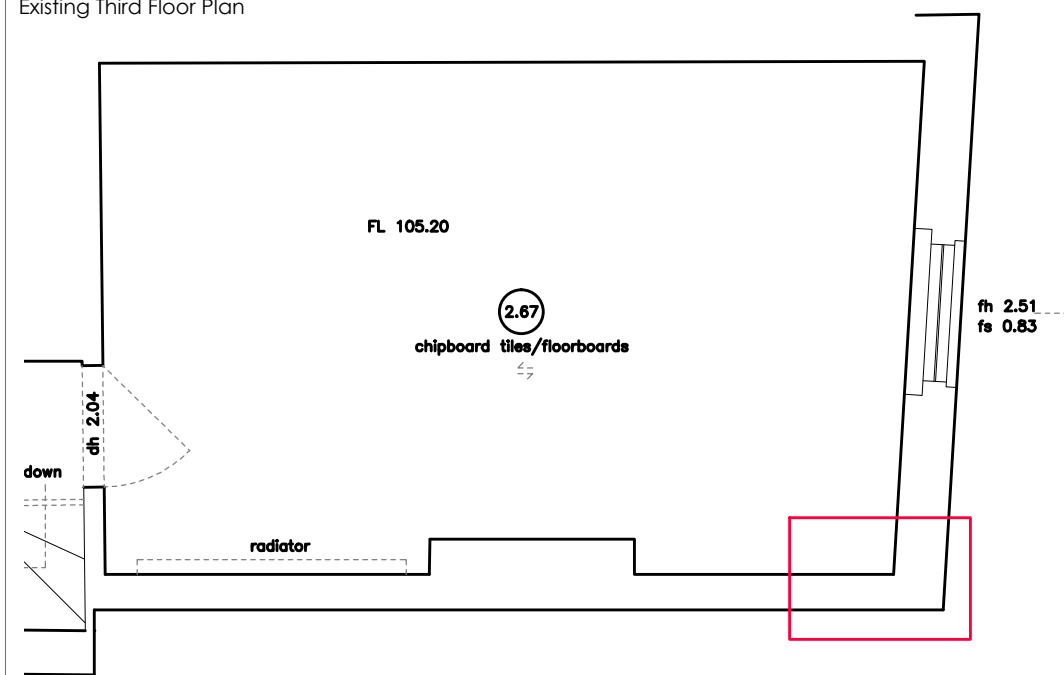


Existing Third Floor Plan

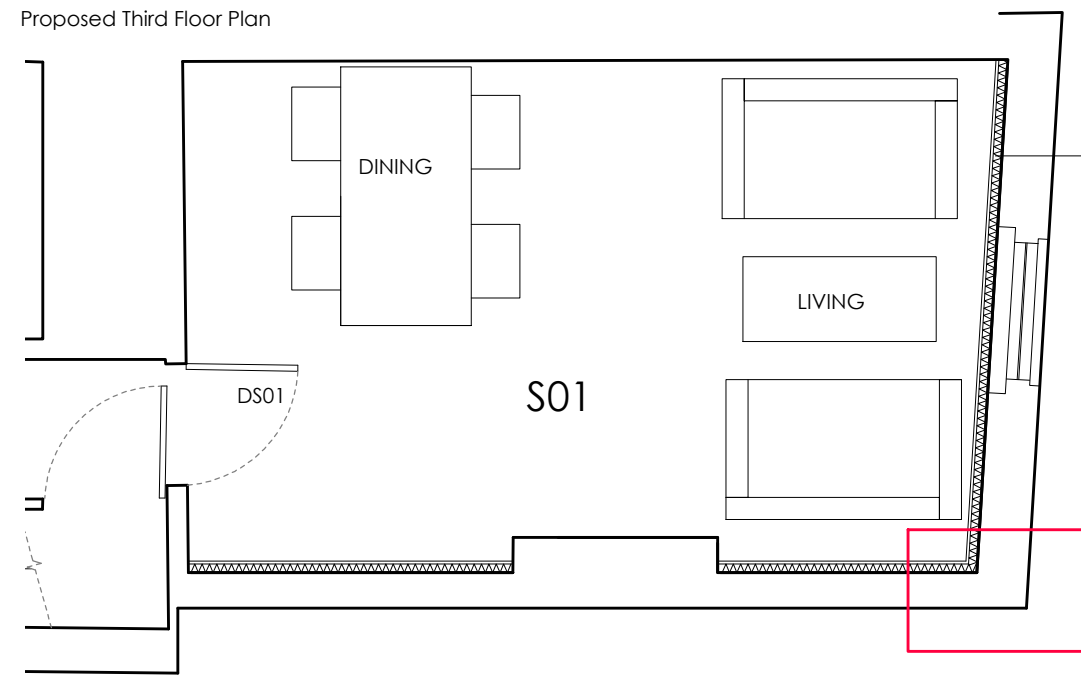


Proposed Third Floor Plan

Steico Internal 60mm thermal insulation board applied internally to existing masonry wall as indicated. Steico Internal 60mm is square edged and plasterable. Allow for a thin coat lime plaster finish internally with mesh embedded.



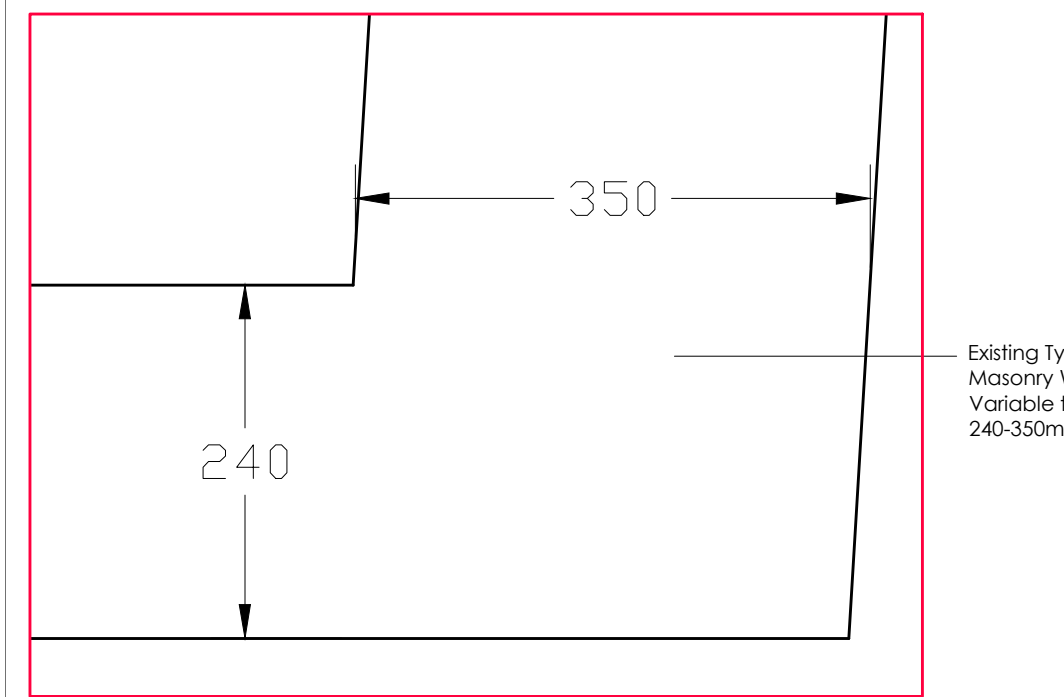
Existing Second Floor Plan



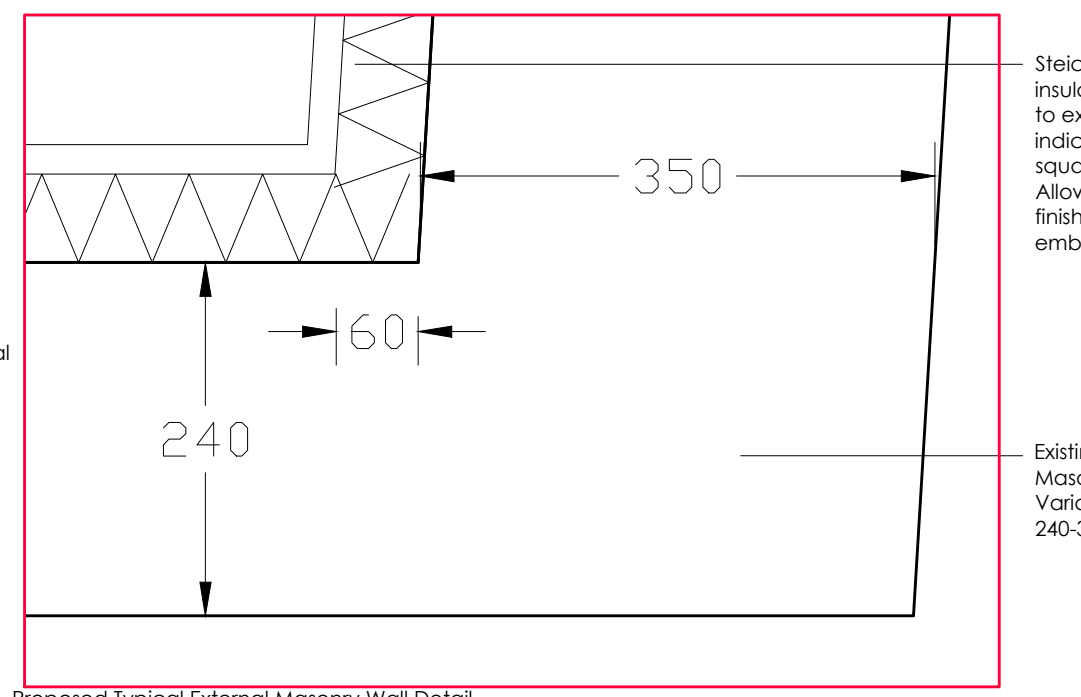
Proposed Second Floor Plan

Steico Internal 60mm thermal insulation board applied internally to existing masonry wall as indicated. Steico Internal 60mm is square edged and plasterable. Allow for a thin coat lime plaster finish internally with mesh embedded.

SUBJECT TO BUILDING REGULATIONS APPROVAL AND LISTED BUILDING CONSENT



Existing Typical External Masonry Wall Detail

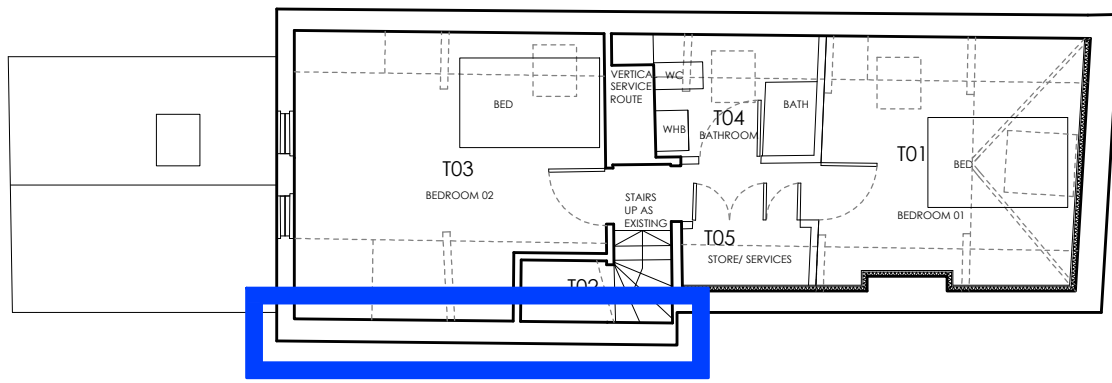


Proposed Typical External Masonry Wall Detail

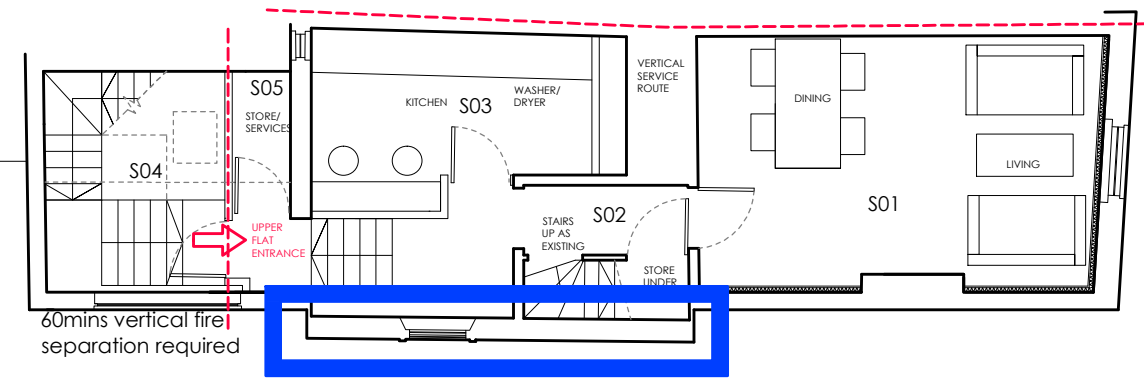
Steico Internal 60mm thermal insulation board applied internally to existing masonry wall as indicated. Steico Internal 60mm is square edged and plasterable. Allow for a thin coat lime plaster finish internally with mesh embedded.

Existing Typical External Masonry Wall Detail Variable thickness 240-350mm

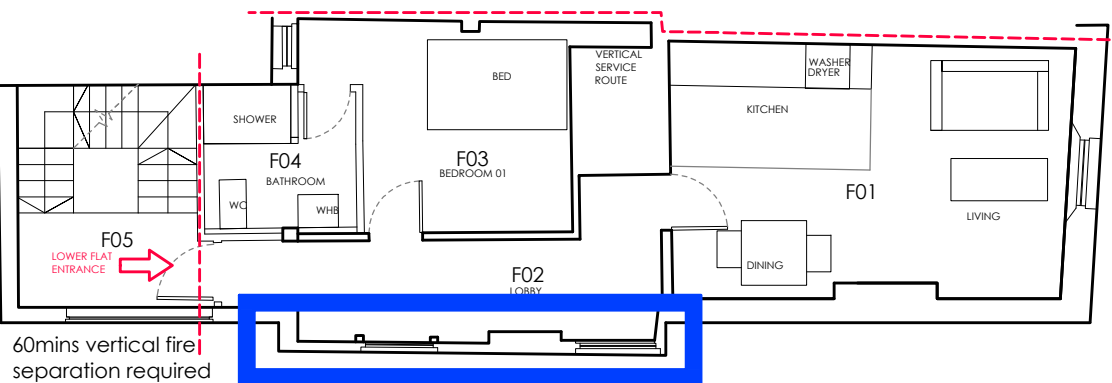
2022.03.16 Rev A Board Spec Revised Issued to Conservation Officer, B.Reg's & Contractor		
Revision:	2022.03.09 Issued to Conservation Officer and Supplier	
Project Name:	Gloucester, 39 Westgate Street	
Client:	Jake Etherton, JJ Property Rentals (39)	
Drawing Title:	Existing and Proposed External Masonry Wall Build Ups (No. 39)	
Hummingbird Architecture Ltd Lydney Town Hall, High St, Lydney GL15 5DY		
Drawn By:	BK	Checked By:
Drawing Size:	1:50 and 1:5 @ A3	
Drawing No:	1040-24	Date:
		March 2022
Rev:	A	



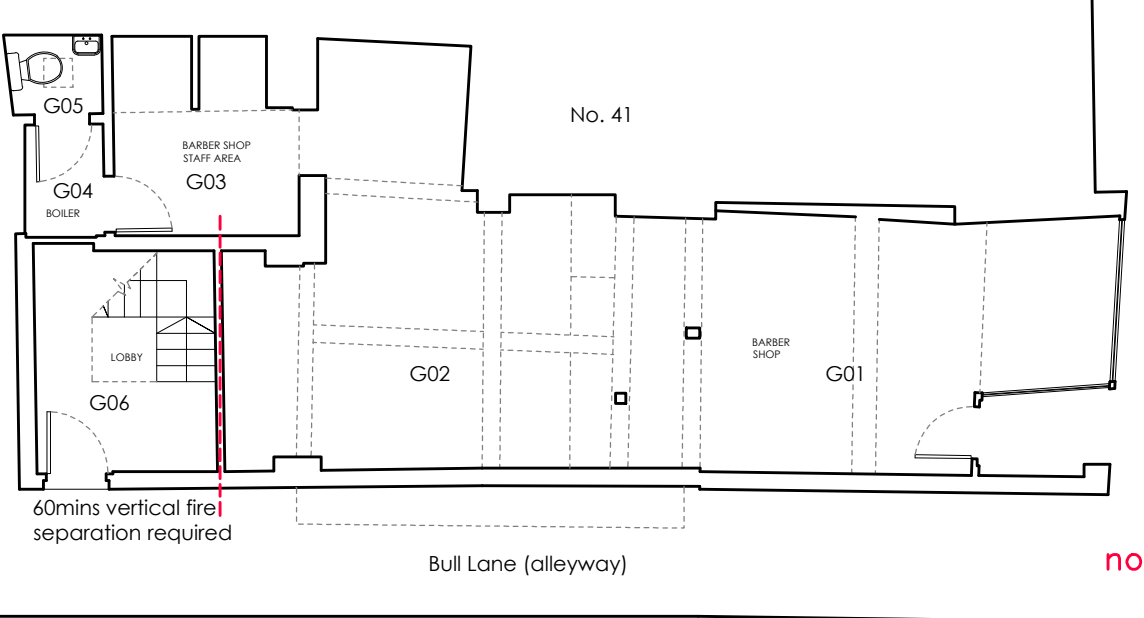
Proposed Third Floor Plan External Timber Frame Wall Facing Alleyway Detail



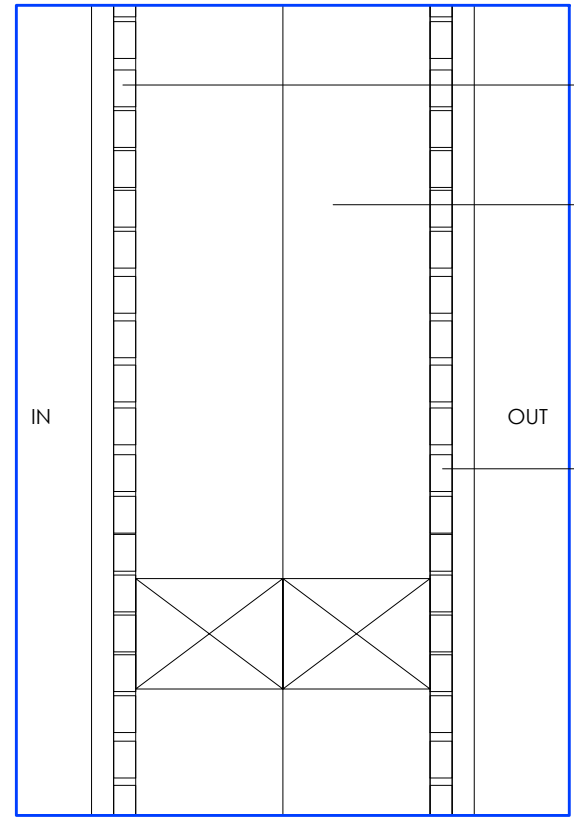
Proposed Second Floor Plan External Timber Frame Wall Facing Alleyway Detail



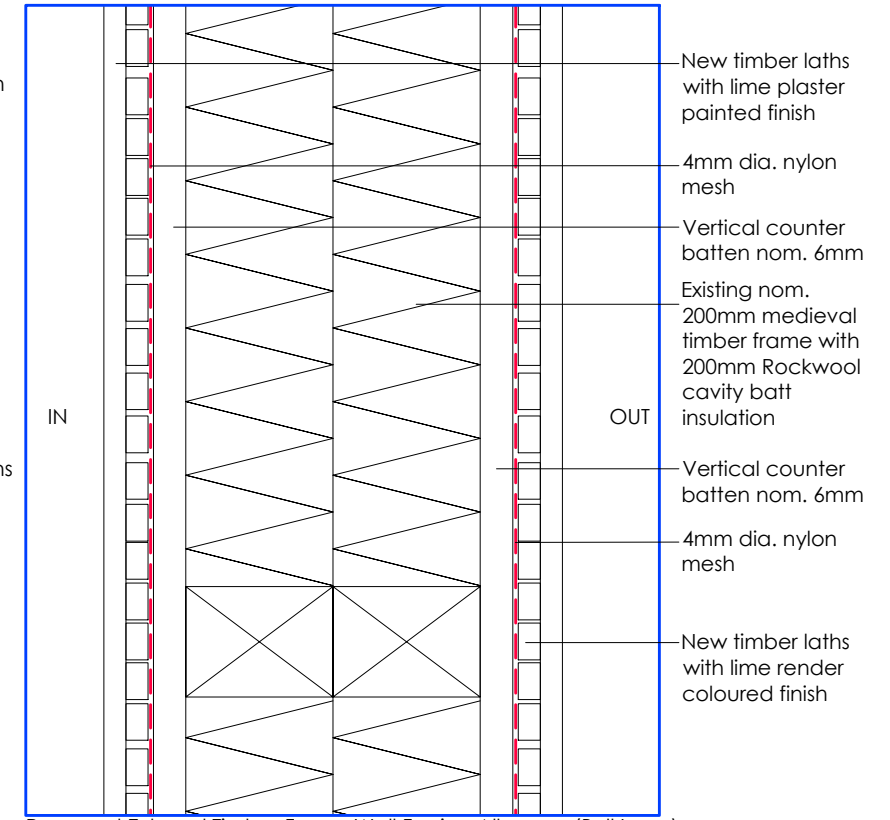
Proposed First Floor Plan External Timber Frame Wall Facing Alleyway Detail



Proposed Ground Floor Plan



Existing External Timber Frame Wall Facing Alleyway (Bull Lane)



Proposed External Timber Frame Wall Facing Alleyway (Bull Lane)

Revision:
 2022.03.28 Rev A
 Issued to Conservation Officer, B.Regis & Contractor
 2022.03.16 Board Spec Revised
 Issued to Conservation Officer, B.Regis & Contractor

Project Name:
 Gloucester, 39 Westgate Street

Client:
 Jake Etherton, JJ Property Rentals (39)

Drawing Title:
 Existing and Proposed External Timber Frame Wall Facing Alleyway (Bull Lane)

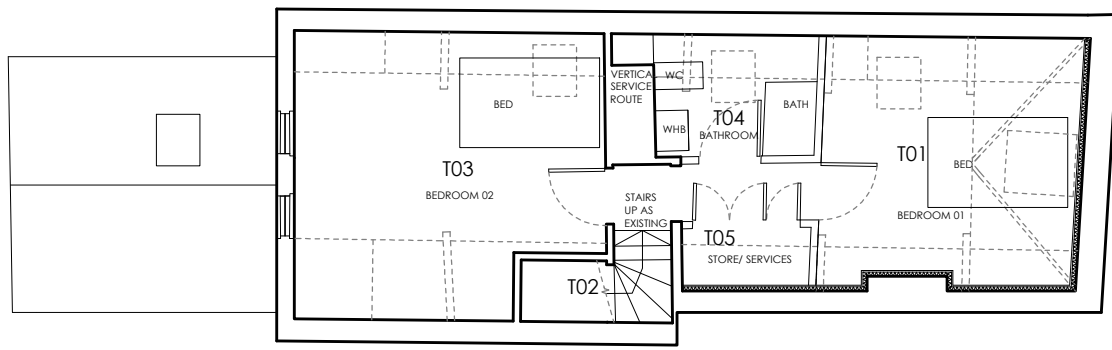
Hummingbird Architecture Ltd
 Lydney Town Hall, High St, Lydney GL15 5DY

Drawn By: BK Checked By: Date: March 2022

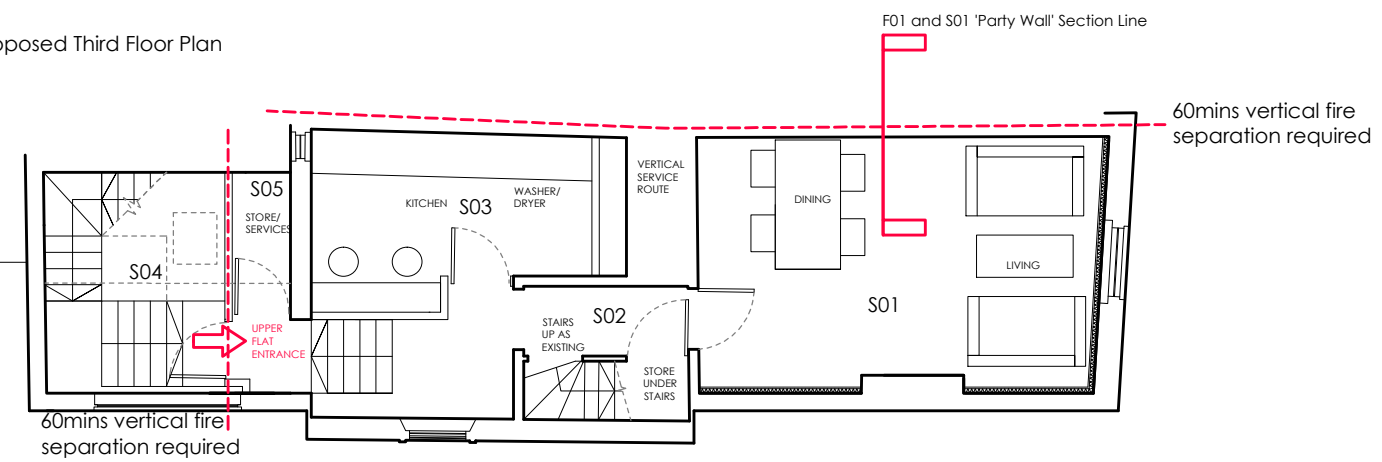
Drawing Size: 1:100 and 1:5 @ A3

Drawing No: 1040-27 Rev: A

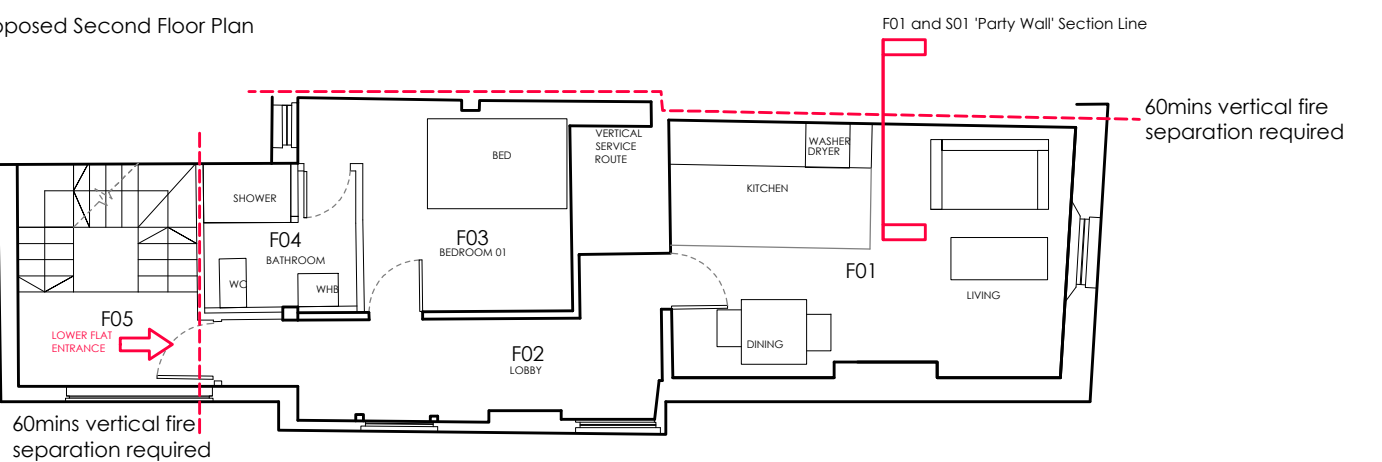
SUBJECT TO BUILDING REGULATIONS APPROVAL AND LISTED BUILDING CONSENT



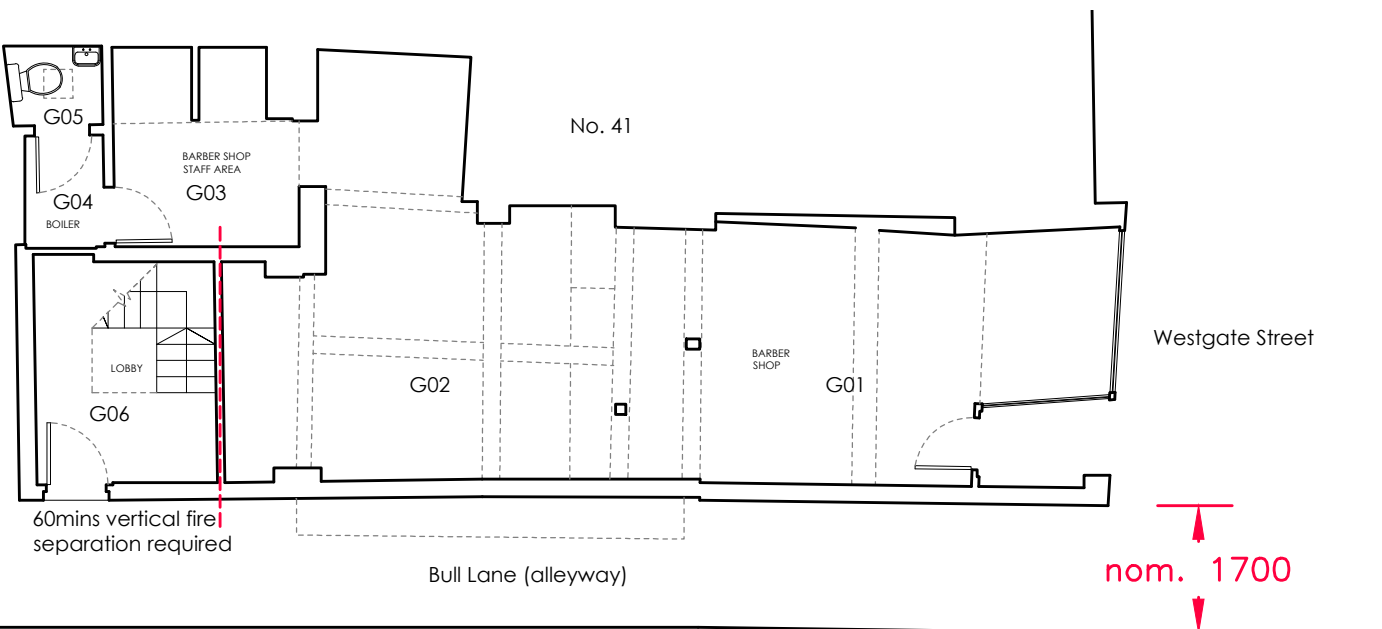
Proposed Third Floor Plan



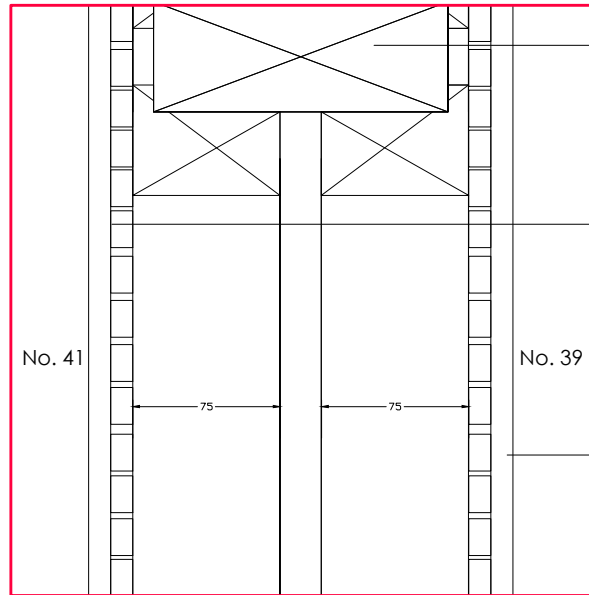
Proposed Second Floor Plan



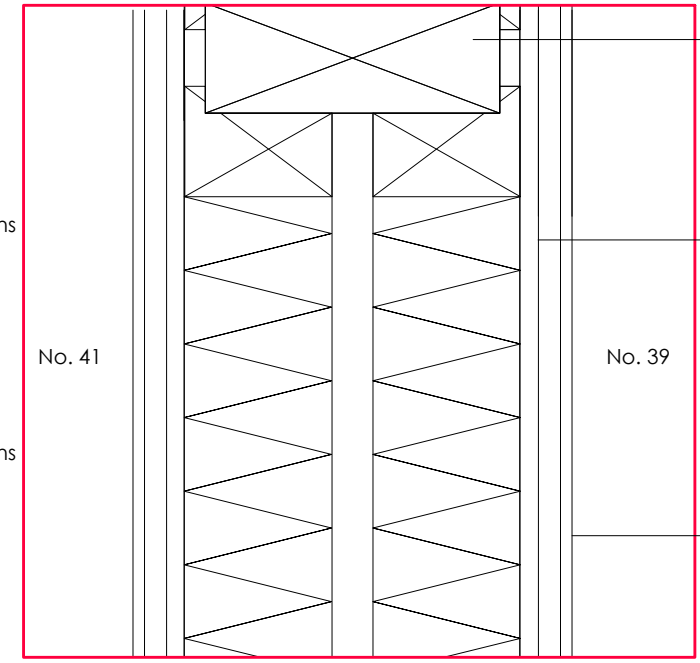
Proposed First Floor Plan



Proposed Ground Floor Plan



Existing F01 and S01 'Party Wall' Detail



Proposed F01 and S01 'Party Wall' Detail

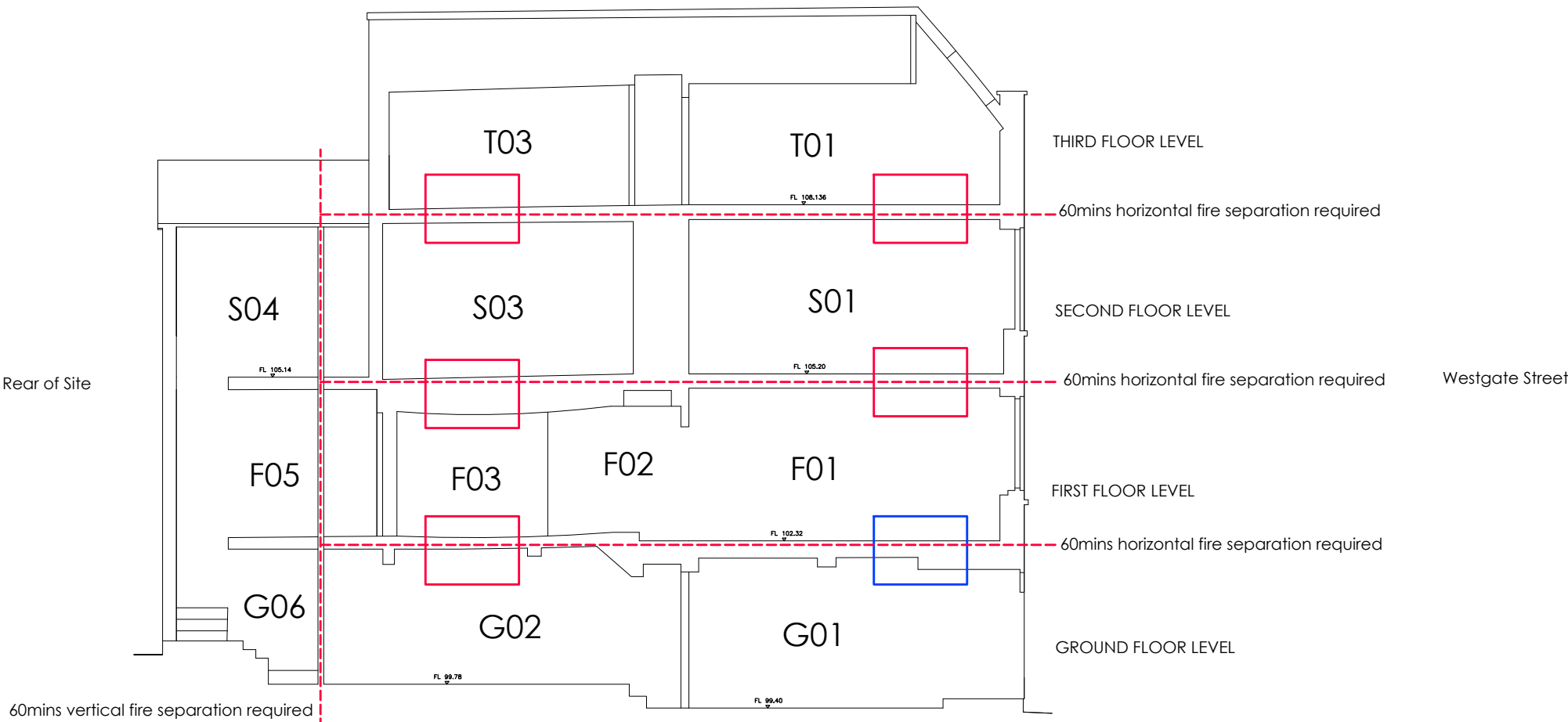
EXISTING AND PROPOSED DOOR AND ARCHITRAVE (FIRE RATED AND NON FIRE RATED) DETAILS TO FOLLOW

URGENT CONFIRMATION REQUIRED BY BUILDING CONTROL ON WHAT INTERNAL AND EXTERNAL WALLS ARE REQUIRED TO BE FIRE RATED

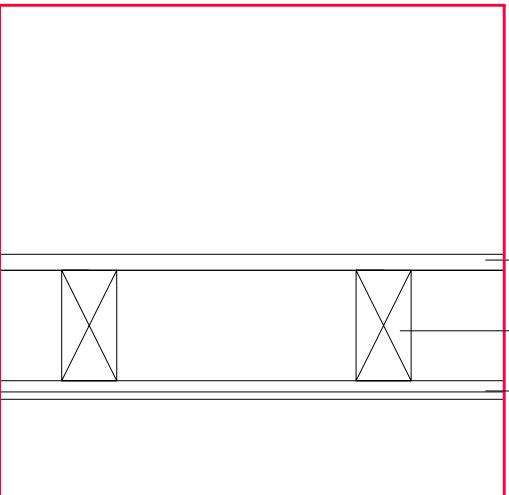
SUBJECT TO BUILDING REGULATIONS APPROVAL AND LISTED BUILDING CONSENT

LEGEND
 - - - - - 60mins vertical fire separation required

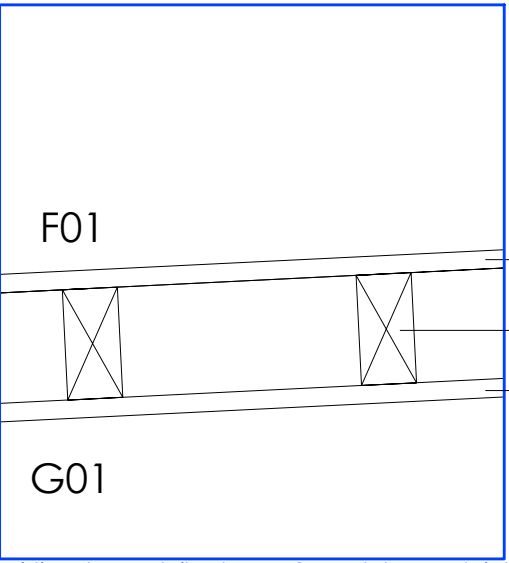
Revision: 2022.03.28 Issued to Conservation Officer, B.Regis & Contractor		
Project Name: Gloucester, 39 Westgate Street		
Client: Jake Etherton, JJ Property Rentals (39)		
Drawing Title: Existing and Proposed F01 and S01 'Party Wall' Detail		
Hummingbird Architecture Ltd Lydney Town Hall, High St, Lydney GL15 5DY [Redacted]		
Drawn By: BK	Checked By:	Date: March 2022
Drawing Size: 1:100 and 1:5 @ A3		Rev:
Drawing No: 1040-29		



Proposed Long Section Through 39 Westgate Street, Gloucester

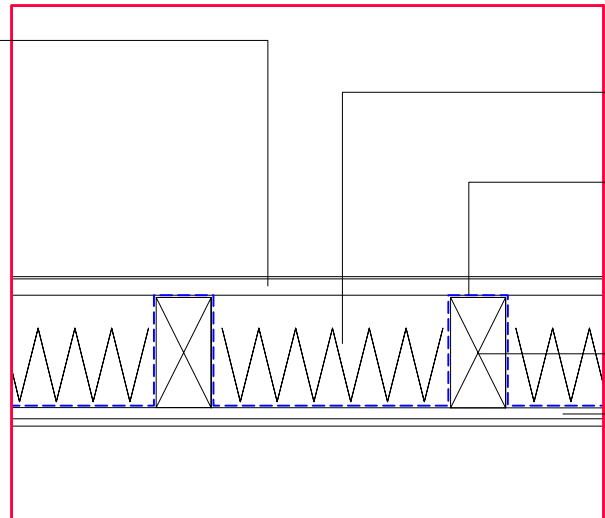


Typical existing Floor Detail Between First Floor and Second Floor Levels
Typical existing Floor Detail Between Second Floor and Third Floor Levels



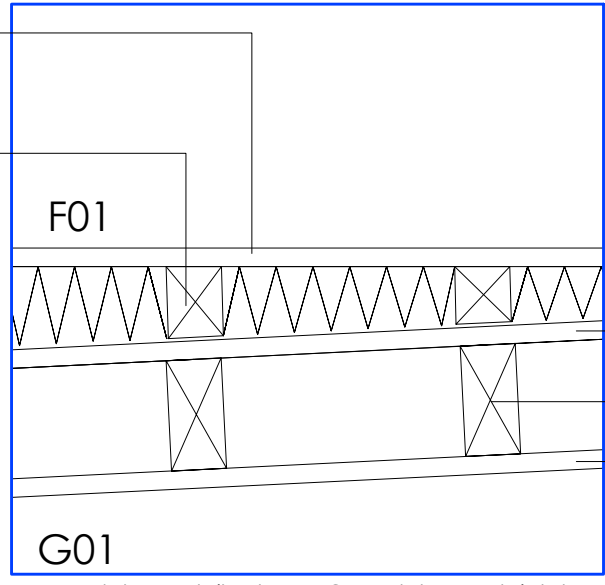
Existing Floor Detail Between Ground Floor and First Floor Levels

Within kitchen and bathroom areas: New floor of 19mm flooring grade t&g chipboard with Altro finish or similar over.
Within all other areas: Original Georgian square edge boards with a layer of 3mm hardboard above or below the boards.



Typical proposed Floor Detail Between First Floor and Second Floor Levels
Typical proposed Floor Detail Between Second Floor and Third Floor Levels

Original Georgian square edge floorboards relocated from upper levels within building 3/4 inch thick, nominal 200 wide
Timber fillets installed to provide a raised and level floor over existing medieval boards, allow for Rockwool Flexi or similar in between. Gap variable from 1 inch to 6 inch



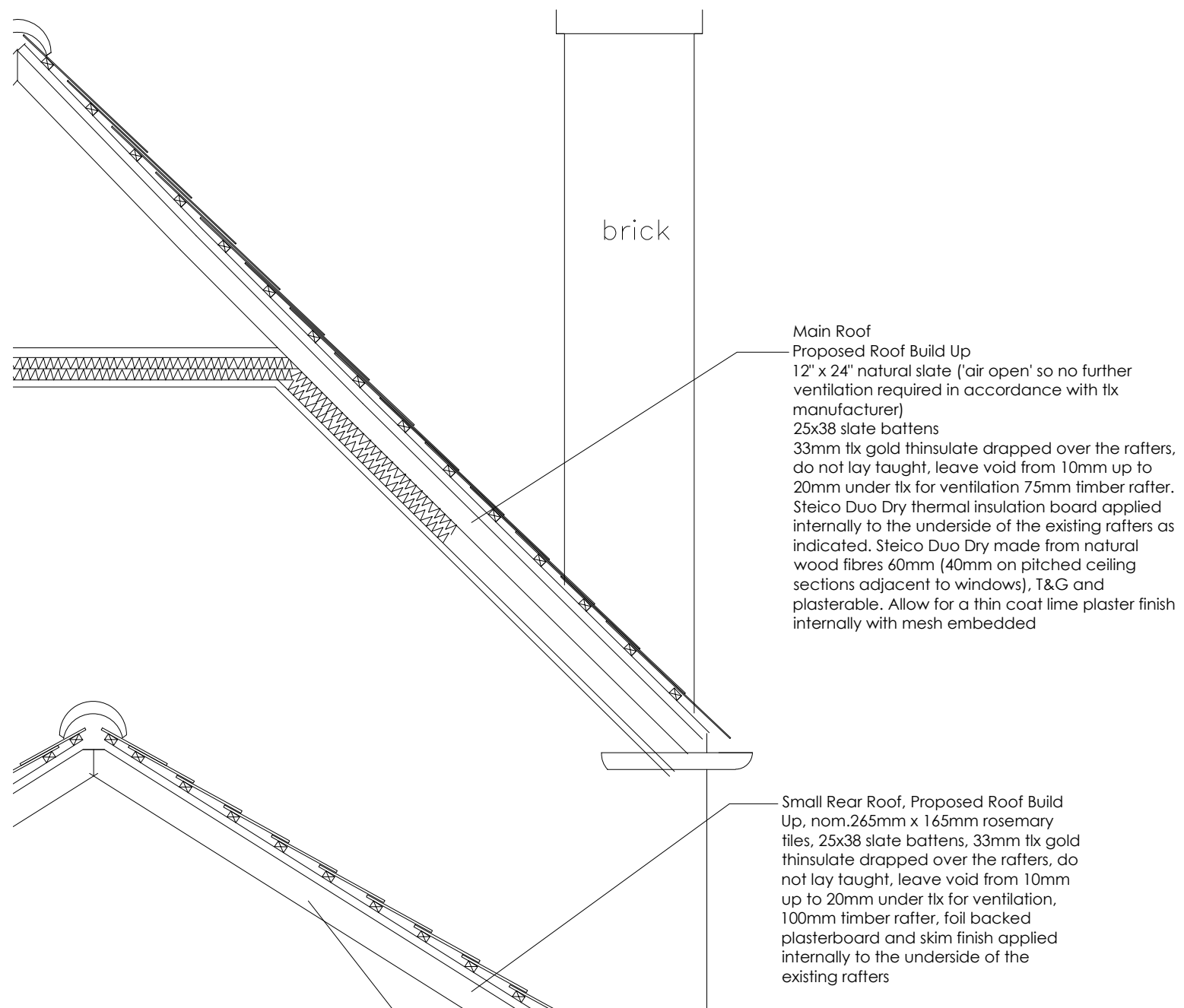
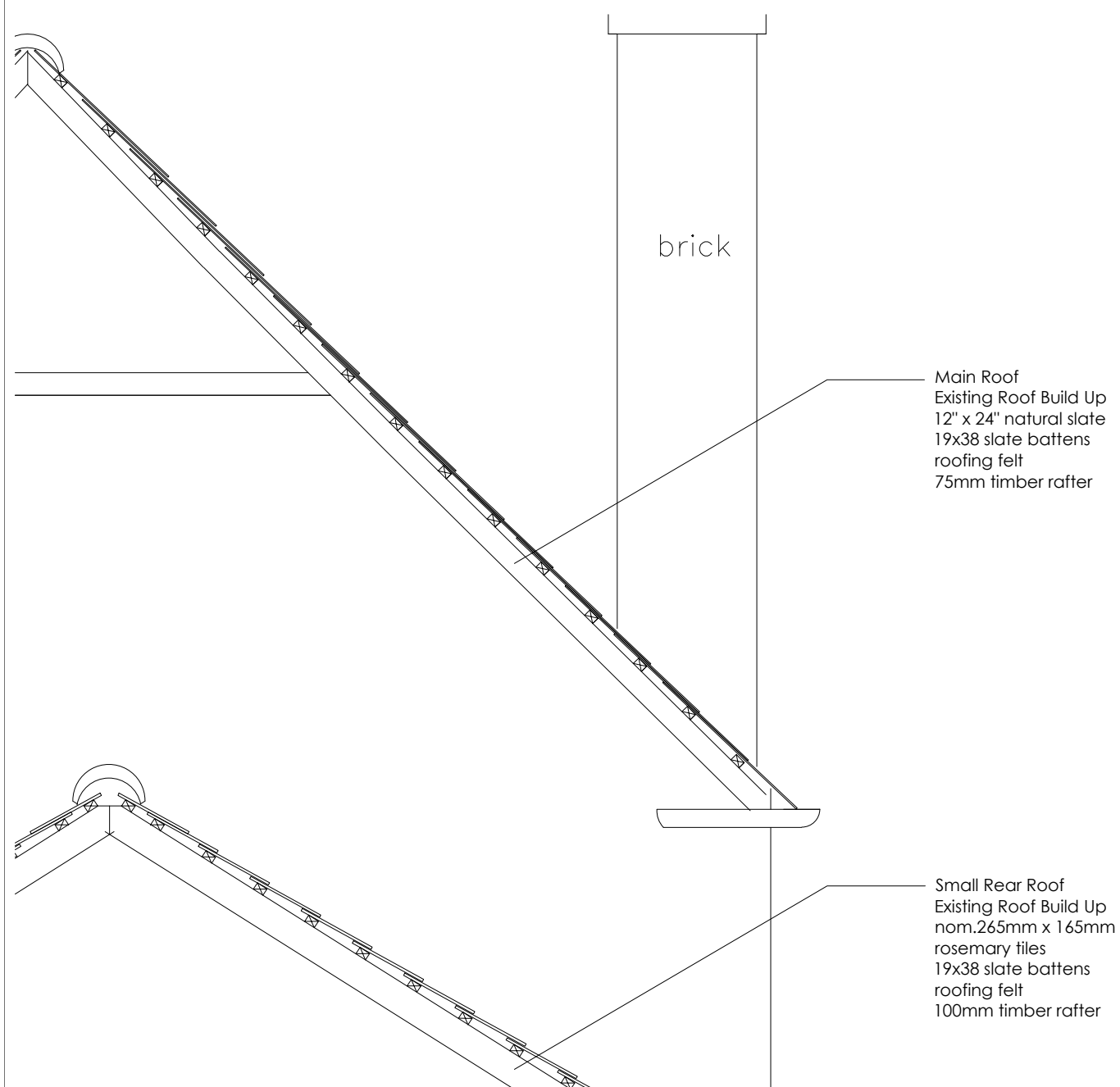
Proposed Floor Detail Between Ground Floor and First Floor Levels

LEGEND
- - - - - 60mins horizontal fire separation required

SUBJECT TO BUILDING REGULATIONS APPROVAL AND LISTED BUILDING CONSENT

2022.03.28 Rev A
Issued to Conservation Officer, B.Regis & Contractor
2022.03.16
Issued to Conservation Officer, B.Regis & Contractor

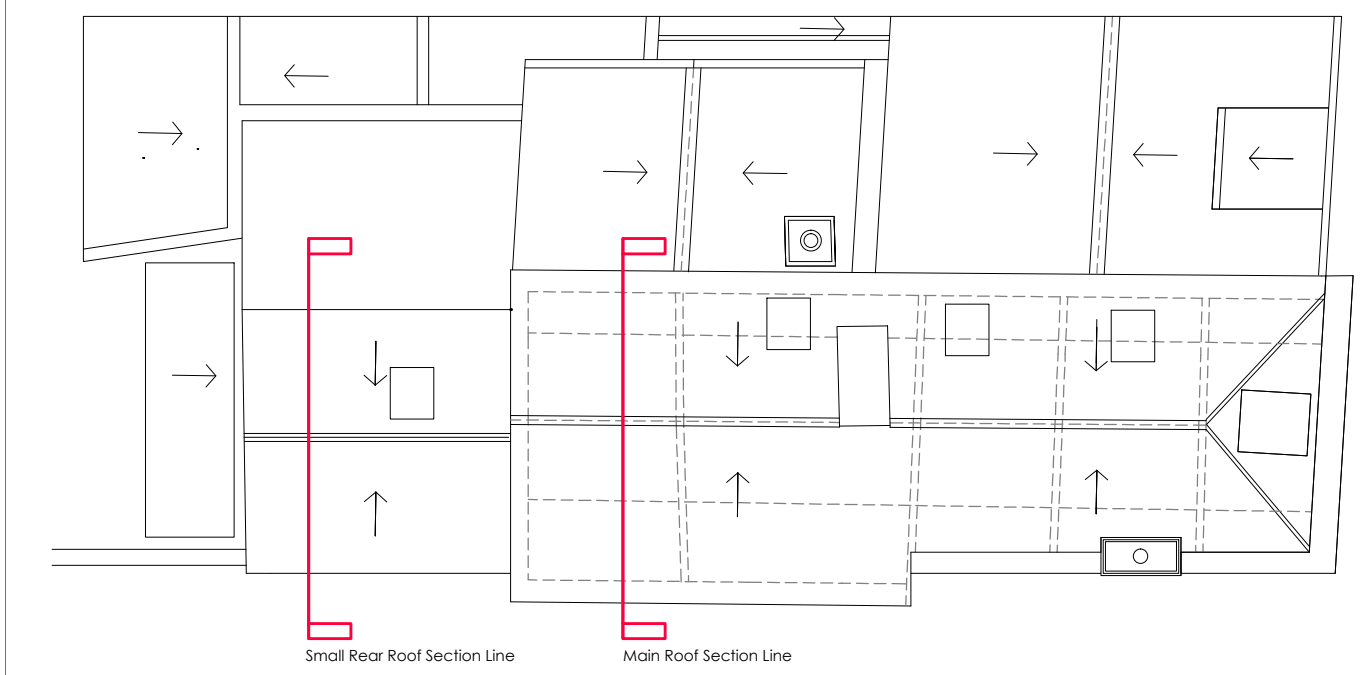
Revision:		
Project Name: Gloucester, 39 Westgate Street		
Client: Jake Etherton, JJ Property Rentals (39)		
Drawing Title: Existing and Proposed Floor Details (No. 39)		
Hummingbird Architecture Ltd Lydney Town Hall, High St, Lydney GL15 5DY [Redacted]		
Drawn By: BK	Checked By:	Date: March 2022
Drawing Size: 1:100 and 1:10 @ A3		
Drawing No: 1040-25		Rev: A



Existing Roof Build Ups In Section (No. 39)

Proposed Roof Build Ups In Section (No. 39)

Existing roof rafters have horizontal ties at wall plate level. These are to be removed to create pitched ceiling in accordance with structural engineer's details. Install new 6"x2" ridge beam under existing and add 3"x2" horizontal collar at each rafter pair with the application of lateral restraint straps at wall plate level on either side.



Roof Plan With Section Lines (No. 39)

Note on ventilation:
Main roof with natural slate finish is a naturally air open roof and in accordance with Building Regs Part L 1B does not require further assistance with ventilation as a result. The air gap nom. 35mm in between the tlx and the Steico board is a non ventilated air gap that will further act as an insulative layer.

SUBJECT TO BUILDING REGULATIONS APPROVAL AND LISTED BUILDING CONSENT

2022.03.28 Rev C
Issued to Conservation Officer, B.Reg's & Contractor
2022.03.16 Rev B
Issued to Conservation Officer, B.Reg's & Contractor

Revision: 2022.03.09 Rev A Specification Revised
Issued to Conservation Officer and Supplier
2022.02.01 Issued for Planning LBC

Project Name:
Gloucester, 39 Westgate Street

Client:
Jake Etherton, JJ Property Rentals (39)

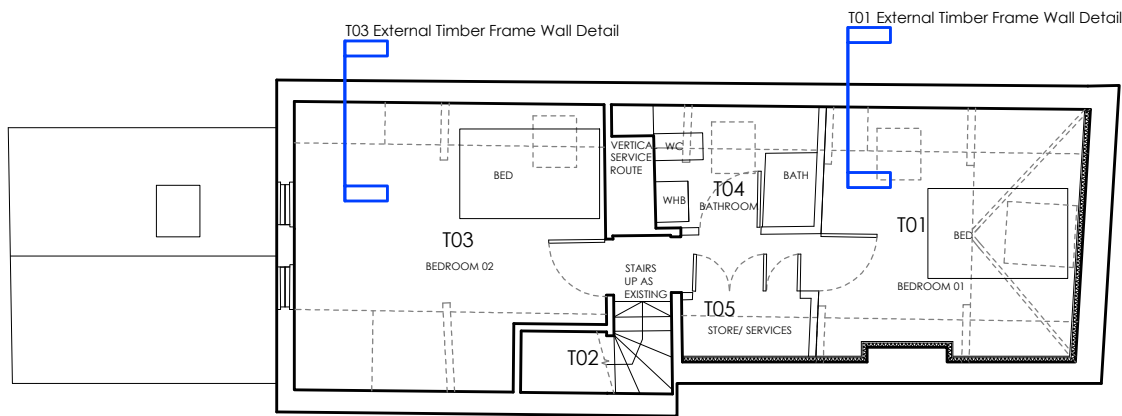
Drawing Title:
Existing and Proposed Roof Build Ups (No. 39)

Hummingbird Architecture Ltd
Lydney Town Hall, High St, Lydney GL15 5DY

Drawn By: BK
Checked By: [Redacted]
Date: Feb 2022

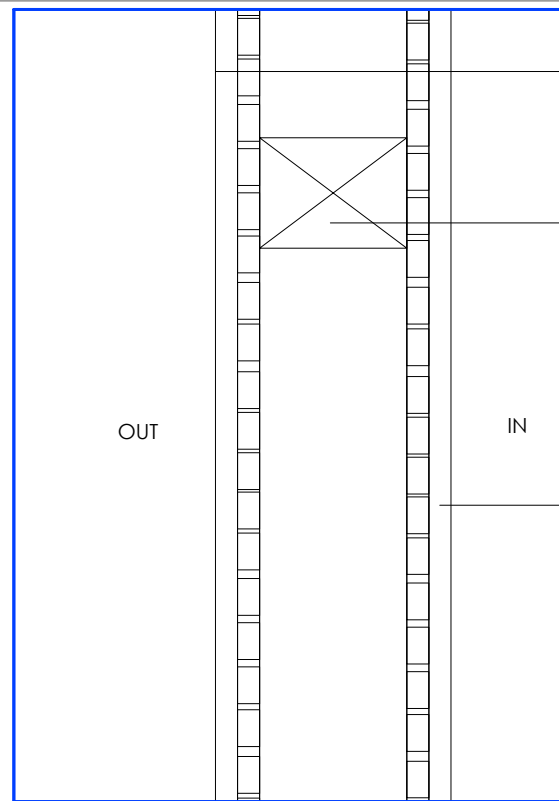
Drawing Size:
1:20 @ A3

Drawing No: 1040-23
Rev: C



T03 External Timber Frame Wall Detail

T01 External Timber Frame Wall Detail

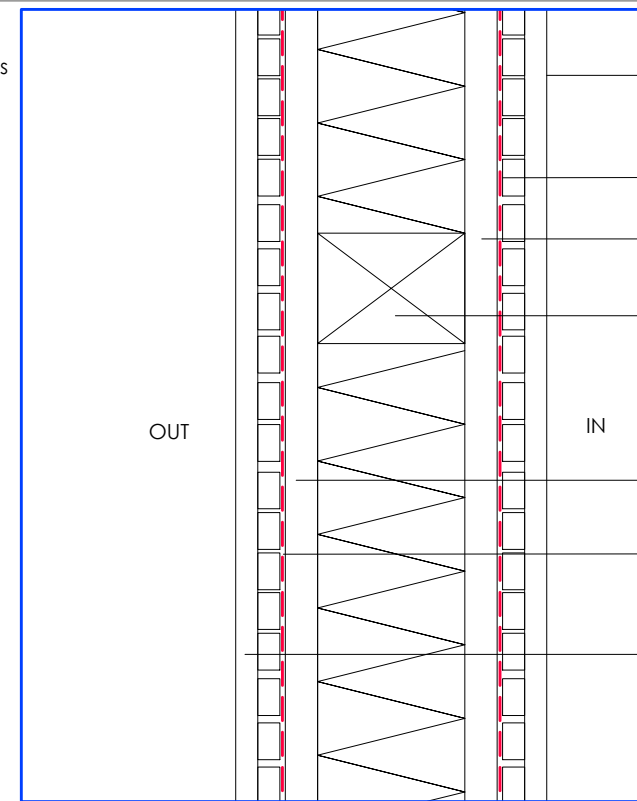


Existing T01 and T03 External Timber Frame Wall Detail

Existing timber laths with cement rendered painted finish

Existing nom. 200mm medieval timber frame

Existing timber lath with lime plaster and painted finish



Proposed T01 and T03 External Timber Frame Wall Detail

New timber laths with lime plaster painted finish

4mm dia. nylon mesh

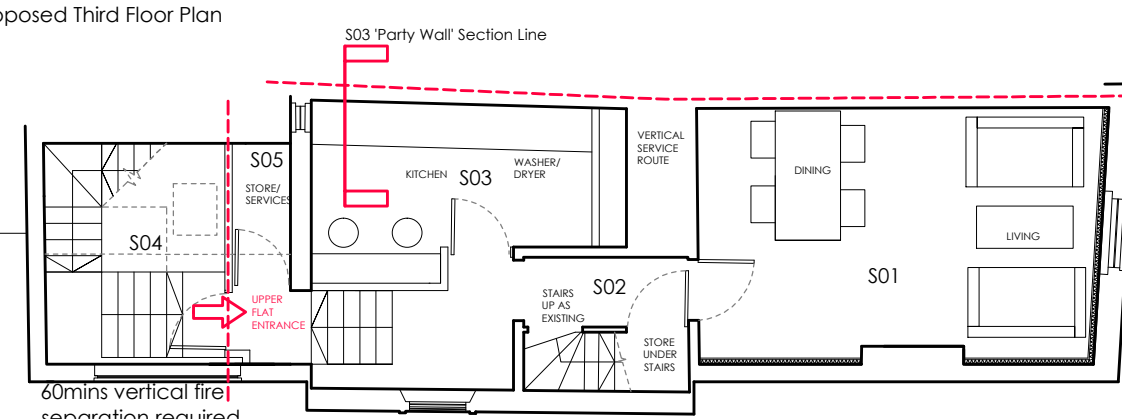
Vertical counter batten nom. 6mm

Existing nom. 100mm medieval timber frame with 100mm Rockwool cavity batt insulation

Vertical counter batten nom. 6mm

4mm dia. nylon mesh

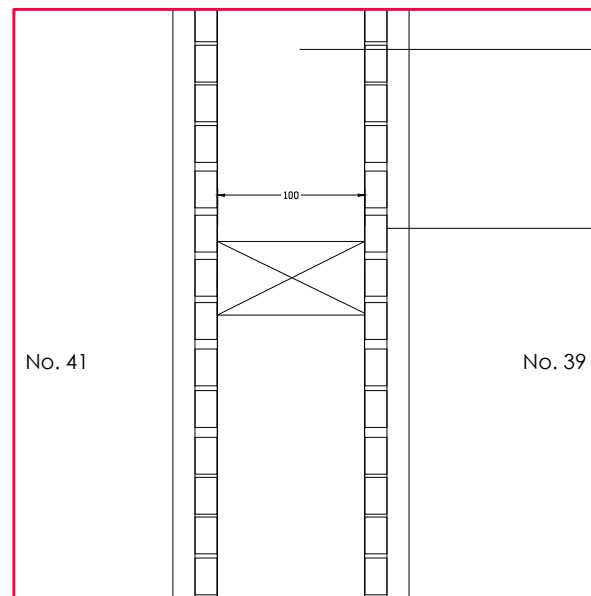
New timber laths with lime render coloured finish



S03 'Party Wall' Section Line

60mins vertical fire separation required

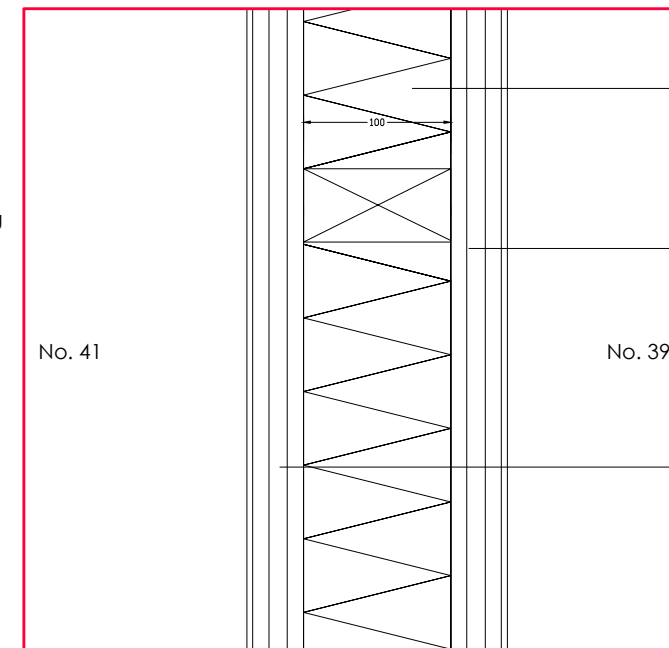
60mins vertical fire separation required



Existing S03 'Party Wall' Detail

Existing nom. 100mm medieval timber frame

Either side existing timber laths with lime plaster painted finish

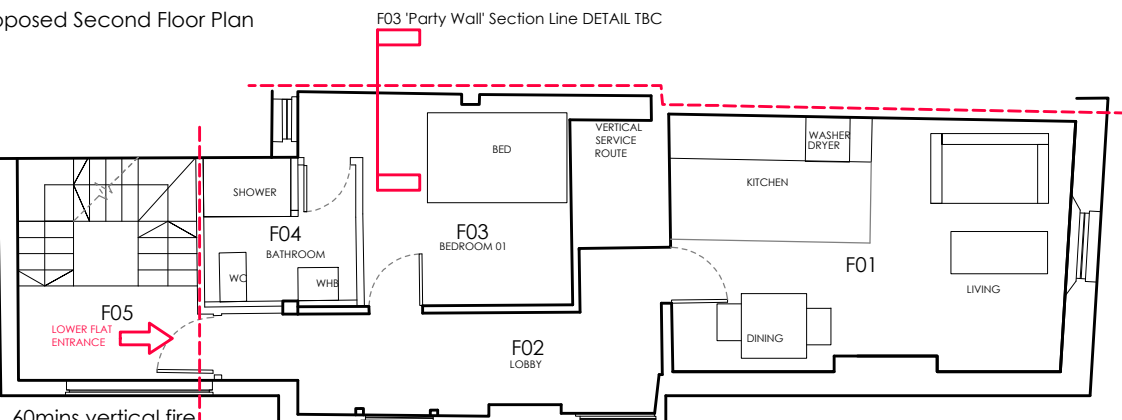


Proposed S03 'Party Wall' Detail

Existing nom. 100mm medieval timber frame with 100mm Rockwool Flexi

No. 39 side existing lath and lime carefully removed and replaced by 11mm osb, 12.5mm GlasrocF Multiboard, 11mm wpb ply with tile finish

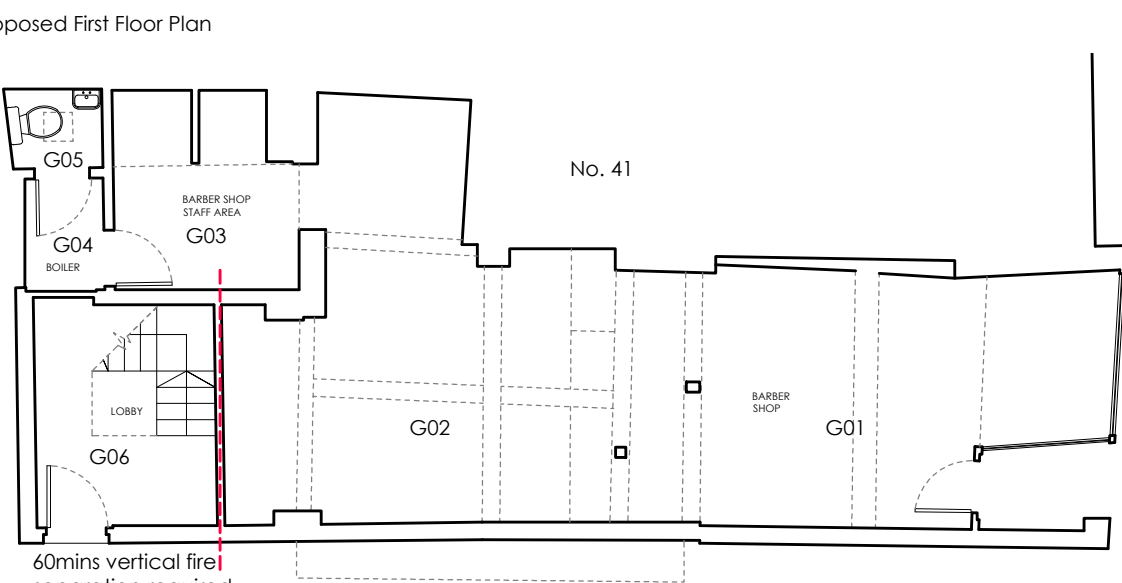
No. 41 side existing lath and lime carefully removed and replaced by 11mm osb (tbc by SE), 12.5mm GlasrocF Multiboard, 15mm Savolite 15, lime plaster and painted finish



F03 'Party Wall' Section Line DETAIL TBC

60mins vertical fire separation required

60mins vertical fire separation required



Bull Lane (alleyway)

nom. 1700



nom. 1700

LEGEND

--- 60mins vertical fire separation required

EXISTING AND PROPOSED DOOR AND ARCHITRAVE (FIRE RATED AND NON FIRE RATED) DETAILS TO FOLLOW

URGENT CONFIRMATION REQUIRED BY BUILDING CONTROL ON WHAT INTERNAL AND EXTERNAL WALLS ARE REQUIRED TO BE FIRE RATED

SUBJECT TO BUILDING REGULATIONS APPROVAL AND LISTED BUILDING CONSENT

Revision: 2022.03.28
Issued to Conservation Officer, B.Regis & Contractor

Project Name:
Gloucester, 39 Westgate Street

Client:
Jake Etherton, JJ Property Rentals (39)

Drawing Title:
Existing and Proposed T01 and T03 External Wall Detail
Existing and Proposed S03 'Party Wall' Detail

Hummingbird Architecture Ltd
Lydney Town Hall, High St, Lydney GL15 5DY

Drawn By: BK Checked By: [Redacted] Date: March 2022

Drawing Size: 1:100 and 1:5 @ A3

Drawing No: 1040-30

Rev:

Proposed Ground Floor Plan

No. 37

nom. 1700

External scaffold required to undertake corner heavy duty timber repairs, unknown exact details without scaffolding installed and further inspection. Allow a provisional sum £10k for repair works.

The floor joists require further inspection to understand how they are hanging. Further inspection is required within this area with the structural engineer also within the ground floor shop area under. Possible prop/ building under to pick up joists for repair works.

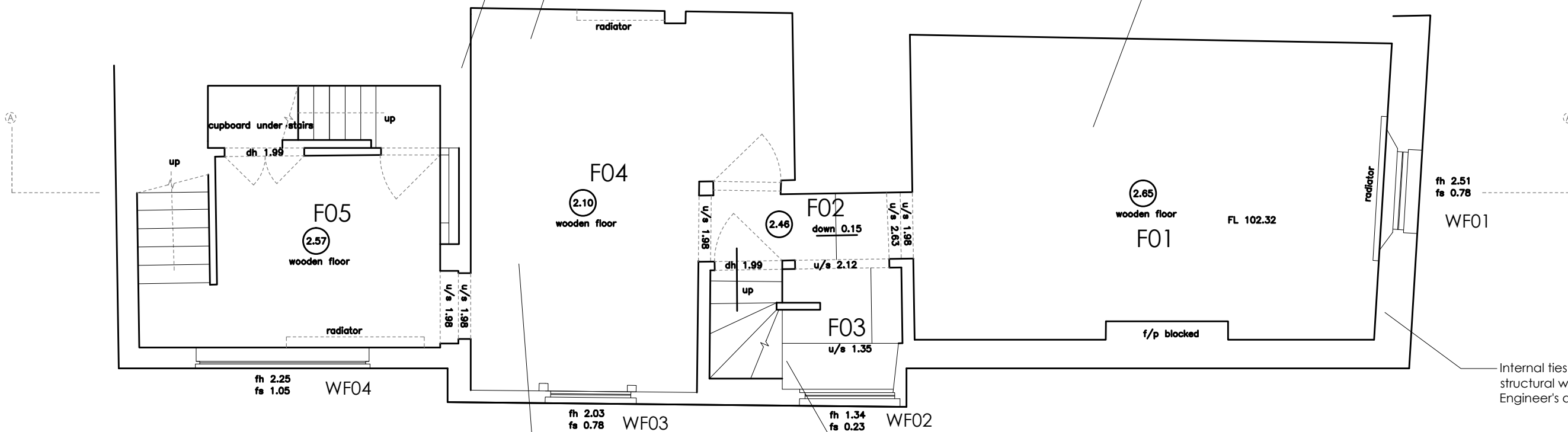
Within this room there are original 1540 floor boards with a newer (Georgian) boarded floor inserted over. It is discussed that the medieval 1540 boards should be left undisturbed in situ and that they will be left encapsulated by the boards over. The proposal is to increase the floor level within this room over the level of the Georgian boards.

The ceiling and the cornice are in fair condition, there are good keys on the back of the plaster.

The structural engineer's drawings cover all the obvious repairs on the primary structure.

The internal wall (when facing No. 41) is opened up to 2 truss areas. The structural engineer comments that there is a z shaped steel to the left hand side midway. The structure appears stable and there appears to be no ongoing movement. The wall is open to No. 41. There is evidence of historic fire within the left hand side corner.

4sqm internal wall (when facing No. 41) plaster repair like for like in lime and laths where required.



Internal ties to be undertaken with external structural works in accordance with Structural Engineer's details

Fire and sound separation to be developed within this area.

Under 3rd floor rear room, 1 no. further space beyond that is accessible (existing with steps to go to ground floor level, also proposed to house steps to go up to 2nd floor accommodation).

Revision: 2022.03.28 Rev C Issued for Approval & Construction
 2022.03.09 Rev B Issued for Approval & Construction
 2022.02.01 Rev A Issued for Planning LBC
 2022.01.25 Issued to QS and For Approvals

Project Name:
 Gloucester, 39 Westgate Street

Client:
 Jake Etherton, JJ Property Rentals (39)

Drawing Title:
 Existing First Floor Plan - Fabric Repairs

Hummingbird Architecture Ltd
 Lydney Town Hall, High St, Lydney GL15 5DY

Drawn By: BK Checked By: Date: Jan 2022

Drawing Size: 1:100 @ A3

Drawing No: 1040-51 Rev: C

M&E Consultant to develop design of mechanical and electrical works.

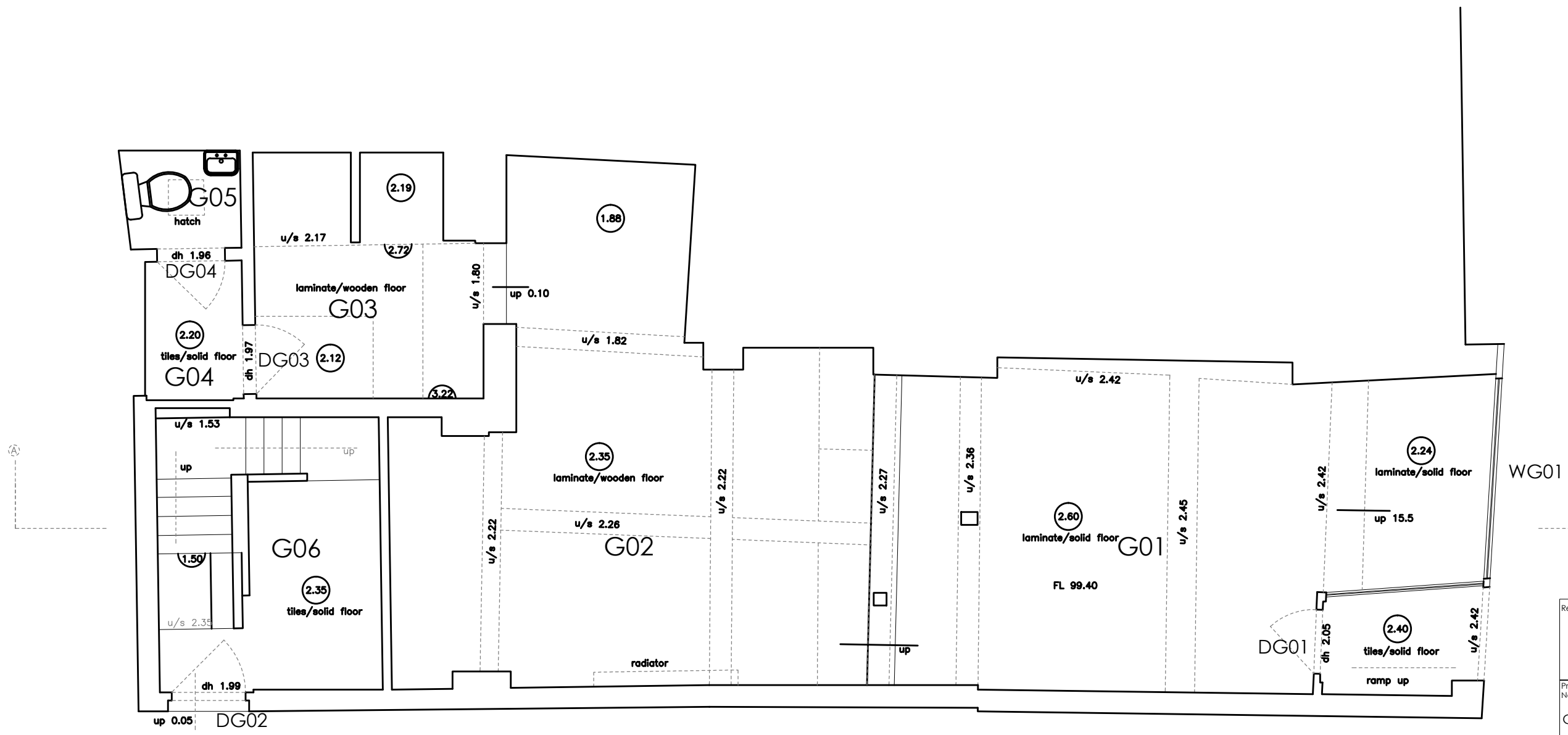
Fire and acoustic separation and all details to comply with building regulations are to be developed in consultation with building control officer.

Do not scale from drawings. Drawings are indicative for pricing only.
 Contractor to work with actual site dimensions.
 All drawings to be read in accordance with structural engineer's information.

Drawing produced from architect site meeting notes 01.11.2021

PLANNING AND LISTED BUILDING CONSENT FLOOR AREAS CONFIRMED

GROUND FLOOR	7.5 sqm
FIRST FLOOR	52 sqm
SECOND FLOOR	50 sqm
THIRD FLOOR	40 sqm



Revision: 2022.03.09 Rev A Issued for Approval & Construction
 2022.02.01 Issued for Planning LBC

Project Name:
 Gloucester, 39 Westgate Street

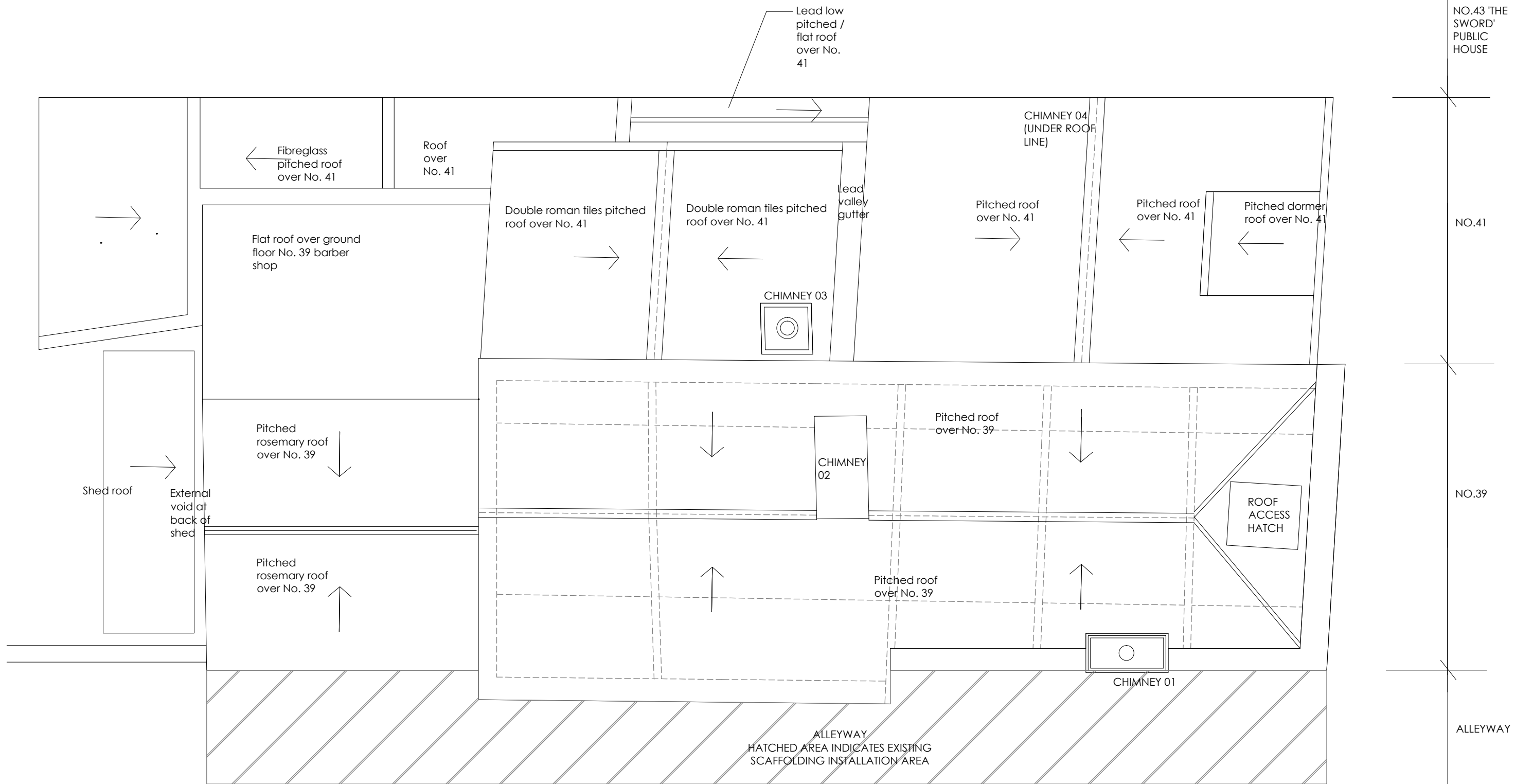
Client:
 Jake Etherton, JJ Property Rentals (39)

Drawing Title:
 Existing Ground Floor Plan - Fabric Repairs

Hummingbird Architecture Ltd
 Lydney Town Hall, High St, Lydney GL15 5DY

PLANNING AND LISTED BUILDING CONSENT FLOOR AREAS CONFIRMED	
GROUND FLOOR	7.5 sqm
FIRST FLOOR	52 sqm
SECOND FLOOR	50 sqm
THIRD FLOOR	40 sqm

Drawn By: BK	Checked By:	Date: Feb 2022
Drawing Size: 1:100 @ A3		
Drawing No: 1040-50	Rev: A	



Revision: 2022.03.09 Rev A Issued for Approval & Construction
 2022.02.01 Issued for Planning LBC

Project Name:
 Gloucester, 39 Westgate Street

Client:
 Jake Etherton, JJ Property Rentals (39)

Drawing Title:
 Existing Roof Plan - Fabric Repairs

Hummingbird Architecture Ltd
 Lydney Town Hall, High St, Lydney GL15 5DY

Drawn By: BK Checked By: Date: Feb 2022

Drawing Size: 1:100 @ A3

Drawing No: 1040-54 Rev: A

Allow a provisional sum of £10k for heavy duty carpentry repairs to the rear timber stud wall. It is not possible to schedule the exact repairs because of restricted access. A scaffolding is required to safely access this area externally. The repair is likely to consist of a timber post and beam repair work and then reinstatement of the wall. This timber repair work is to the primary structure.

Allow 100% ceiling plaster work in lime with 30% ceiling lath replacement.

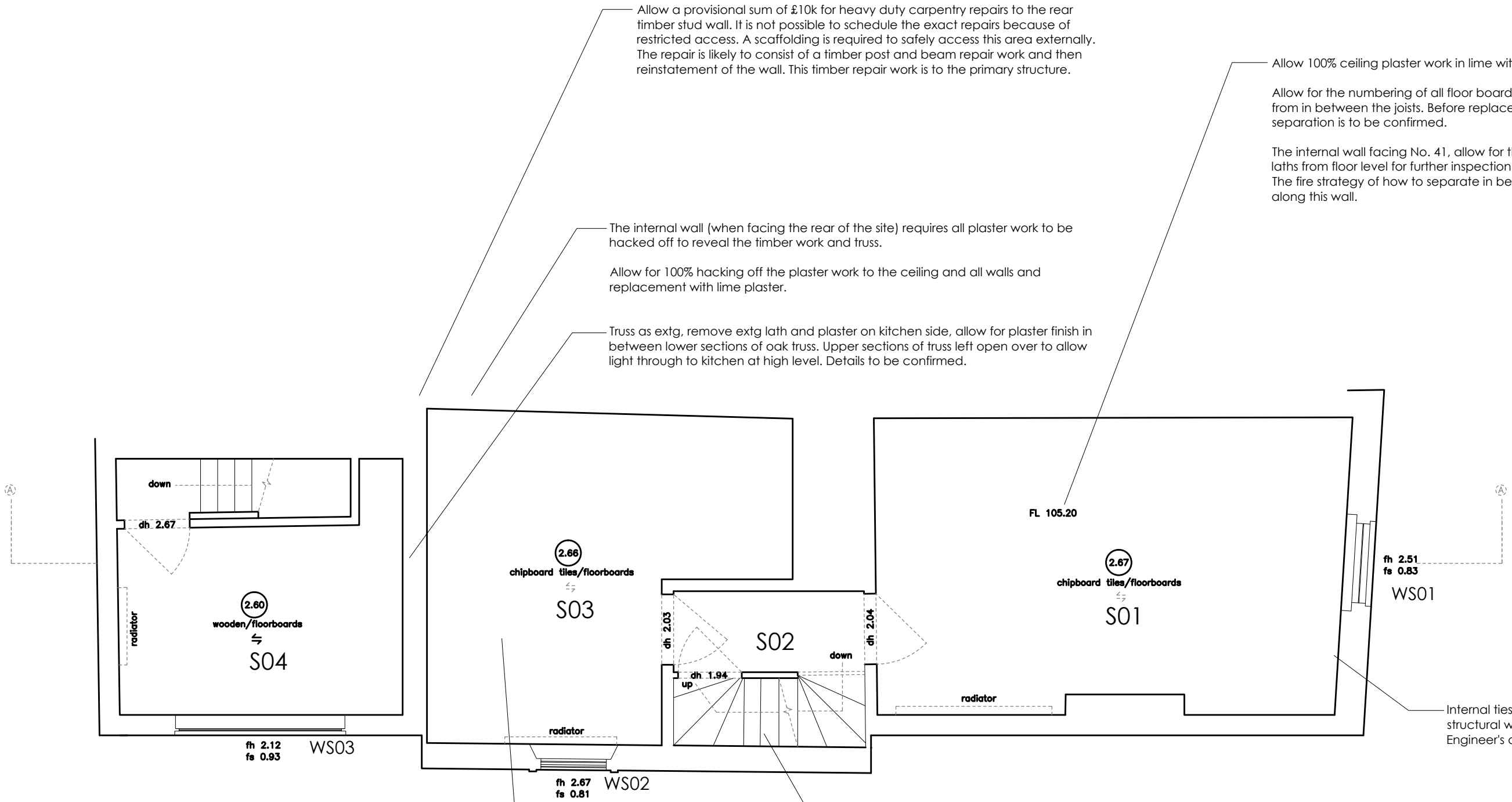
Allow for the numbering of all floor boards, carefully lifting and clearing of debris from in between the joists. Before replacement like for like, the fire and sound separation is to be confirmed.

The internal wall facing No. 41, allow for the removal of 1ft of lime plaster and laths from floor level for further inspection by architect and structural engineer. The fire strategy of how to separate in between No. 39 and No. 41 is critical along this wall.

The internal wall (when facing the rear of the site) requires all plaster work to be hacked off to reveal the timber work and truss.

Allow for 100% hacking off the plaster work to the ceiling and all walls and replacement with lime plaster.

Truss as extg, remove extg lath and plaster on kitchen side, allow for plaster finish in between lower sections of oak truss. Upper sections of truss left open over to allow light through to kitchen at high level. Details to be confirmed.



Internal ties to be undertaken with external structural works in accordance with Structural Engineer's details

Fire and sound separation to be developed within this area.

Allow for the insulation to the wall facing the alleyway (this improvement and modification work is to be developed and is to be undertaken and scheduled and inspected from the outside).

Allow for 30% replacement of timber floor boards (these are to be reused from the lower levels and renewed at the lower levels).

Revision:	2022.03.28 Rev C Issued for Approval & Construction 2022.03.09 Rev B Issued for Approval & Construction 2022.02.01 Rev A Issued for Planning LBC 2022.01.25 Issued to QS and For Approvals
-----------	---

Project Name:	Gloucester, 39 Westgate Street
---------------	--------------------------------

Client:	Jake Etherton, JJ Property Rentals (39)
---------	---

Drawing Title:	Existing Second Floor Plan - Fabric Repairs
----------------	---

Hummingbird Architecture Ltd
Lydney Town Hall, High St, Lydney GL15 5DY

Drawn By:	BK	Checked By:		Date:	Jan 2022
-----------	----	-------------	--	-------	----------

Drawing Size:	1:100 @ A3	Rev:	C
Drawing No:	1040-52		

M&E Consultant to develop design of mechanical and electrical works.

Fire and acoustic separation and all details to comply with building regulations are to be developed in consultation with building control officer.

Do not scale from drawings. Drawings are indicative for pricing only.

Contractor to work with actual site dimensions. All drawings to be read in accordance with structural engineer's information.

Drawing produced from architect site meeting notes 01.11.2021

PLANNING AND LISTED BUILDING CONSENT FLOOR AREAS CONFIRMED	
GROUND FLOOR	7.5 sqm
FIRST FLOOR	52 sqm
SECOND FLOOR	50 sqm
THIRD FLOOR	40 sqm

This rear wall is a timber stud located over a truss at lower level. Ill proportioned later window to be removed. Retain existing collar at top of wall. Prop 2no. purlins in order to remove gable end wall in its entirety (apart from the historic stud work) under the collar. The wall is to be rebuilt as the structural engineer's drawings (dwg ref 02) fabric repairs.

In order to undertake the fabric repairs, scaffolding is required externally, design to be agreed with design team, this will result in the removal of the pitch roof tiles externally adjacent (in full).

The external long wall (facing No. 41) has unknown repairs and requires further survey once scaffold is installed and access is available

Structural Works Completed within this room. See Structural Engineer's drawings for further details.

Front wall double brick skin.

2 sqm internal wall facing No. 41 plaster repair like for like lath and lime

4 sqm internal wall facing rear hack off and replace lime like for like

Internal ties to be undertaken with external structural works in accordance with Structural Engineer's details

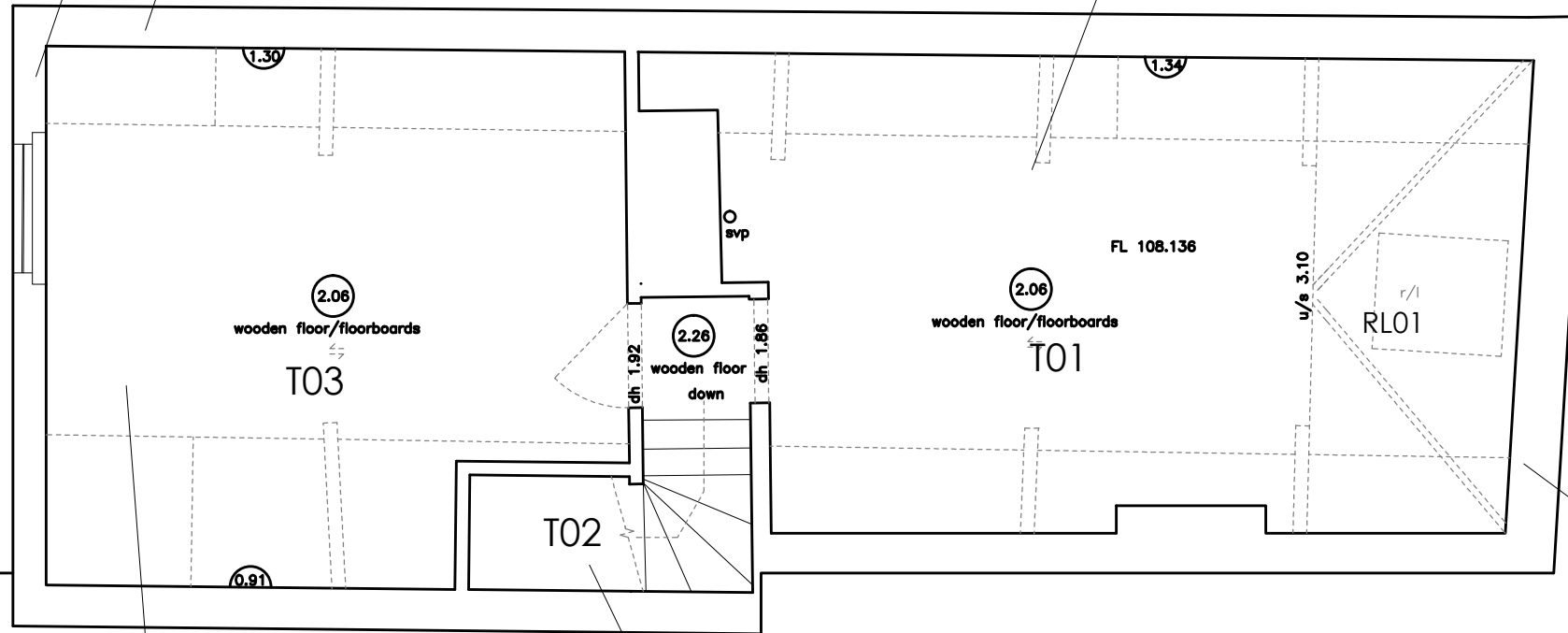
8 sqm hack off all wall finishes and ceilings and lime plaster repair

Replace 12no. ceiling joists like for like, raise up level to underside of ceiling level (by 125mm) 47x120mm sw, nailed x2

4sqm internal wall facing No. 41 hack off and replace lath and lime like for like

3.5sqm internal wall facing Westgate Street hack off and replace part lath and lime and part lime on masonry

fh 1.95
fs 0.91
WT01



T02

2.06

wooden floor/floorboards

T03

2.26

wooden floor down

2.06

wooden floor/floorboards

T01

FL 108.136

u/s 3.10

r/l

RL01

O svp

dh 1.92

dh 1.86

1.30

1.34

0.91

PLANNING AND LISTED BUILDING CONSENT FLOOR AREAS CONFIRMED

GROUND FLOOR	7.5 sqm
FIRST FLOOR	52 sqm
SECOND FLOOR	50 sqm
THIRD FLOOR	40 sqm

M&E Consultant to develop design of mechanical and electrical works.

Fire and acoustic separation and all details to comply with building regulations are to be developed in consultation with building control officer.

Do not scale from drawings. Drawings are indicative for pricing only.

Contractor to work with actual site dimensions. All drawings to be read in accordance with structural engineer's information.

Drawing produced from architect site meeting notes 01.11.2021

Revision: 2022.03.28 Rev C Issued for Approval & Construction
2022.03.09 Rev B Issued for Approval & Construction
2022.02.01 Rev A Issued for Planning LBC
2022.01.25 Issued to QS and For Approvals

Project Name:
Gloucester, 39 Westgate Street

Client:
Jake Etherton, JJ Property Rentals (39)

Drawing Title:
Existing Third Floor Plan - Fabric Repairs

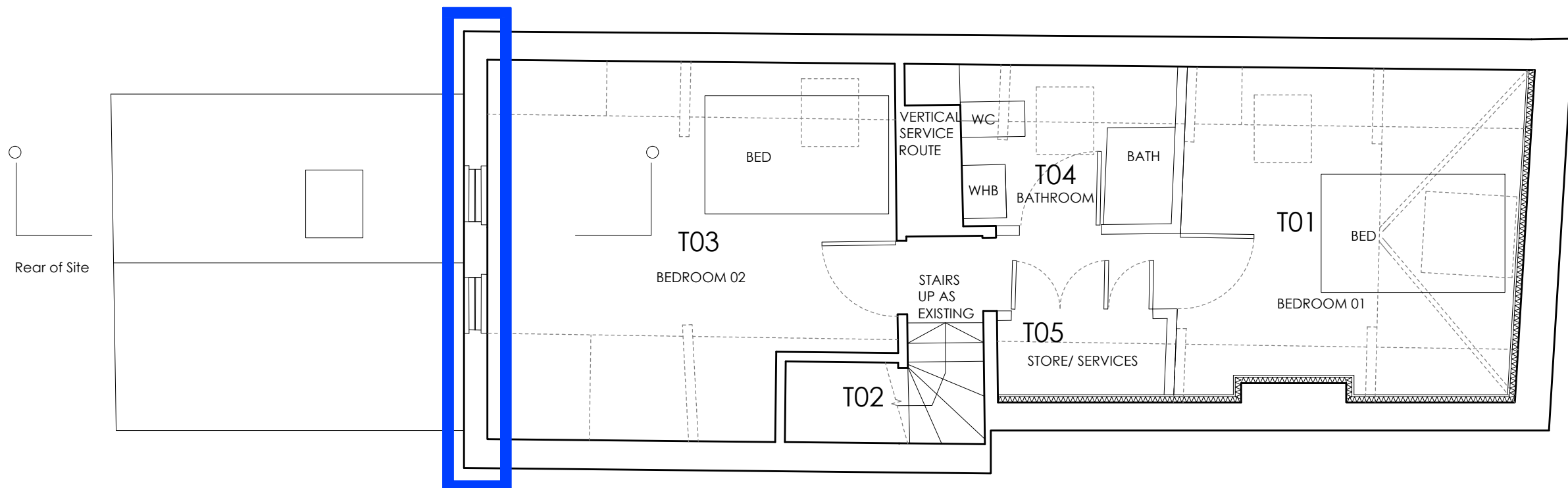
Hummingbird Architecture Ltd
Lydney Town Hall, High St, Lydney GL15 5DY

Drawn By: BK Checked By: Date: Jan 2022

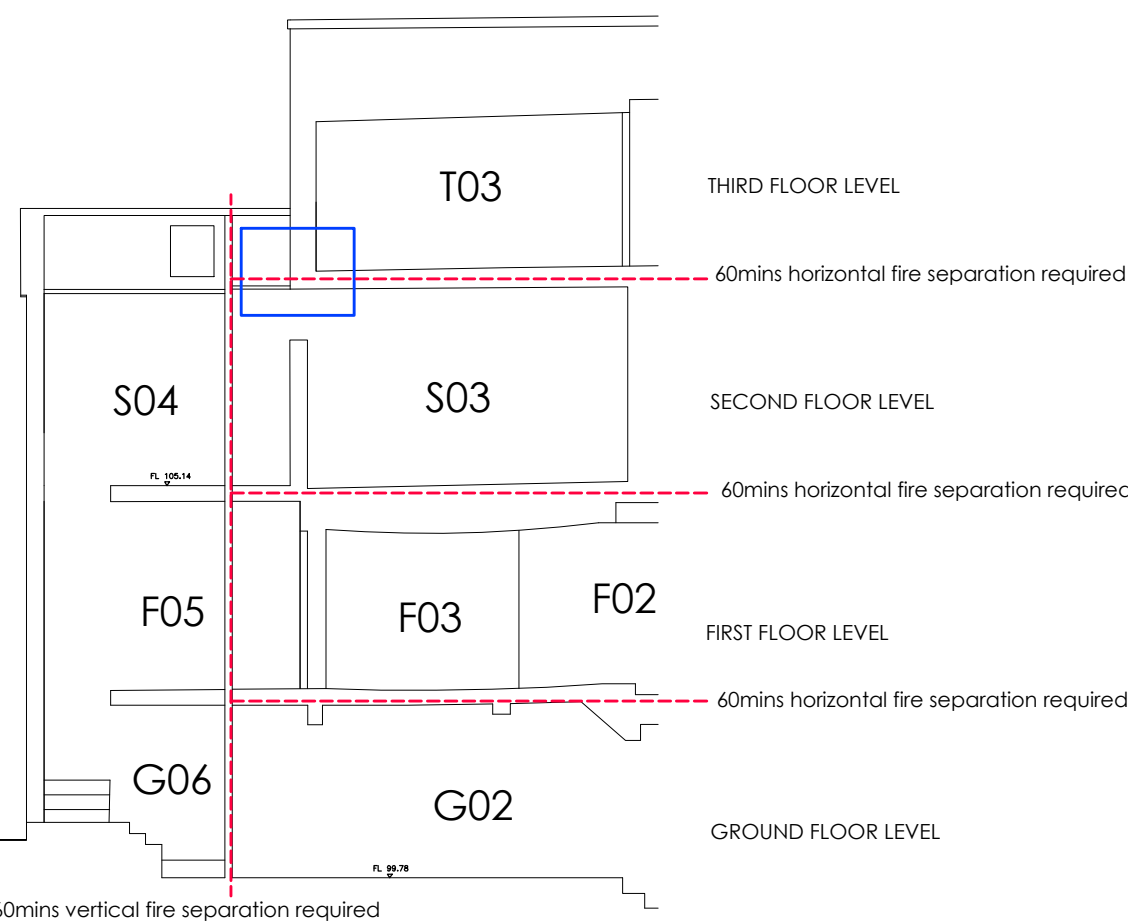
Drawing Size: 1:100 @ A3

Drawing No: 1040-53 Rev: C

Proposed External Wall Facing Rear of Site

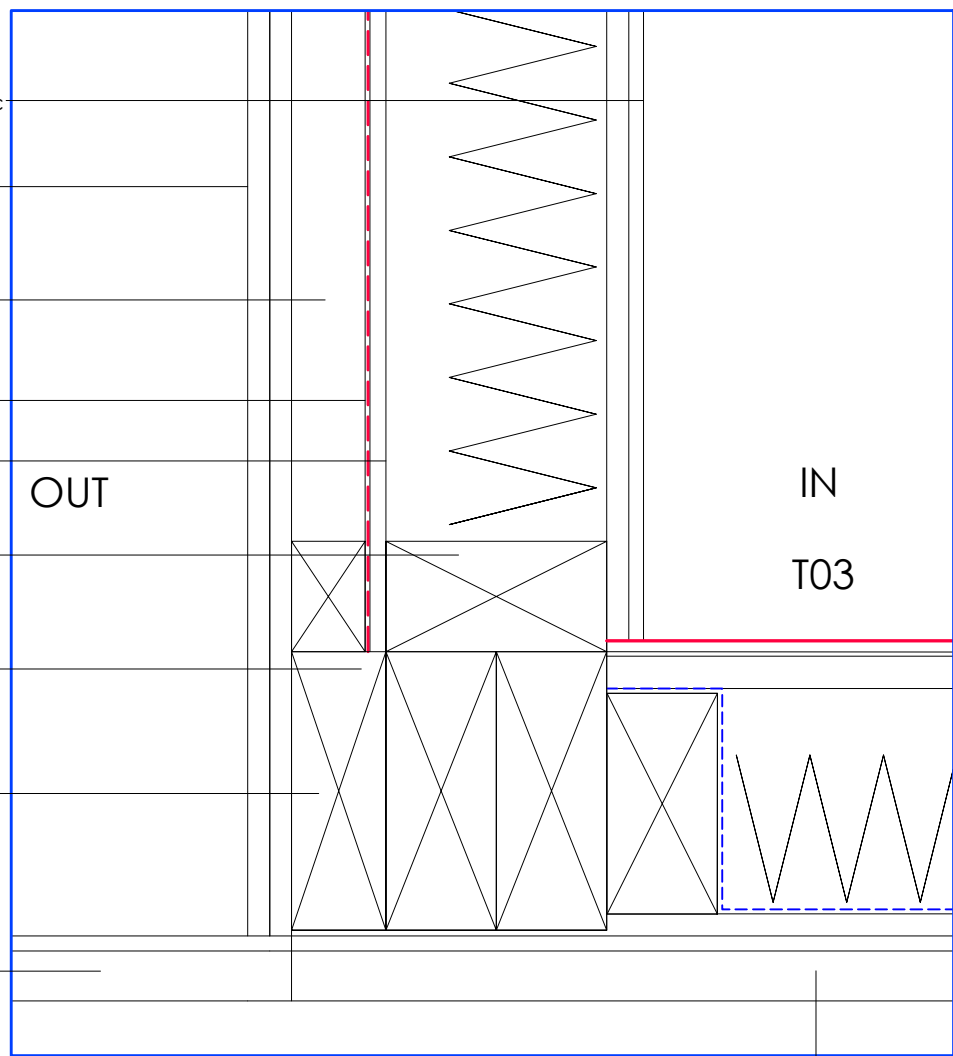


Proposed Third Floor Plan



Proposed Long Section Through 39 Westgate Street, Gloucester

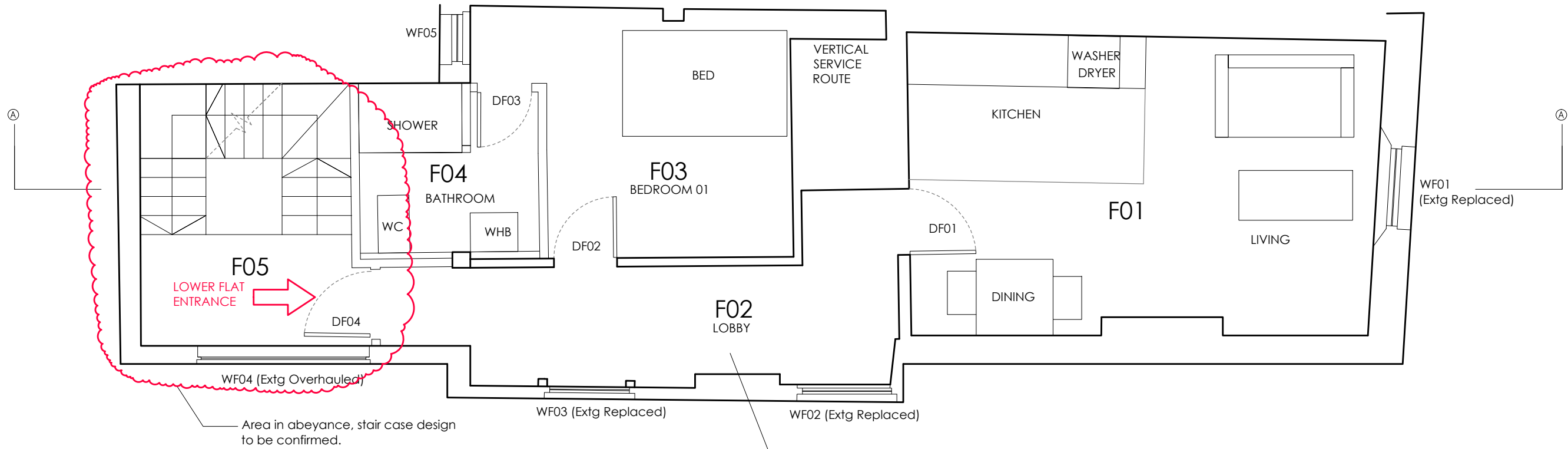
- Woodwool board with lime plaster, plastic skim beads and paint finish
- Where external lime render coloured on timber laths. Where internal double layer plaster board
- 2x2 inch horizontal and vertical timber frame
- Breathable felt
- 11mm OSB board
- 6x2 inch timber frame with 100mm insulation, specification tbc
- New joists as per structural engineer's details with second floor adjacent
- Fire socks / batts are required to seal all cavities at the junction with the new wall and existing second floor adjacent
- Double layer plasterboard and skim painted finish to maintain 60 min fire rating as indicated within section



Proposed External Wall Facing Rear of Site In Section

Revision:		
2022.03.28 Rev A Issued to Conservation Officer, B.Regis & Contractor		
2022.03.16 Board Spec Revised Issued to Conservation Officer, B.Regis & Contractor		
Project Name: Gloucester, 39 Westgate Street		
Client: Jake Etherton, JJ Property Rentals (39)		
Drawing Title: Proposed External Wall Facing Rear of Site		
Hummingbird Architecture Ltd Lydney Town Hall, High St, Lydney GL15 5DY [Redacted]		
Drawn By:	Checked By:	Date:
BK		March 2022
Drawing Size: 1:100 and 1:5 @ A3		
Drawing No: 1040-26		Rev: A

SUBJECT TO BUILDING REGULATIONS APPROVAL AND LISTED BUILDING CONSENT



Area in abeyance, stair case design to be confirmed.

Existing stairs carefully removed from first floor level rising up, leave original sweeping ceiling bulkhead over on right hand side of F03 in situ and intact.

Proposed First Floor Plan



UPPER & LOWER FLAT ENTRANCES

Area in abeyance, stair case design to be confirmed.

Proposed Ground Floor Plan

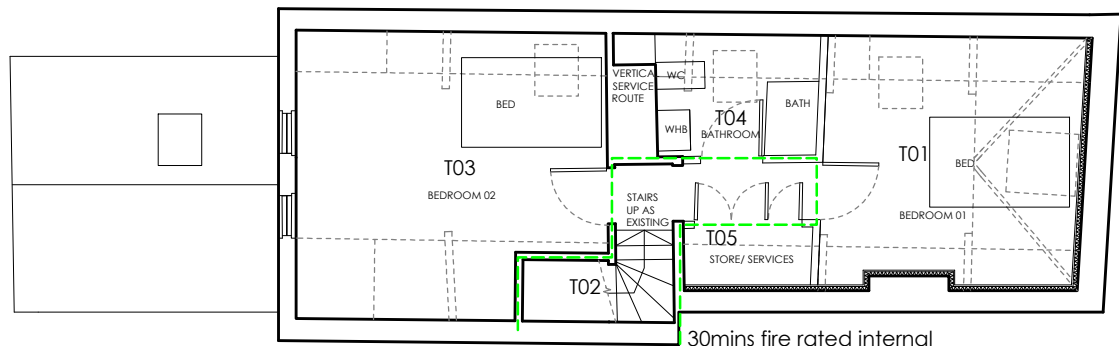
NEXT STEPS
 QUANTITY SURVEYOR TO DEVELOP COST PLAN,
 STAIRCASE DESIGN DRAWINGS TO BE PRODUCED BY CONTRACTOR FOR COMMENT,
 FIRE STRATEGY TO BE AGREED WITH LOCAL FIRE OFFICER,
 FIRE AND ACOUSTIC SEPARATION TO BE AGREED WITH BUILDING CONTROL OFFICER,
 MECHANICAL AND ELECTRICAL LAYOUTS (INCL. MAINS INCOMING) ALL TO BE DEVELOPED WITH MECHANICAL AND ELECTRICAL CONSULTANT,
 APPROVALS INCLUDING REFUSE, RECYCLING AND BIKE STORES TO BE AGREED WITH PLANNING DEPARTMENT

Revision: 2022.03.08 Rev B
 Issued for Approval & Construction
 2022.02.01 Rev A
 Issued for Planning LBC
 2022.01.18
 Issued for Approvals and to Design Team

Project Name: Gloucester, 39 Westgate Street
 Client: Jake Etherton, JJ Property Rentals (39)
 Drawing Title: Proposed Ground and First Floor Plan

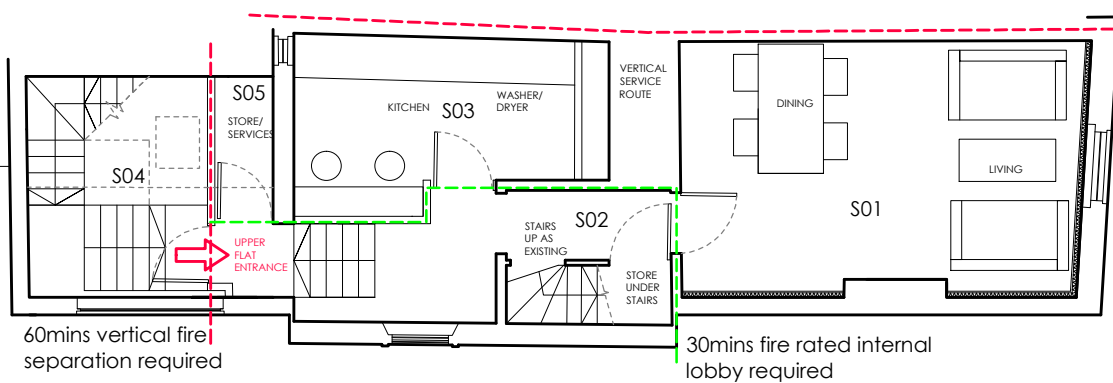
Hummingbird Architecture Ltd
 Lydney Town Hall, High St, Lydney GL15 5DY

Drawn By: BK	Checked By:	Date: Jan 2022
Drawing Size: 1:100 @ A3		
Drawing No: 1040-20	Rev: B	



30mins fire rated internal lobby required

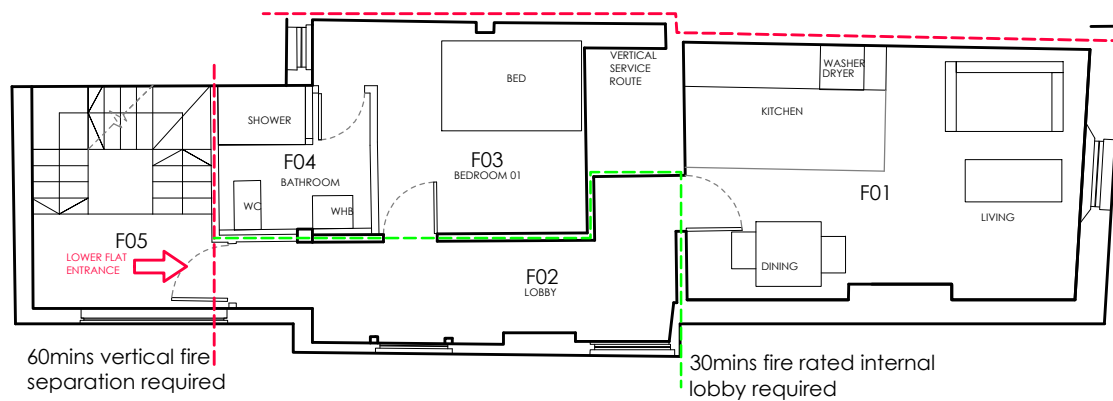
Proposed Third Floor Plan



60mins vertical fire separation required

60mins vertical fire separation required
30mins fire rated internal lobby required

Proposed Second Floor Plan



60mins vertical fire separation required

60mins vertical fire separation required
30mins fire rated internal lobby required

Proposed First Floor Plan



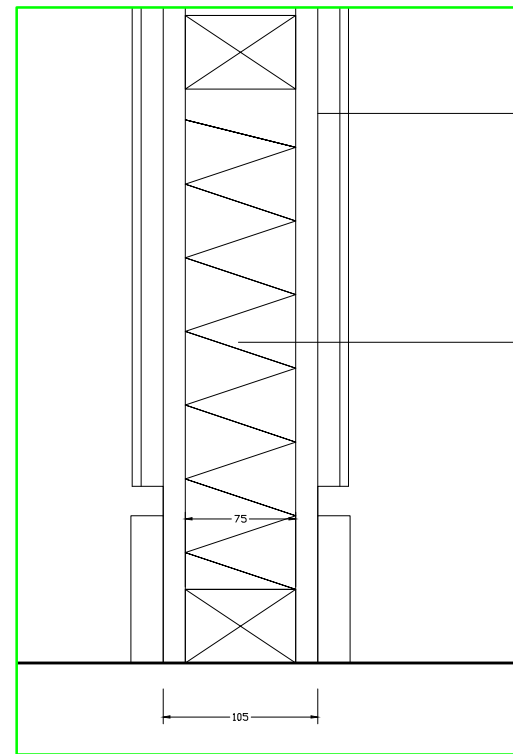
60mins vertical fire separation required

Westgate Street

Bull Lane

nom. 1700

Proposed Ground Floor Plan



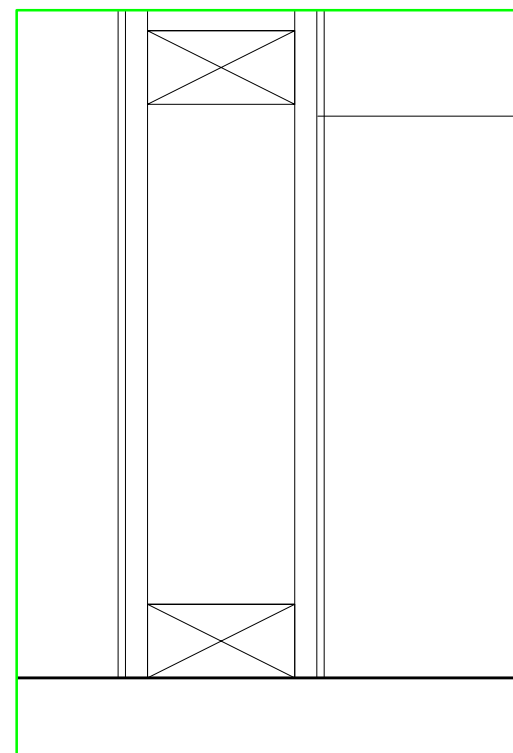
75x38mm timber stud frame @ 600 centres, with 25mm Isover Acoustic Roll in between

Either side 15mm Gyproc WallBoard, 15mm Savolit Board with lime plaster finish and paint finish. For kitchen and bathroom use 11mm wbp ply instead of Savolit board with tile finish

NON LOAD BEARING TIMBER STUD PARTITIONS
REF C04 GYPROC WHITE BOOK SYSTEM REF A026009/6

30 MINS FIRE RESISTANCE
40 RWDB SOUND INSULATION

Proposed Internal Wall 30 mins fire rating required (highlighted in green outlines on plans)



Existing internal walls with painted lime plaster finish will require upgrading intumescent paint finish over to provide 30mins fire rated internal lobby in locations as indicated

Existing Internal Wall (highlighted in green outlines on plans)

EXISTING AND PROPOSED DOOR AND ARCHITRAVE (FIRE RATED AND NON FIRE RATED) DETAILS TO FOLLOW

URGENT CONFIRMATION REQUIRED BY BUILDING CONTROL ON WHAT INTERNAL AND EXTERNAL WALLS ARE REQUIRED TO BE FIRE RATED

SUBJECT TO BUILDING REGULATIONS APPROVAL AND LISTED BUILDING CONSENT

- LEGEND
- - - 60mins vertical fire separation required
 - - - 30mins internal lobby required

Revision:
2022.03.28
Issued to Conservation Officer, B.Regs & Contractor

Project Name:
Gloucester, 39 Westgate Street

Client:
Jake Etherton, JJ Property Rentals (39)

Drawing Title:
Proposed Internal Walls

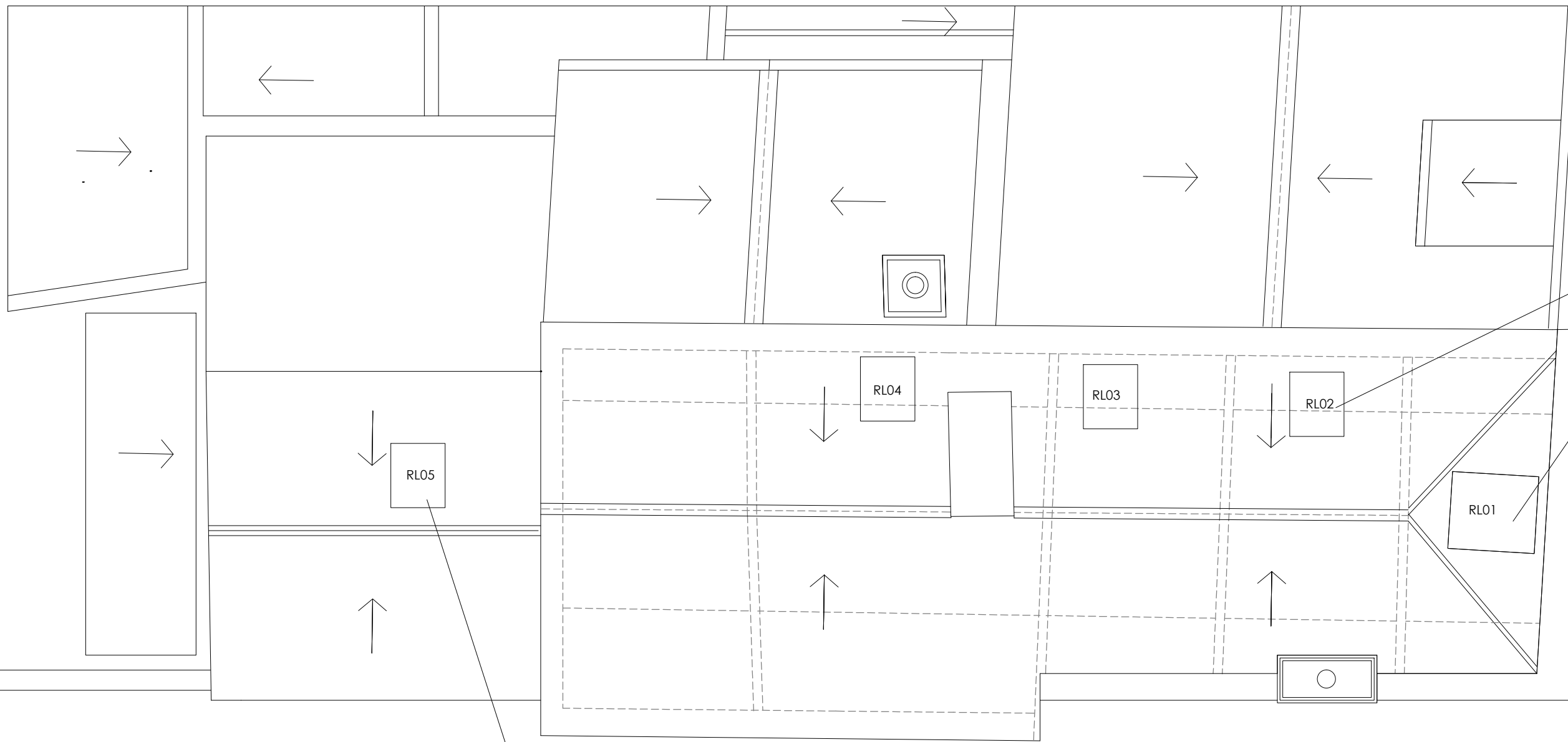
Hummingbird Architecture Ltd
Lydney Town Hall, High St, Lydney GL15 5DY

Drawn By: BK Checked By: Date: March 2022

Drawing Size: 1:100 and 1:5 @ A3

Drawing No: 1040-28

Rev:



Proposed Roof Lights RL02, RL03 and RL04 to be Clement Glazing Roof Light Size 0

Existing roof access hatch to be replaced by Clement Glazing Roof Light Size 0

Proposed Roof Light RL05 to be Clement Glazing Roof Light Size 2

Revision: 2022.02.01 Issued for Planning LBC

Project Name:
Gloucester, 39 Westgate Street

Client:
Jake Etherton, JJ Property Rentals (39)

Drawing Title:
Proposed Roof Plan

Hummingbird Architecture Ltd
Lydney Town Hall, High St, Lydney GL15 5DY

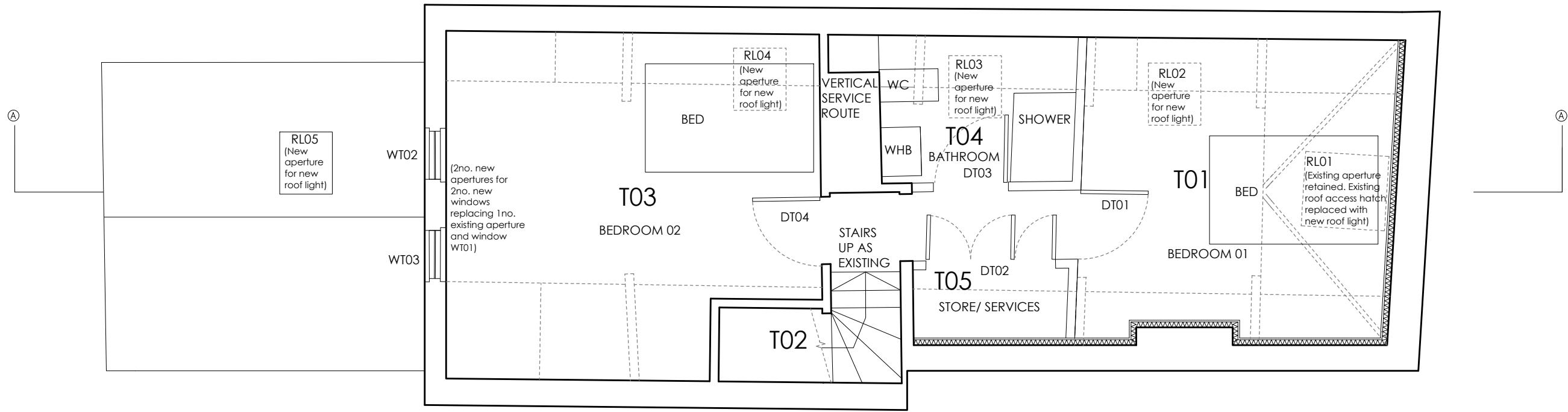
Drawn By: BK Checked By: Date: Feb 2022

Drawing Size: 1:100 @ A3

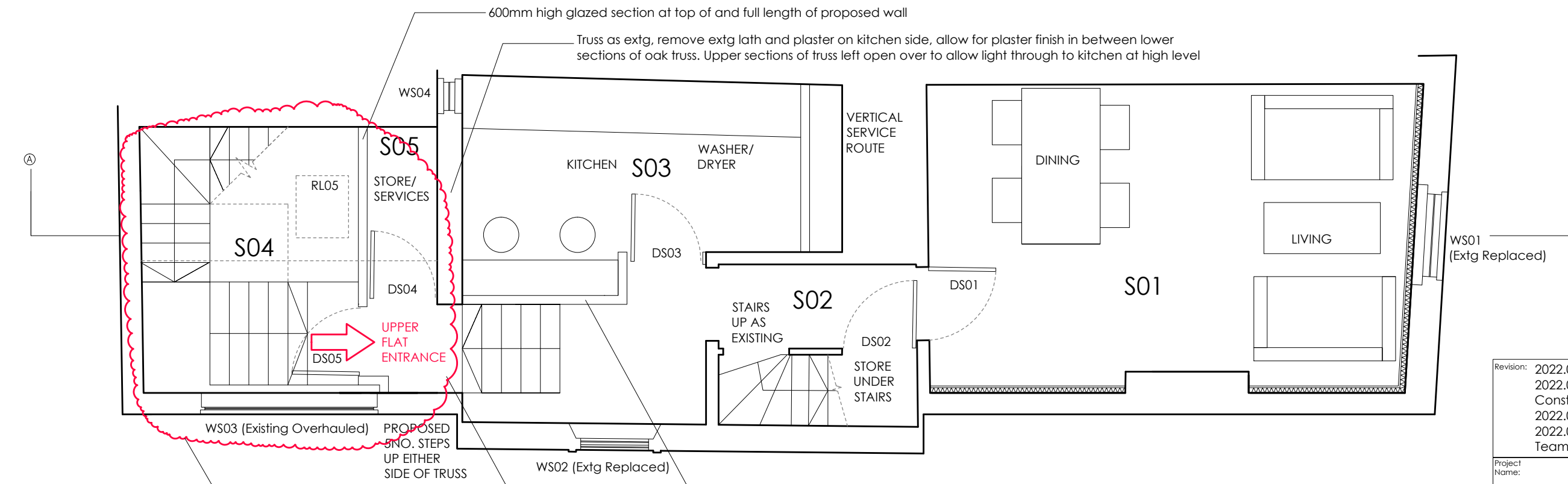
Drawing No: 1040-22 Rev:

NEXT STEPS
 QUANTITY SURVEYOR TO DEVELOP COST PLAN,
 STAIRCASE DESIGN DRAWINGS TO BE PRODUCED BY CONTRACTOR FOR COMMENT,
 FIRE STRATEGY TO BE AGREED WITH LOCAL FIRE OFFICER,
 FIRE AND ACOUSTIC SEPARATION TO BE AGREED WITH BUILDING CONTROL OFFICER,
 MECHANICAL AND ELECTRICAL LAYOUTS (INCL. MAINS INCOMING) ALL TO BE DEVELOPED WITH MECHANICAL AND ELECTRICAL CONSULTANT,
 APPROVALS INCLUDING REFUSE, RECYCLING AND BIKE STORES TO BE AGREED WITH PLANNING DEPARTMENT

Proposed Roof Plan



Proposed Third Floor Plan



Proposed Second Floor Plan

Revision: 2022.03.22 Rev C Bath Revised to Shower in T04
 2022.03.09 Rev B Issued for Approval & Construction
 2022.02.01 Rev A Issued for Planning LBC
 2022.01.18 Issued for Approvals and to Design Team

Project Name:
 Gloucester, 39 Westgate Street

Client:
 Jake Etherton, JJ Property Rentals (39)

Drawing Title:
 Proposed Second and Third Floor Plan

Hummingbird Architecture Ltd
 Lydney Town Hall, High St, Lydney GL15 5DY

Drawn By: BK Checked By: Date: Jan 2022

Drawing Size: 1:100 @ A3

Drawing No: 1040-21 Rev: C

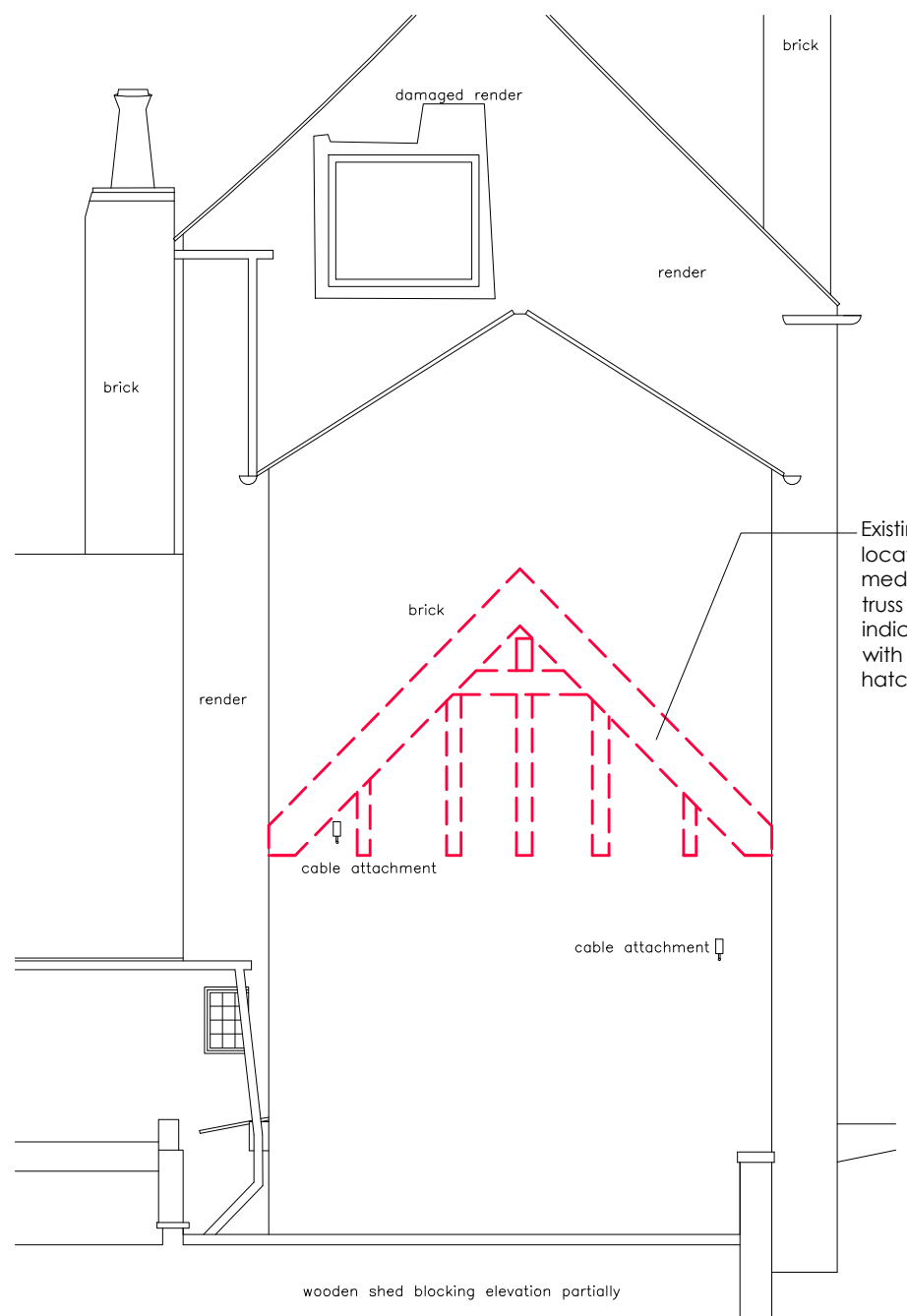
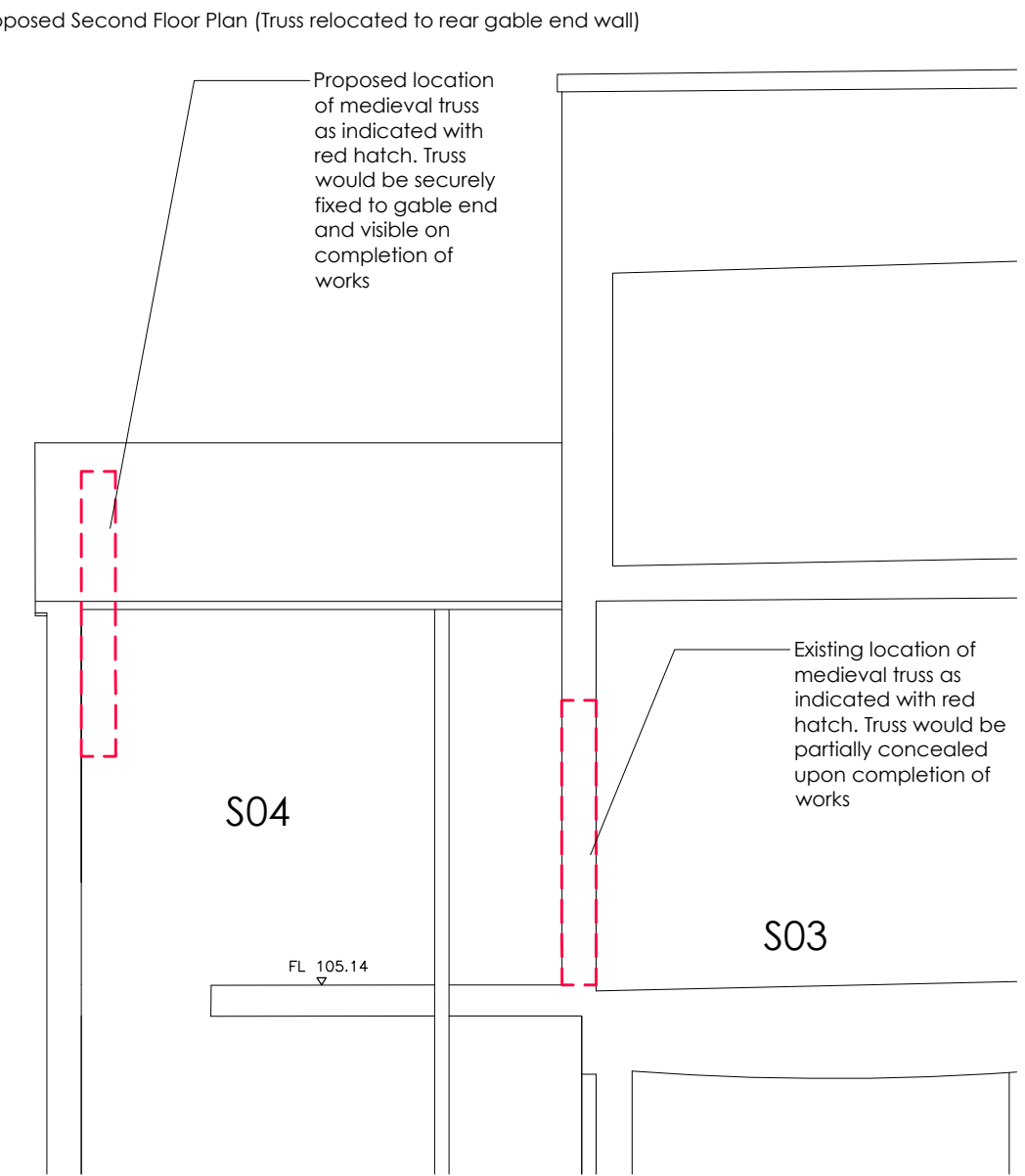
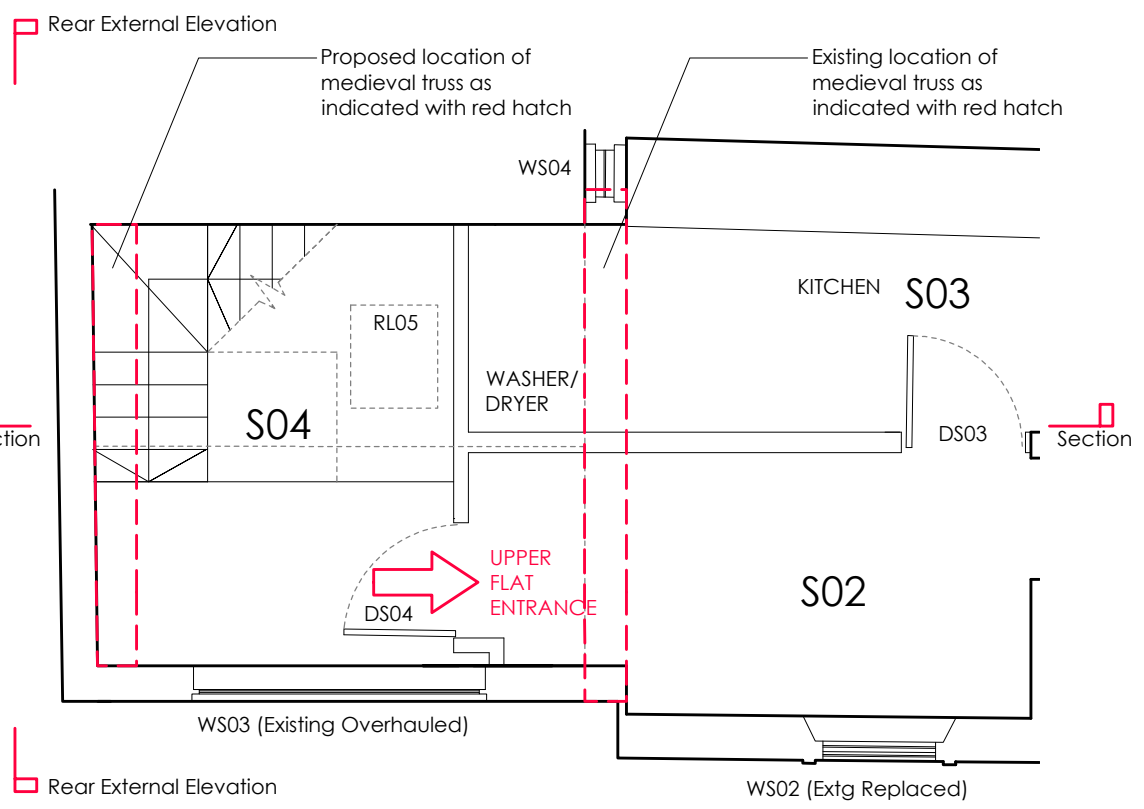
NEXT STEPS
 QUANTITY SURVEYOR TO DEVELOP COST PLAN,
 STAIRCASE DESIGN DRAWINGS TO BE PRODUCED BY CONTRACTOR FOR COMMENT,
 FIRE STRATEGY TO BE AGREED WITH LOCAL FIRE OFFICER,
 FIRE AND ACOUSTIC SEPARATION TO BE AGREED WITH BUILDING CONTROL OFFICER,
 MECHANICAL AND ELECTRICAL LAYOUTS (INCL. MAINS INCOMING) ALL TO BE DEVELOPED WITH MECHANICAL AND ELECTRICAL CONSULTANT,
 APPROVALS INCLUDING REFUSE, RECYCLING AND BIKE STORES TO BE AGREED WITH PLANNING DEPARTMENT

UPPER FLAT ENTRANCE

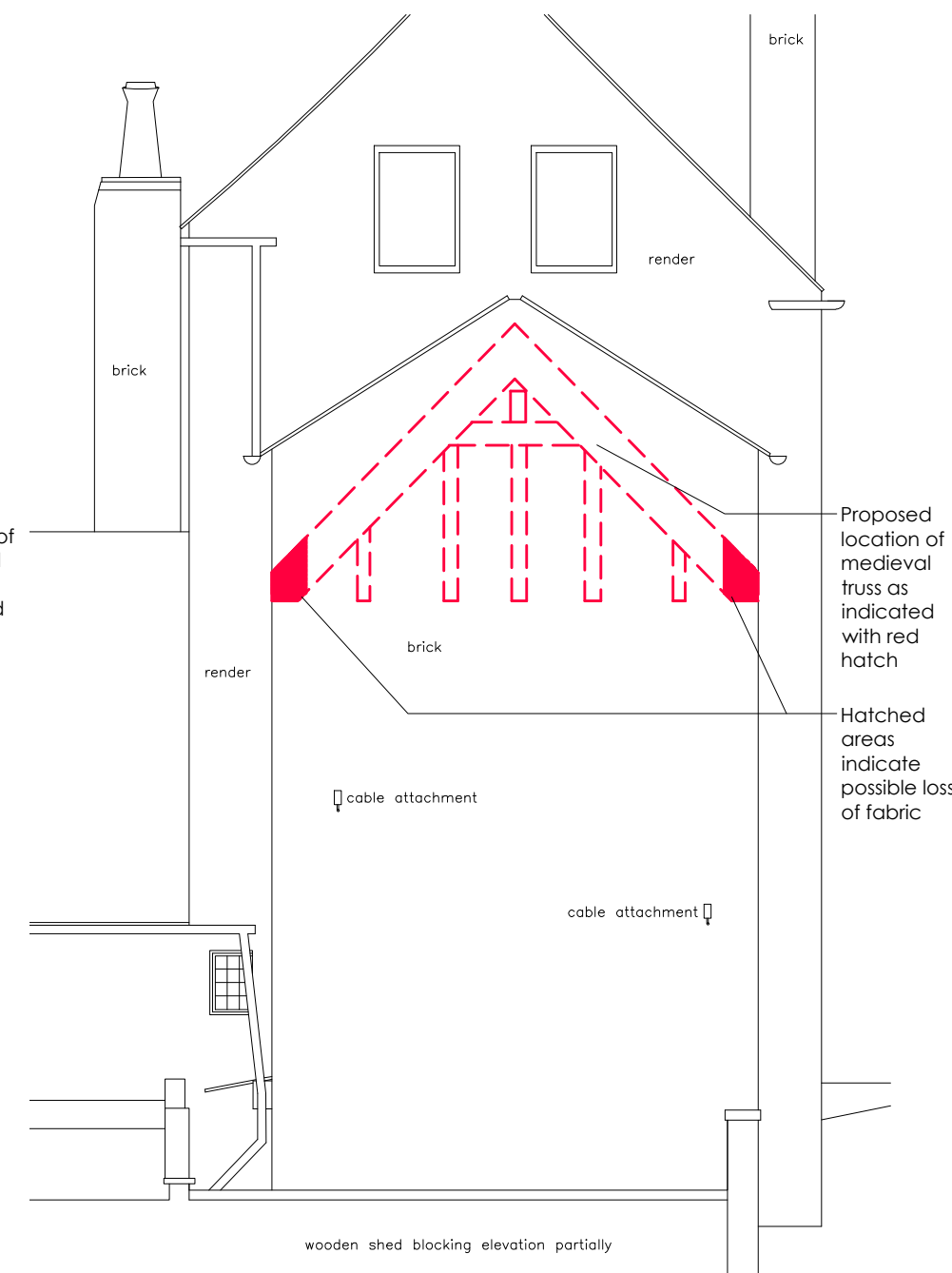
Area in abeyance, stair case design to be confirmed.

Building Control Officer confirms there are no minimum head height requirements, however the door requires 400mm clearance within the final design of the stairs and second floor flat entrance

600mm high glazed section at top of and full length of proposed wall
 Truss as extg, remove extg lath and plaster on kitchen side, allow for plaster finish in between lower sections of oak truss. Upper sections of truss left open over to allow light through to kitchen at high level



Existing Rear External Elevation



Proposed Rear External Elevation



Existing Photo of Truss

PROPOSED TRUSS RELOCATION

There is an existing medieval timber truss that is located at second floor level in between S02 and S03. The truss is understood to be structurally redundant (to be confirmed by the SE) and there is no primary chord/ tie beam. The truss consists of 2 diagonal rafters, a small chord/ tie beam at high level and 5no. vertical posts. If the truss remains in the existing location there are a number of complex design implications that will be costly and will ultimately create a compromised space. Retaining the truss in the existing location results in the following design implications:

- A complex set of steps will be required to go up and over the truss and to come back down on the other side in the location of the main entrance and fire escape route to the upper floor flat (approx. £2k)
- There is constrained access into the upper floor flat and there is a pinch point in the location of the truss which is a primary fire exit for the upper floor flat
- The window adjacent will require upgrading to toughened glass (approx. £1k)
- The truss will be partially concealed on completion and therefore it will be difficult to appreciate the retained fabric in its existing location
- If the truss is retained in its existing location, there is an awkward store space created in between the truss and the new wall of the communal stairs (reference drawing 1040-21 Revision B)

We have considered raising the level of the truss and keeping it in the same location in plan, but after further investigation of this on site, this does not appear a feasible option. This proposal is therefore to relocate the truss to the rear gable end wall and to have it on display for the building's inhabitants. As a result, the main communal staircase will have more space and this will result in an improved staircase design and it will negate the listed complex design implications that arise if it was left in situ.

Revision: 2022.03.22 Issued for Approval & Construction		
Project Name: Gloucester, 39 Westgate Street		
Client: Jake Etherton, JJ Property Rentals (39)		
Drawing Title: Proposed Truss Relocation		
Hummingbird Architecture Ltd Lydney Town Hall, High St, Lydney GL15 5DY		
Drawn By: BK	Checked By:	Date: March 2022
Drawing Size: 1:100 @ A3		Rev:
Drawing No: 1040-55		