



NOTES

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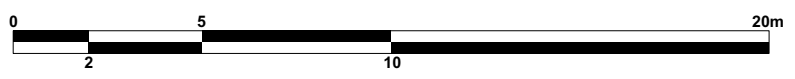
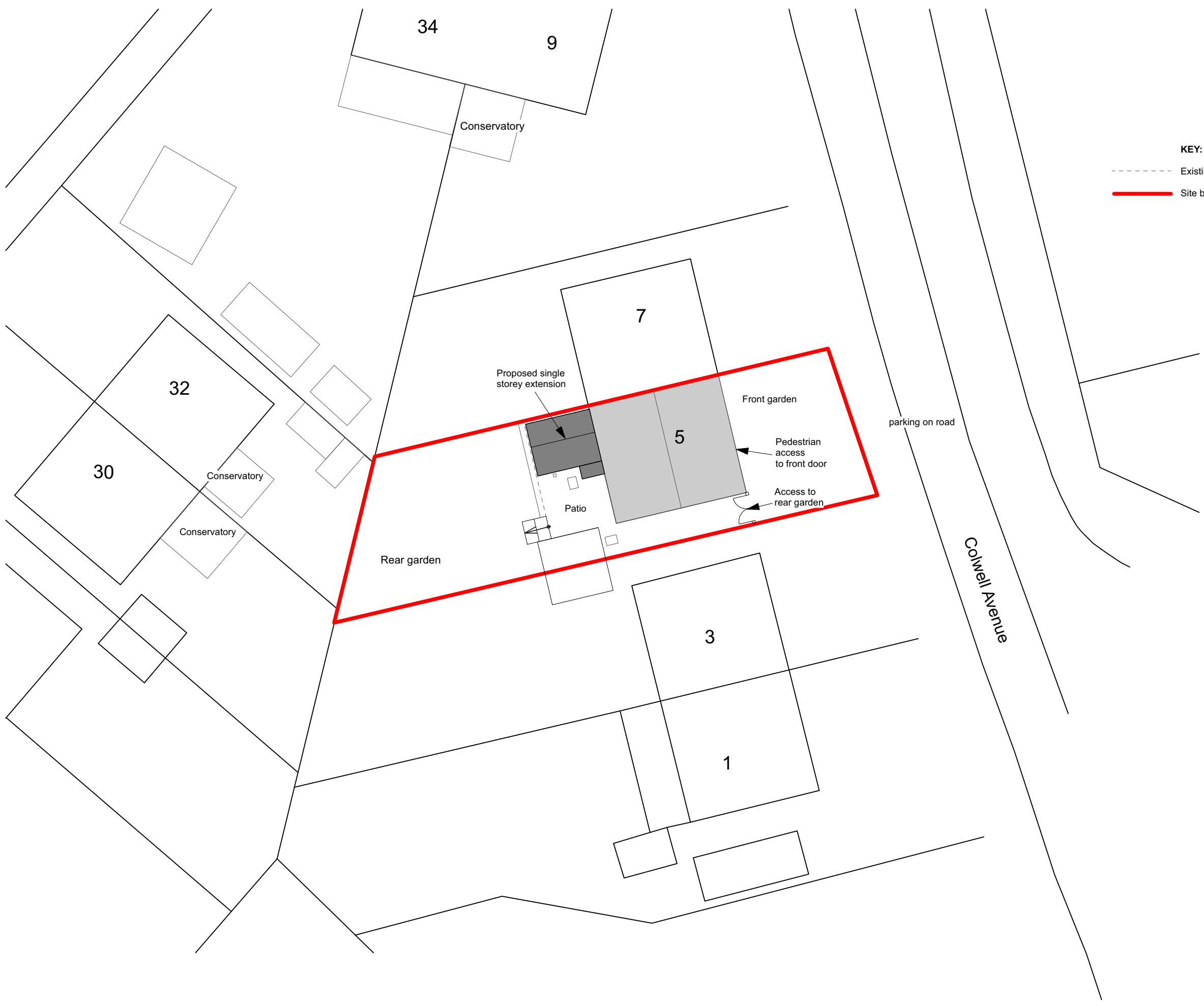
REVISIONS

REV. DATE - DRAWN - CHECKED: NOTES

-: 09.05.22 - HP:
Drawing created.
Rev A - 05.07.22 - HP - Extension moved
150mm away from boundary line as
requested by Planning Officer on 01.07.22

KEY:

- Existing structure to be removed
- Site boundary



DRAWING TITLE

Proposed Site / Block Plan

PROJECT

5 Colwell Avenue,
Gloucester

CLIENT

Gloucester City Homes

SCALE

1:200@A3

DATE

May 2022



DRAWING NO.

6779-W-100

REV

A

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REVISIONS

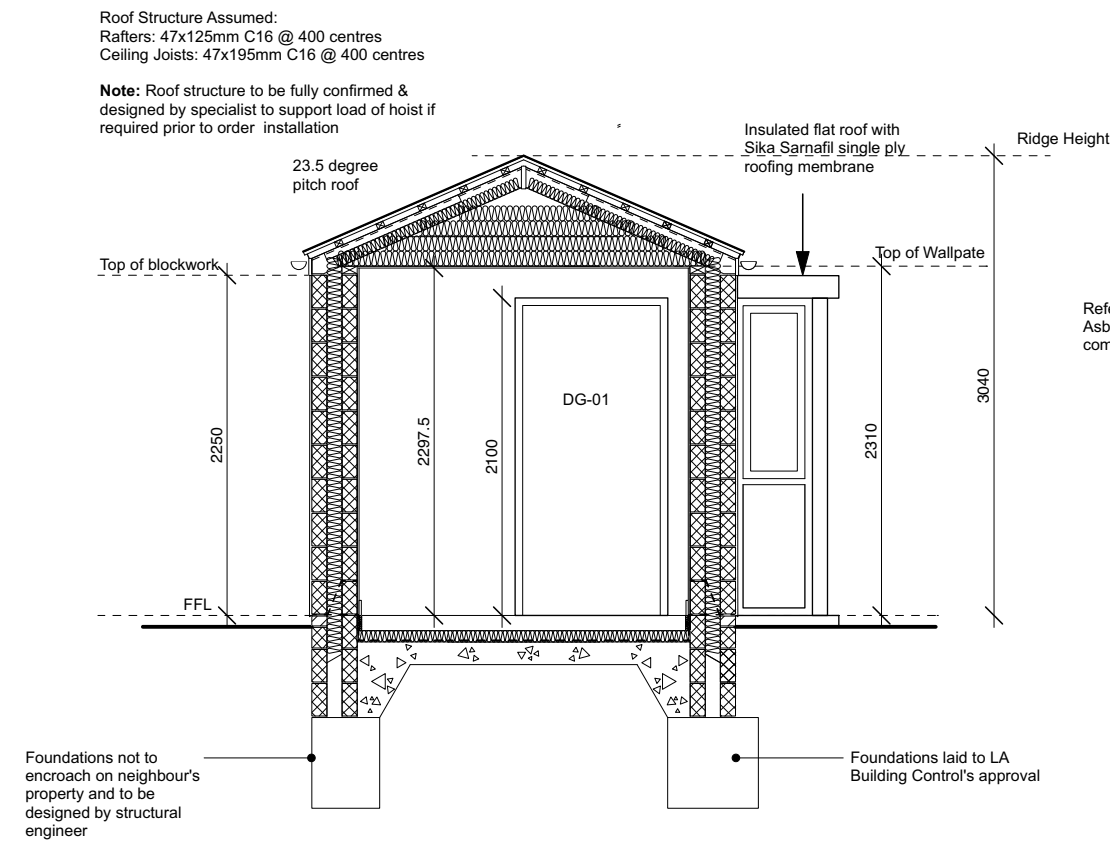
REV: DATE - DRAWN - CHECKED- NOTES

-: 09.05.22 - HP:
Drawing created.
Rev A - 05.07.22 - HP - Extension moved 150mm away from boundary line as requested by Planning Officer on 01.07.22

Key

- - - - - Structure to be removed
- . - . - Site boundary

Materials:
Roof: tile to match existing
Walls: render to match existing
Windows: White UPVC to match existing
Gutters and downpipes: Black UPVC to match existing

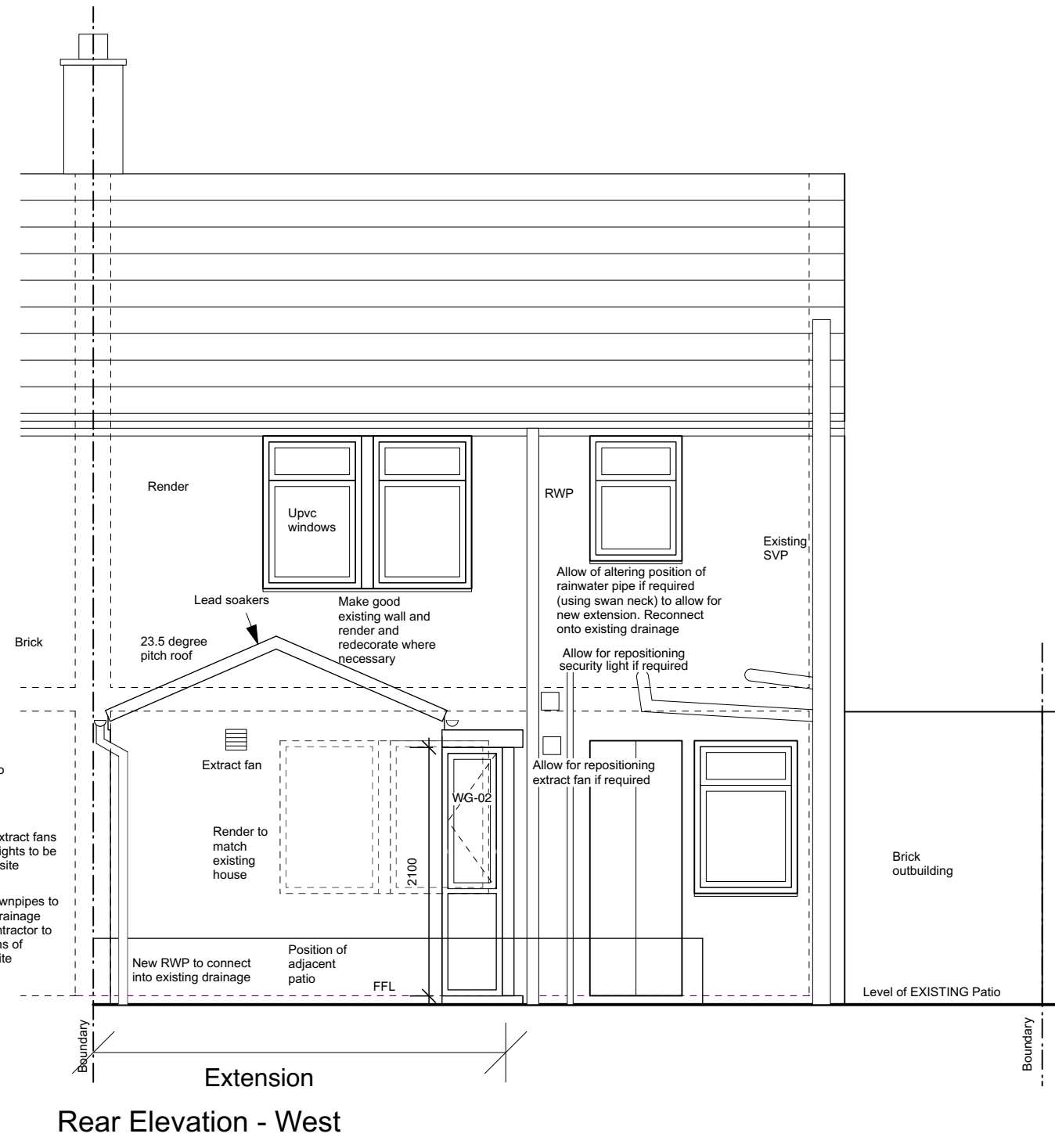


Section A-A

Refer to Refurbishment and Demolition Asbestos survey provided by client prior to commencement of works.

Positions of extract fans and external lights to be confirmed on site

Position of downpipes to suit existing drainage positions. Contractor to check positions of drainage on site



Existing timber fence to remain. If the fence is required to be removed in order for the construction works to be carried out it should be reinstated on completion of the works

Allow for moving back retaining wall by approximately 300mm such that the rear elevation to the extension is independent from the retaining wall. Reuse existing posts and reconstituted panels if possible. Exact repositioning of retaining wall to be agreed on site. Allow for moving shed towards the rear of the garden if required.

New RWP to connect into existing drainage

Existing position of retaining wall



DRAWING TITLE

Proposed Elevations

PROJECT

5 Colwell Avenue,
Gloucester

CLIENT

Gloucester City Homes

SCALE

1:50@A2

DATE

May 2022

DRAWING NO.

REV

6779-W-701

A



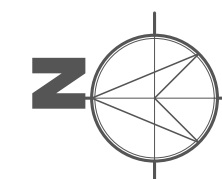
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REVISIONS

REV: DATE - DRAWN - CHECKED: NOTES

-: 17.03.22 - HP: Drawing created.
Rev A - 05.07.22 - HP - Extension moved 150mm away from boundary line as requested by Planning Officer on 01.07.22



Refer to Refurbishment and Demolition Asbestos survey provided by client prior to commencement of works.

Protect existing house, garden and services for duration of the works.

All fixtures and fittings supplied by the client are to be fitted by the contractor.

Carefully remove existing paving slabs in location of extension. Set aside for customer.

Excavate for extension.

Excavate for foundations to extension and for new floor continuous with main house ground floor.

New rain water pipes to connect into existing drainage. Contractor to investigate positions of existing drainage.

Existing external walls that are to become internal bedroom wall to be made good and plastered finish applied to receive decoration.

New internal walls to be plastered. Bedroom walls and ceiling to be decorated with two coats of matt emulsion. Bathroom walls to be finished with two coats of bathroom eggshell emulsion. Finishes, fixtures and fittings to be confirmed by client. Electrical fixtures and fittings to be selected by client. Ceilings to be strong enough to allow for fitting of overhead hoist capable of carrying a load of 200kg if required in future.

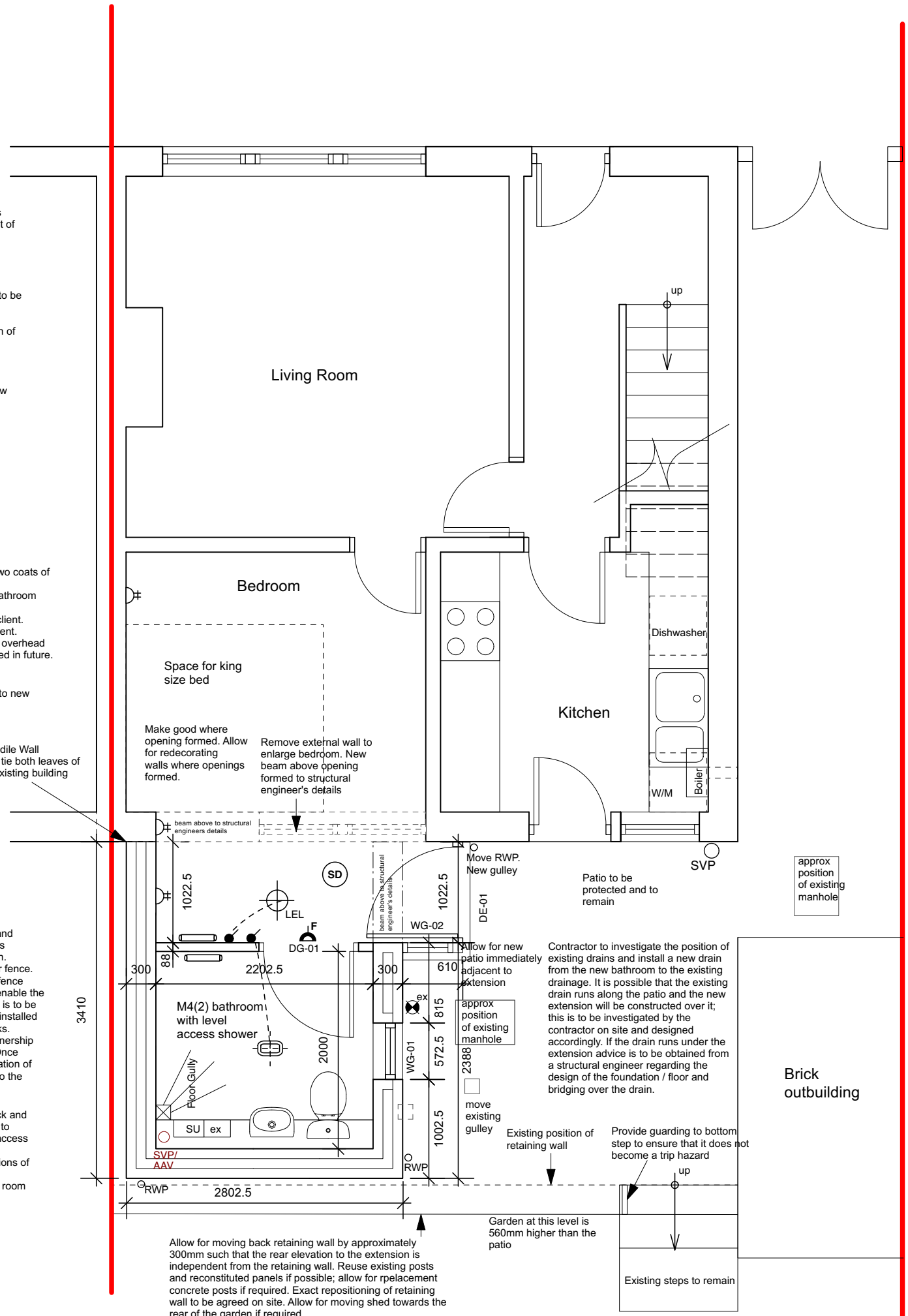
Connect new water supply, heating and electrics to new extension.

Simpson Strong-Tie Crocodile Wall Extension Profiles used to tie both leaves of new brick/blockwork into existing building

Remove concrete posts and reconstituted stone panels adjacent to new extension. Retain neighbour's timber fence. If the neighbour's timber fence needs to be removed to enable the works to be carried out, it is to be carefully set aside and reinstalled on completion of the works. NB Client to establish ownership of boundary fence/wall. Once established the exact location of the extension in relation to the boundary to be finalized.

Allow for boxing in of stack and drainage in shower room to ensure they are clear of access zones. Ensure that clear dimensions of 2150mm x 1700mm are maintained in the shower room

Allow for moving back retaining wall by approximately 300mm such that the rear elevation to the extension is independent from the retaining wall. Reuse existing posts and reconstituted panels if possible; allow for replacement concrete posts if required. Exact repositioning of retaining wall to be agreed on site. Allow for moving shed towards the rear of the garden if required.



KEY:

- Existing structure to be removed
- New partitions / walls
- Site boundary

M&E Key

- Low energy light fittings, pendant lamp
- Bulkhead light
- Light switch One-Way - aligned horizontally with door handles
- Light Switch Two-Way - aligned horizontally with door handles
- 13 amp. double switched socket - 900mm above FFL
- Radiator (to be specified, sized and positioned by sub-contractor) to connect onto existing heating system
- Fused spur
- Wall Mounted Extract Fan (Humidistat Controlled and Wired to Lighting Circuit)
- External water tight light unit on PIR and movement switch
- Electric shower unit
- Smoke detector

Note: All outlets, switches and controls to be located min. 350mm from internal corners.

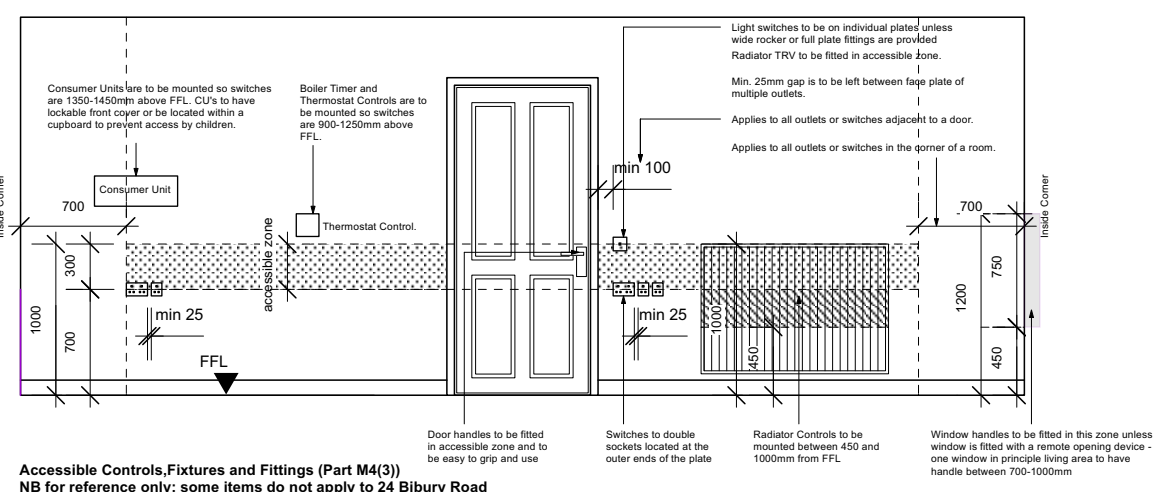
Positions of sockets, wall heaters etc to be confirmed on site

Door Schedule				
Ref	S/O (w x h)	Leaf (w x h)	Glazing	Comments
DE-01	1022.5 x 2100	926 x 2040	Yes	New Upvc external door; glazed (bottom panel in critical location to be robust glazing)
DG-02	1010 x 2100	926 x 2040	No	Internal door to match doors in existing dwelling

Notes:
Allow for ironmongery - lever handles, locks and 3no sets of hinges per door.

Window Schedule		
Ref	S/O (w x h)	Comments
WG-01	572.5 x 900	SBD Compliant / Side Hung, Obscured glass
WG-02	510 x 2100	SBD Compliant / top panel side hung/ bottom panel fixed and in critical location so to be robust glazing

Notes:
Windows to match existing UPVC
*Dimensions of door and window openings to be checked on site prior to order/manufacture



Accessible Controls, Fixtures and Fittings (Part M4(3))
NB for reference only, some items do not apply to 24 Bisbury Road

DRAWING TITLE

Proposed Ground Floor Plan

PROJECT

5 Colwell Avenue, Gloucester

CLIENT

Gloucester City Homes

SCALE

1:50@A2

DATE

May 2022

DRAWING NO.

6779-W-201

REV

A



DOCUMENT REGISTER AND ISSUE SCHEDULE - SHEET 1

PROJECT: 5 Colwell Avenue, Gloucester
REFERENCE: 6779



Drawings	Scale	Size	Title	16.05.22	26.05.22	08.06.22	05.07.22												
6779-W-010	1:1250	A3	Site Location Plan	•		•													
6779-W-002	1:200	A3	Existing Site Layout	•		•													
67792-W-100	1:200	A3	Proposed Site Layout / Block Plan			•	A												
6779-W-200	1:50	A2	Ground Floor as Existing	•		•													
6779-W-201	1:50	A2	Ground Floor as Proposed		P	•	A												
6779-W-700	1:100	A3	Elevations as Existing	•		•													
6779-W-701	1:100	A3	Elevations as Proposed			•	A												
Building Regs Spec						•													
PDF				•	•	•	•												
DWG																			

Issued to:																			
Gloucester City Homes	Client			•	•	•	•												
Gloucester City Homes	Client			•	•	•	•												
GBCP	Building Control					•													
Gloucester City Council	Planning					•	•												