

## The Planning Inspectorate

### QUESTIONNAIRE (s78) HOUSEHOLDER APPEAL (Online Version)

You must ensure that a copy of the completed questionnaire, together with any attachments, are sent to the appellant/agent by the date given in the start letter.

Appeal Reference	APP/U1620/D/22/3309983
Appeal By	MR JAMES BUTT
Site Address	38 Hillview Road Hucclecote GLOUCESTER GL3 3LG

#### PART 1

1. Do you agree that the Householder Appeals Service (HAS) written representation procedure is appropriate for this appeal? Please note there must be exceptional reasons for us to agree to a procedure other than HAS.	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
2.a. Are there any appeals or matters relating to the same site still being considered by us or the Secretary of State?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
2.b. Are there any appeals or matters adjacent or close to the site still being considered by us or the Secretary of State?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
3. Can the Inspector see the relevant parts of the appeal site from public land?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
4. Will the reasons for refusal/grounds of appeal require the Inspector to enter:				
4.a. the appeal site or property to judge the appeal proposal?	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
Proposed development is predominantly to the rear of the property.				
4.b. a neighbour's land or property to judge the appeal proposal?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
5. Are you aware of any specific health and safety issues, from your Officer's visits to the site or otherwise, which would need to be taken into account when the inspector visits the site?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
6.a. Is the site within a Conservation area?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
6.b. Is the site adjacent to a Conservation Area?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
6.c. Is the site within a green belt?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
6.d. Is the site in an Area of Outstanding Natural Beauty?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
7.a. Does the proposed development involve the demolition, alteration or extension of a listed building?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
7.b. Would the proposed development affect the setting of a listed building?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
8. Did you give publicity, as required, for the site being within a Conservation Area or affecting a listed building?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
9. Is any part of the site subject to a Tree Preservation Order?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>

## PART 2

### Environmental Impact Assessment - Schedule 2

10.a.i. Is the proposed development Schedule 2 development as described in Column 1, Schedule 2 of the Town and Country Planning (Environmental Impact Assessment) Regulations 2011? Yes  No

### Screening

10.c.i. Have you issued a Screening Opinion (SO)? Yes  No

### Environmental Statement (ES)

10.d. Has the appellant supplied an environmental statement? Yes  No

### Publicity

10.e. If applicable, please send a copy of the site notice and local advertisement published under Article 15 of the DMPO 2015, as required for EIA development with your case file. Applies  N/A

11.a. the development hereby permitted shall begin not later than three years from the date of this decision. Yes  No

11.b. the materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing building. Yes  No

11.c. the development hereby permitted shall be carried out in accordance with the approved plans. Yes  No

11.d. any other conditions you regard as necessary? Yes  No

Details of the condition(s) and reasons you regard the condition(s) as necessary are:

the box below

#### Condition:

The shower room window on the northeast (side) elevation, the bathroom window on the southwest (side) elevation, and the ensuite window on the southwest (side) elevation of the extension hereby permitted, shall be constructed so that no part of the framework less than 1.7 metres above finished floor level shall be openable. Any part of the window below that level shall be fitted with, and retained in, obscure glazing (Pilkington Level 4 or equivalent).

#### Reason:

To protect the privacy of adjacent properties

## PART 3

12.a.i. All the plans submitted with the application;   
 see 'Questionnaire Documents' section

12.a.ii. A list of the plans submitted with the application, stating each reference number and clearly indicating which of these plans was under consideration at the time the application was decided;

12.b.i. A copy of the letter/site notice with which you notified interested parties about the householder planning application and a list of the addresses to which it was sent if applicable;   
 see 'Questionnaire Documents' section

see 'Questionnaire Documents' section

12.b.ii. All representations received from interested parties about the application, including comments from internal and external consultees;

see 'Questionnaire Documents' section

12.c. A copy of the letter with which you notified people about the appeal and a list of the addresses to which it was sent;

see 'Questionnaire Documents' section

see 'Questionnaire Documents' section

12.d. The Planning Officer's report to committee or delegated report on the application and any other relevant documents/minutes;

see 'Questionnaire Documents' section

12.e. Design and Access Statement (if submitted);

12.f. Extracts from any statutory development plan policy (inc front page, title and date of approval/adoption and status);

see 'Questionnaire Documents' section

see 'Questionnaire Documents' section

12.g. Extracts from relevant policies which have been saved by way of a direction;

12.h. Extracts from any supplementary planning guidance that you consider necessary (and/or any supplementary planning guidance published under previous provisions still in place) together with its status, whether it was the subject of public consultation and consequent modification, whether it was formally adopted and if so, when. In the case of emerging documents, please state what stage they have reached;

12.i. Relevant planning history only (e.g. previous relevant permissions if appropriate ), including a list of relevant documents taken into account when considering the application.

12.j. If any Development Plan Document (DPD) or Neighbourhood Plan relevant to this appeal has been examined and found sound/met the basic conditions and passed a referendum, the date the DPD or Neighbourhood Plan is likely to be adopted and, if you consider this date will be before the Inspector's decision on this appeal is issued, an explanation of the Council's policy position in respect of this appeal upon its adoption. You should also include an explanation of the status of existing policies and plans, as they relate to this appeal, upon adoption and which (if any) will be superseded;

12.k. If any DPD or Neighbourhood Plan relevant to this appeal has been submitted for examination, or in the case of a Neighbourhood Plan has been examined and is awaiting a referendum, an explanation of any substantive changes in the progress of the emerging plan, and their relevance to this appeal if it is considered that the plan will not be adopted before the Inspector's decision on this appeal is issued;

12.l. Your Authority's CIL charging schedule is being/has been examined;

12.m. Your Authority's CIL charging schedule has been adopted.

**Please advise the case officer of any changes in circumstances occurring after the return of the questionnaire.**

#### LPA Details

I certify that a copy of this appeal questionnaire and any enclosures will be sent to the appellant or agent today.

LPA's reference

22/00404/FUL

Completed by

Dawn Collier

On behalf of

Gloucester City Council

Please provide the details of the officer we can contact for this appeal, if different from the Planning Inspectorate's usual contact for this type of appeal.

Name

Amy Robins

Phone no (including dialling code)

[REDACTED]

Email

[REDACTED]

**Please advise the case officer of any changes in circumstances occurring after the return of the questionnaire.**

## QUESTIONNAIRE DOCUMENTS

Appeal Reference APP/U1620/D/22/3309983

Appeal By MR JAMES BUTT

Site Address  
38 Hillview Road  
Hucclecote  
GLOUCESTER  
GL3 3LG

### The documents listed below were uploaded with this form:

**Relates to Section:** PART 3

**Document Description:** 12.a.i. All the plans submitted with the application

**File name:** 38 Hillview Road 2200404FUL.pdf

**File name:** AMENDED PLAN JB-MW-38HVR-H-G-001D.pdf

**File name:** AMENDED PLAN JB-MW-38HVR-H-G-002A.pdf

**Relates to Section:** PART 3

**Document Description:** 12.b.i. A copy of the letter with which you notified interested parties about the householder planning application.

**File name:** Neighbour Notification Letter.pdf

**File name:** Neighbour renotification letter.pdf

**Relates to Section:** PART 3

**Document Description:** 12.b.i. A list of the addresses of the people who were notified of the householder planning application.

**File name:** Neighbour List.pdf

**Relates to Section:** PART 3

**Document Description:** 12.b.ii. All representations received from interested parties about the application.

**File name:** REP 1 10.05.2022.pdf

**Relates to Section:** PART 3

**Document Description:** 12.c. A copy of the letter with which you notified people about the appeal.

**File name:** ufm10\_Householder\_Appeal Neighbour\_Notification.pdf

**Relates to Section:** PART 3

**Document Description:** 12.c. A list of the addresses of the people who were notified of the appeal.

**File name:** Appeal Neighbour List.pdf

**Relates to Section:** PART 3

**Document Description:** 12.d. The Planning Officer's report to committee or delegated report on the application and any other relevant documents/minutes.

**File name:** DELREP 2200404FUL 38 Hillview Road.pdf

**Relates to Section:** PART 3

**Document Description:** 12.f. Extracts from any statutory development plan policy including the front page, title and date of approval/adoption and status.

**File name:** 1983 Front Cover.pdf

**File name:** JCS Plan Adopted 11 December 2017.pdf

**File name:** GCC City Plan 2019 - Front Cover.pdf

**Relates to Section:** PART 3

<b>Document Description:</b>	12.f. Extracts from any statutory development plan policy including the front page, title and date of approval/adoption and status.
<b>File name:</b>	National Planning Policy Framework.pdf
<b>File name:</b>	SD4.pdf
<b>File name:</b>	SD14.pdf
<b>File name:</b>	A9.pdf
<b>File name:</b>	Home Extension Guide.pdf
<b>File name:</b>	2020-july-County Council Manual for Streets.pdf
<b>File name:</b>	mfgs-addendum-october-2021.pdf
<b>Completed by</b>	Not Set
<b>Date</b>	30/01/2023 08:30:22
<b>LPA</b>	Gloucester City Council

## The Planning Inspectorate

### HOUSEHOLDER PLANNING APPEAL FORM (Online Version)

**WARNING:** The appeal **and** essential supporting documents must reach the Inspectorate within the appeal period. **If your appeal and essential supporting documents are not received in time, we will not accept the appeal.**

**Appeal Reference: APP/U1620/D/22/3309983**

#### A. APPELLANT DETAILS

The name of the person(s) making the appeal must appear as an applicant on the planning application form.

Name

Mr JAMES BUTT

#### B. AGENT DETAILS

Do you have an Agent acting on your behalf?

Yes

No

Name

Mr Glenn Church

#### C. LOCAL PLANNING AUTHORITY (LPA) DETAILS

Name of the Local Planning Authority

Gloucester City Council

LPA reference number

22/00404/FUL

Date of the application

19/04/2022

Did the LPA issue a decision?

Yes

No

Date of LPA's decision

18/10/2022

#### D. APPEAL SITE ADDRESS

Is the address of the affected land the same as the appellant's address?

Yes

No

Address

38 Hillview Road  
Hucclecote  
GLOUCESTER  
GL3 3LG

Is the appeal site within a Green Belt?

Yes

No

Are there any health and safety issues at, or near, the site which the Inspector would need to take into account when visiting the site?

Yes

No

#### E. DESCRIPTION OF THE DEVELOPMENT

Has the description of the development changed from that stated on the

Yes

No

application form?

Please enter details of the proposed development. This should normally be taken from the planning application form.

SINGLE STOREY REAR EXTENSION AND LOFT CONVERSION

Area of floor space of proposed development (in square metres)

88

## F. REASON FOR THE APPEAL

The reason for the appeal is that the LPA has:

1. Refused planning permission for the development.
2. Refused permission to vary or remove a condition(s).
3. Refused prior approval of permitted development rights.

## G. CHOICE OF PROCEDURE

There are three different procedures that the appeal could follow. Please select one.

1. Written Representations

(a) Could the Inspector see the relevant parts of the appeal site sufficiently to judge the proposal from public land? Yes  No

(b) Is it essential for the Inspector to enter the site to check measurements or other relevant facts? Yes  No

2. Hearing

3. Inquiry

## H. GROUNDS OF APPEAL

The grounds of appeal are:

[see 'Appeal Documents' section](#)

Do you have a separate list of appendices to accompany your grounds of appeal? Yes  No

Have you made a costs application with this appeal? Yes  No

[see 'Appeal Documents' section](#)

## I. (part one) SITE OWNERSHIP CERTIFICATES

Which certificate applies?

CERTIFICATE A

**I certify that, on the day 21 days before the date of this appeal, nobody, except the appellant, was the owner of any part of the land to which the appeal relates;**

CERTIFICATE B

**I certify that the appellant (or the agent) has given the requisite notice to everyone else who, on the day 21 days before the date of this appeal, was the owner of any part of the land to which the appeal relates, as listed below:**

CERTIFICATE C and D



If you do not know who owns all or part of the appeal site, complete either Certificate C or Certificate D and attach it below.

### I. (part two) AGRICULTURAL HOLDINGS

We need to know whether the appeal site forms part of an agricultural holding.

(a) None of the land to which the appeal relates is, or is part of, an agricultural holding.

(b)(i) The appeal site is, or is part of, an agricultural holding, and the appellant is the sole agricultural tenant.

(b)(ii) The appeal site is, or is part of, an agricultural holding and the appellant (or the agent) has given the requisite notice to every person (other than the appellant) who, on the day 21 days before the date of the appeal, was a tenant of an agricultural holding on all or part of the land to which the appeal relates, as listed below.

### J. SUPPORTING DOCUMENTS

01. A copy of the application form sent to the LPA.

02. A copy of the LPA's decision notice.

### K. OTHER APPEALS

Have you sent other appeals for this or nearby sites to us which have not yet been decided? Yes  No

Please give details, including our reference number(s), if known.

APP/U1620/D/22/3304956

### L. NOW SEND

#### Send a copy to the LPA

Send a copy of the completed appeal form, the personal details form and any supporting documents (including the full grounds of appeal) not previously sent as part of the application to the LPA. If you do not send them a copy of this form and documents, we may not accept your appeal.

To do this by email:

- open and save a copy of your forms
- locating your local planning authority's email address:  
<https://www.gov.uk/government/publications/sending-a-copy-of-the-appeal-form-to-the-council>
- attaching the saved forms including any supporting documents

To send them by post, send them to the address from which the decision notice was sent (or to the address shown on any letters received from the LPA).

When we receive your appeal form, we will write to you letting you know if your appeal is valid, who is dealing with it and what happens next.

**You may wish to keep a copy of the completed form for your records.**

## M. APPEAL DOCUMENTS

We will not be able to validate the appeal until all the necessary supporting documents are received.

Please remember that all supporting documentation needs to be received by us within the appropriate deadline for the case type. Please ensure that any correspondence you send to us is clearly marked with the appeal reference number.

**You will not be sent any further reminders.**

### The documents listed below were uploaded with this form:

<b>Relates to Section:</b>	GROUNDS OF APPEAL
<b>Document Description:</b>	The grounds of appeal
<b>File name:</b>	STATEMENT OF APPEAL.pdf
<b>Relates to Section:</b>	GROUNDS OF APPEAL
<b>Document Description:</b>	A costs application.
<b>File name:</b>	CLAIM FOR COST ASSOCIATED TO APPEAL.pdf
<b>Relates to Section:</b>	SUPPORTING DOCUMENTS
<b>Document Description:</b>	01. A copy of the original application form sent to the LPA.
<b>File name:</b>	ApplicationForm.pdf
<b>Relates to Section:</b>	SUPPORTING DOCUMENTS
<b>Document Description:</b>	02. A copy of the LPA's decision notice.
<b>File name:</b>	Decision Notice - 2200404FUL.pdf

**Completed by** MR GLENN CHURCH

**Date** 29/10/2022 10:43:05



**Statement of Appeal  
38 Hillview Road  
Hucclecote  
Gloucester GL3 3LG**

**28/10/2022**

**Proposal:** Single Storey Rear Extension and Loft Conversion

**Planning Application Ref:** 22/00404/FUL

As agent to the applicant, we have been asked to lodge an appeal against the refusal for the referenced planning application.

Our basis for appeal is laid out below and as supporting documents accompanying this application:

**Site location and surrounding area:**



## Google Image Plan of Site:



## Design Intent:

The client brief was to create a larger ground floor living space with open plan living to the rear to benefit from the garden space and to create new bedroom space to first floor by the incorporation of a loft conversion.

Given the existing design of the property it was considered that a modern first floor addition with flat roof would not only maximise space but, would also add a contemporary addition to the existing aged property.

Not will this only provide the additional living space required for a young couple but will also provide future space requirements for a growing family.

As part of the build additional enhancements would be achieved with greater thermal properties to all new and upgraded construction but also allowing for further green efficiencies to be built in to the design in terms of more efficient use of water, heating systems and overall build modelling.

## Planning Application History:

At completion of the plan proposals Homeplan Drafting Services submitted the application on behalf of the client and to act as agent.

Original Application acknowledgement:



**Development Control**  
Gloucester City Council  
PO Box 3252  
Gloucester, GL1 9FW  
[www.gloucester.gov.uk](http://www.gloucester.gov.uk)

22/04/2022

David Millinship

[Development.control@gloucester.gov.uk](mailto:Development.control@gloucester.gov.uk)

Dear Mr Glenn Church,

**TOWN AND COUNTRY PLANNING ACT 1990**  
**TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) ORDER 2015**

**Reference:** 22/00404/FUL  
**Location:** 38 Hillview Road  
**Ward:** Hucclecote  
**Proposal:** Single storey rear extension and loft conversion

Thank you for submitting your application. If you disagree with the above description of your proposal, please let me know immediately.

The valid date of your application is **19/04/2022**.

Due to the on going Covid-19 situation, we are unable to undertake physical site visits for most planning applications. Therefore, to assist with a virtual site visit, I would be grateful if you could provide photographs that are applicable to your application; details are available on the next page.

You can follow the progress of this application on-line via the council's website at <https://www.gloucester.gov.uk/planning-development/planning-applications/view-planning-applications-online/>. If your application required a fee, this letter comprises the receipt for your fee.

If you have not received a decision by **8 weeks from the valid date** and have not agreed to extend the timescale for the decision, you can appeal to the Secretary of State against non-determination. Any appeal must be made within 12 weeks of the valid date of your applications.

Further information and appeal forms are available on The Planning Inspectorate website <https://www.gov.uk/government/organisations/planning-inspectorate> or can be obtained from Temple Quay House, 2 The Square, Temple Quay, Bristol, BS1 6PN.

Please note, we currently have a high volume of applications, partly caused by amended working arrangements necessary due to the Covid-19 pandemic and a recent IT incident. Therefore, it may be necessary to request an extension of the timescale for the determination of your application. I will be in contact in the next few weeks should this be necessary.

Your submitted planning application information will be publicly available on our website. Further information on how we use your information is available in our [privacy notice](#).

Following receipt of the above the application was passed from the original officer (David Millinship) to a new officer Amy Robins who made contact to ask if she could visit site to take some photographs.

This was agreed to and the visit was made.

I was in attendance for the visit at the request of the client and although no full commitment was given Ms Robins indicated that in general she was happy with the proposal but wanted to check distance's to neighbouring properties.

Following the visit we received a request to add vision splays to the block plans to an adjacent property, email as below:

RE: 22/00404/FUL 38 Hillview Road



Amy Robins  
To: Glenn Church

You replied to this message on 23/08/2022 16:17.

Reply Reply All Forward

Tue 23/08/2022 16:0

Good afternoon,

Thank you for your response. Please can you indicate the 45 degree splays on the block plan and also include splays from the first and ground floor windows to the side elevation of no. 40 that faces the application site?

Regarding 35 Mount Pleasant I will respond separately.

Many thanks

Kind regards,

**Amy Robins**  
Planning Assistant

We replied to this request and attach copies of all submitted plans to the rear of this document, drawing JB-MW-38HVR-H-G-001, also Revisions A-D

Following this request we then received a further email requesting any scope for reducing the size of the extension, in particular at first floor level, as below:

RE: 22/00404/FUL 38 Hillview Road



Amy Robins  
To: Glenn Church

You replied to this message on 07/09/2022 11:00.

Reply Reply All Forward

Tue 06/09/2022 11:0

Dear Glenn,

I am currently assessing the design of the proposal.

Please can I ask if there is any scope for shortening the rear two-storey extension as it is quite large?

Also, the existing front bay and gable end is quite attractive and there are a number of properties within the street scene with similar period features. The proposed front gable loses those features. Please would you be able to look at the design of the proposed front bay so that it could be more in keeping?

Other than the above points I find the design largely acceptable.

Kind regards,

**Amy Robins**  
Planning Assistant

By discussion with the client this request was complied with and revision drawing sent, JB-MW-38HVR-H-G-00, also Revision A, again to the rear of this document.

Following this request we received a further email as below:

RE: 22/00404/FUL 38 Hillview Road



Amy Robins  
To: Glenn Church

You replied to this message on 20/09/2022 10:15.

Reply Reply All Forward

Fri 16/09/2022 11:1

Dear Glenn,

Thank you for considering the revisions and your comments on the design which I will take into consideration.

I will be discussing the proposal with my manager on Tuesday 20<sup>th</sup> September. May I request an extension of time of Friday 30<sup>th</sup> September to issue the decision?

Kind regards,

**Amy Robins**  
Planning Assistant

Thus far through the process and following requests for additional and revised information we had not at any time received any communication in respect of the design being non-compliant with national or any local policy.

We had made charges to our client for drawing revisions which in all good faith were considered to be in part to aid a positive determination to the application.

The following email was then received from Ms Robins:

RE: 22/00404/FUL 38 Hillview Road

 Amy Robins  
To: Glenn Church

 Reply  Reply All  Forward  

Tue 20/09/2022 12:

Dear Glenn,

Thank you for agreeing to the extension of time.

I have discussed the application with my manager. Is there scope to alter the roof design of the rear two storey extension to make it a pitched roof? Flat roofs are not usually considered acceptable on two storey extensions and it will be visible from the street. As such, we are likely to refuse the application if the proposed flat roof is retained.

If you can alter the design to feature a pitched roof, please can you submit revised proposed plans.

Many thanks.

Kind regards,

**Amy Robins**  
Planning Assistant

We responded to this email as below and provided addition evidence of a local project (within ½ mile of our proposal and queried the nature of the response)?

RE: 22/00404/FUL 38 Hillview Road

 Glenn Church  
To: Amy Robins  
Cc: James @ Bramleys

 Reply  Reply All  Forward  

Wed 21/09/2022 14:38

 92 HUCCLECOTE ROAD 1.jpg 76 KB  92 HUCCLECOTE ROAD 2.jpg 70 KB  92 HUCCLECOTE ROAD 3.jpg 56 KB

Good afternoon Amy,

Further to our meeting on site and the subsequent request for an extension of time, notwithstanding the reduction in depth of the rear extension already made at your request I find this latest request a little bizarre?

At your initial site visit you did mention that in broader terms you felt the design was acceptable, however wanted to take a look at the site from "on the ground".

We then received a request to make the rear extension shorter which we have complied with, following this a request for a further extension of time and now an additional request for potential design change.

I have discussed with the client and the mitigation (if any needed) for the design selected is to achieve sufficient space required at first floor level to make the property future proof as a family home.

You have stated that flat roofs are not usually considered on two storey extensions, however numerous examples can be found throughout the City, indeed attached are photos of a bungalow to house conversion currently being constructed at 92 Hucclecote Road in close proximity to our proposal site. There appears to be lack of consistency in regards to acceptable design, not necessarily based on policy alone?

The above mentioned site is on a much more open aspect and is far more visible than our proposal, given than our property is flanked by houses on both sides?

In addition to this many authorities have adopted Climate Change SPD's, within these guidelines a simple single roof design is considered much more desirable by minimising roof area and using optimised form, this is noted in the NPPF?

Given the above and attached we confirm that we would request any decision to be made on the last revised submission, should a refusal be the decision we will appeal directly to The Planning Inspectorate.

Regards

**Glenn Church**



The following pages indicate photos of the property to which we referenced which is at 92 Hucclecote Road, Gloucester GL3 3RU, we cannot provide the planning application reference as this has been lost by Gloucester City Council online records?

**ORIGINAL PROPERTY AT 92 HUCCLECOTE ROAD REFERENCED**



**PROPERTY AT 92 HUCCLECOTE ROAD CURRENTLY UNDER ALTERATION**





**PROPERTY AT 92 HUCCLECOTE ROAD CURRENTLY UNDER ALTERATION**



**PROPOSAL PROPERTY FROM STREET LHS**



## PROPOSAL PROPERTY FROM STREET RHS



It is felt that the grounds for refusal are not consistent given the evidence above which shows that the property at 92 Hucclecote Road bears a similar design intent to our proposal, this property is far more prominent from the street scene and causes a far greater impact by nature of its location.

In respect of all points within the Decision Notice we fail to see how this proposal varies to the example given locally?

We consider that given the location and orientation of the property there is no negative impact to the street scene, nor to the amenity of the host or surrounding properties to any greater or lesser extent than that created by the original developments and subsequent later alterations to various properties within the locality.

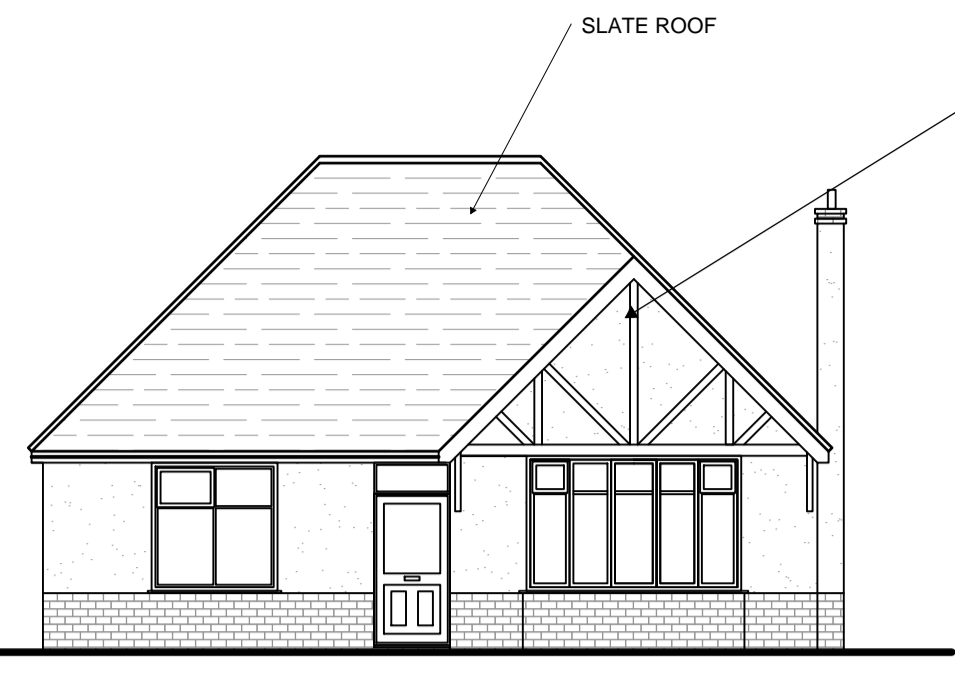
We are not aware of any objections to the proposal by any neighbouring properties and no detriment will be caused, as such we hope that consideration to this appeal will result in a positive determination?

Regards

G A Church

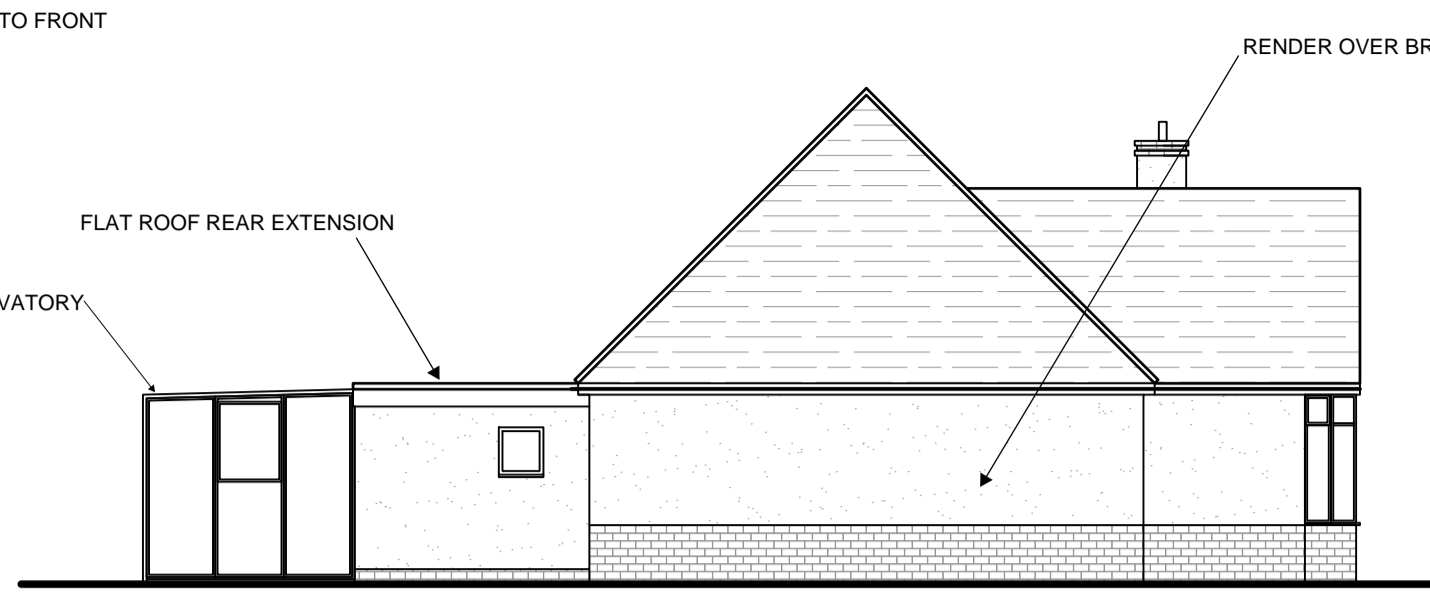
Homeplan Drafting Services

Copies of all plans submitted below and associated cost' applied for if appeal is successful.:



**FRONT ELEVATION - 1:100**

THIS BAR SHOULD SCALE 5M @ 1:100



**ELEVATION ON B - 1:100**

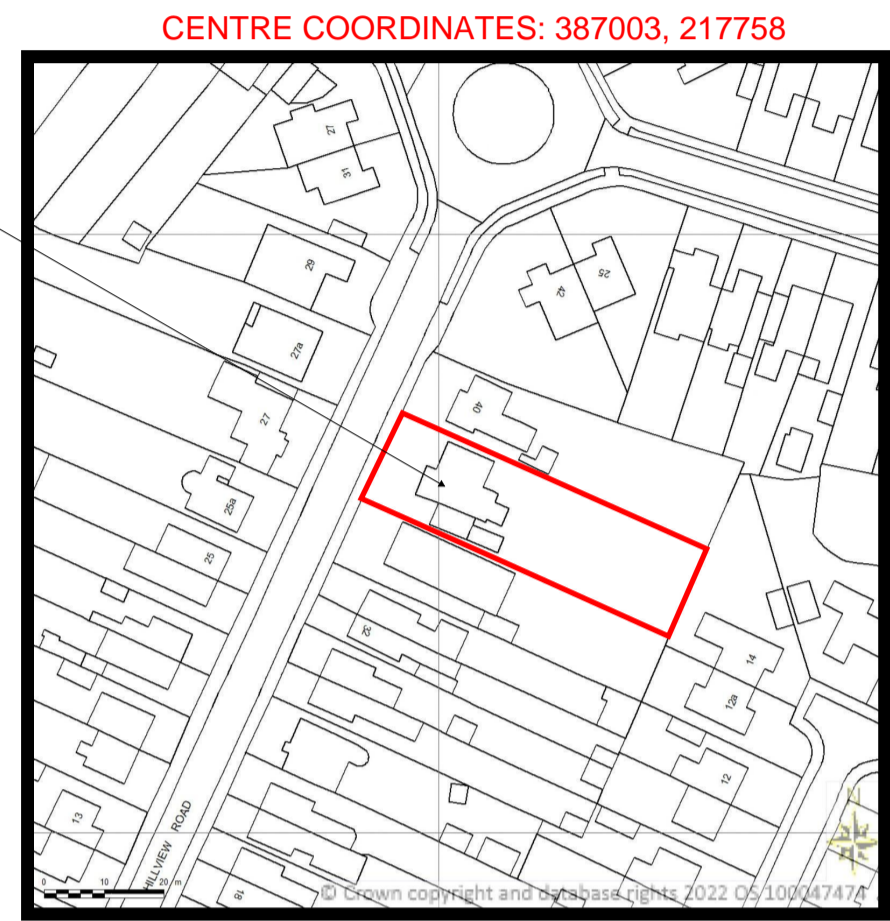


**REAR ELEVATION - 1:100**



**ELEVATION ON A - 1:100**

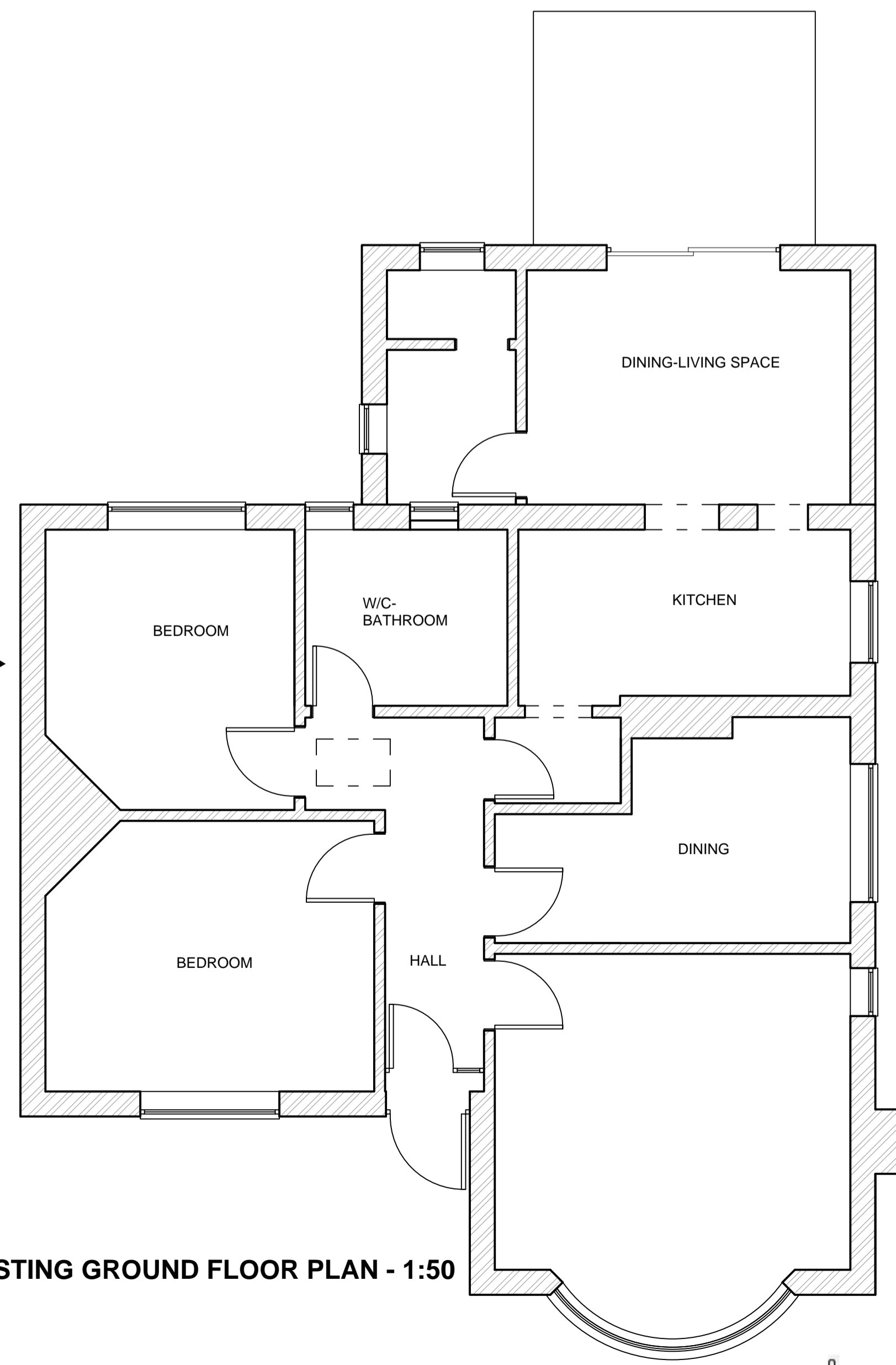
- NOTES**
- 1) ALL DIMENSIONS TO BE CHECKED ONSITE PRIOR TO CONSTRUCTION. (INTERNAL DIMS MAY CHANGE DEPENDING ON EXTERNAL WALL CONSTRUCTION METHOD)
  - 2) A STRUCTURAL ENGINEER MUST BE CONSULTED FOR ALL STRUCTURAL WORKS
  - 3) WORKS TO BE CARRIED OUT BY COMPETENT, QUALIFIED CONTRACTORS
  - 4) ALL WORKS TO BE CARRIED OUT UNDER ALOCAL AUTHORITY BUILDING NOTICE ALL BUILD NOTES ARE GIVEN BASED ON STANDARD BUILDING REGULATIONS DETAILS AND MAY VARY, CONSTRUCTION METHODS MAY VARY ACCORDING TO BUILDERS PREFERENCE AND BUILDING CONTROL OFFICER REQUIREMENTS. THESE DRAWINGS ARE PRODUCED FOR PLANNING ONLY.



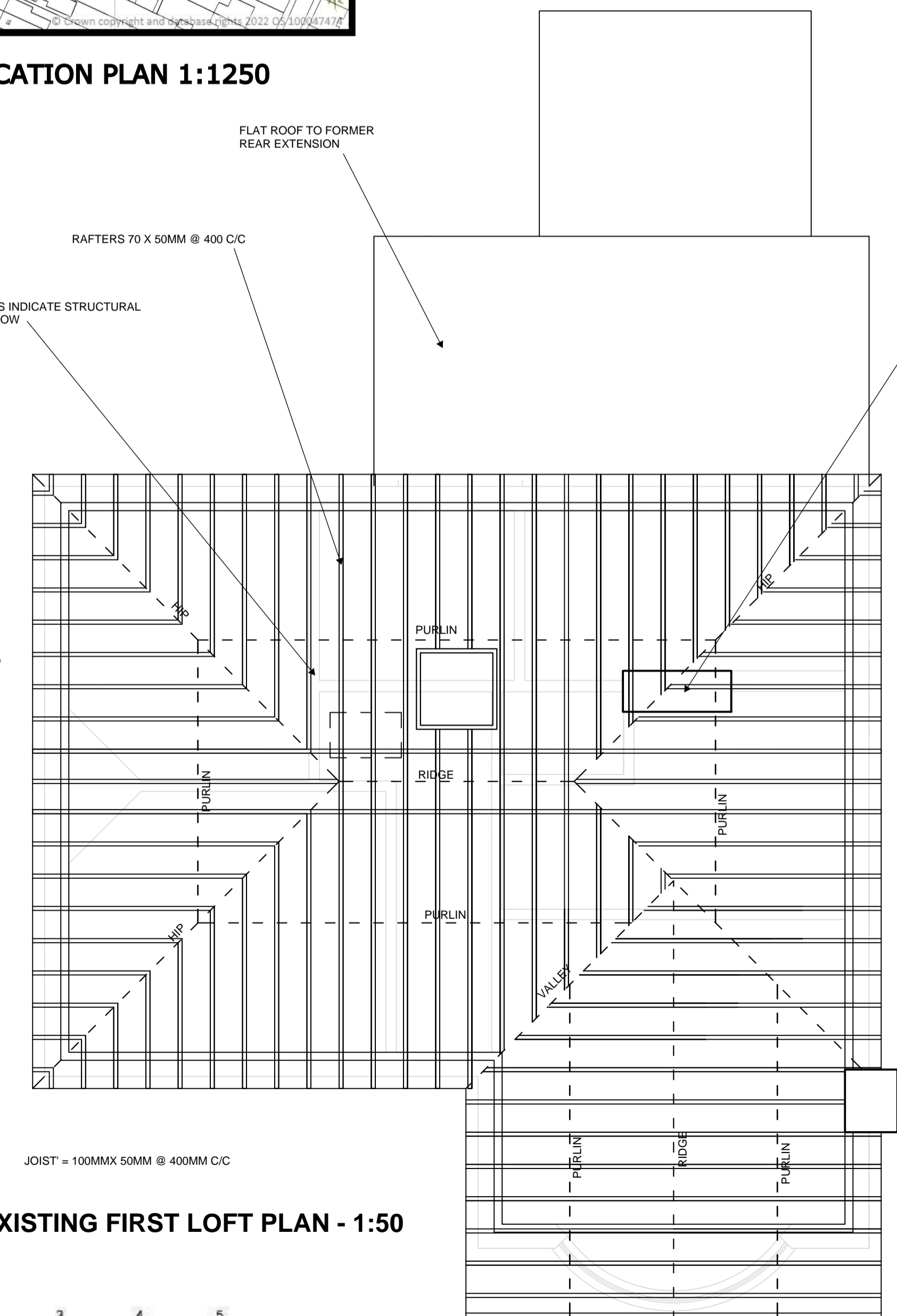
**SITE LOCATION PLAN 1:1250**



**BLOCK PLAN EXISTING 1:500**



**AS EXISTING GROUND FLOOR PLAN - 1:50**



**AS EXISTING FIRST LOFT PLAN - 1:50**



**BLOCK PLAN PROPOSED 1:500**

THIS BAR SHOULD SCALE 5M @ 1:50



**CLIENT/PROJECT:**  
MR J R BUTT AND MS M WITHAM

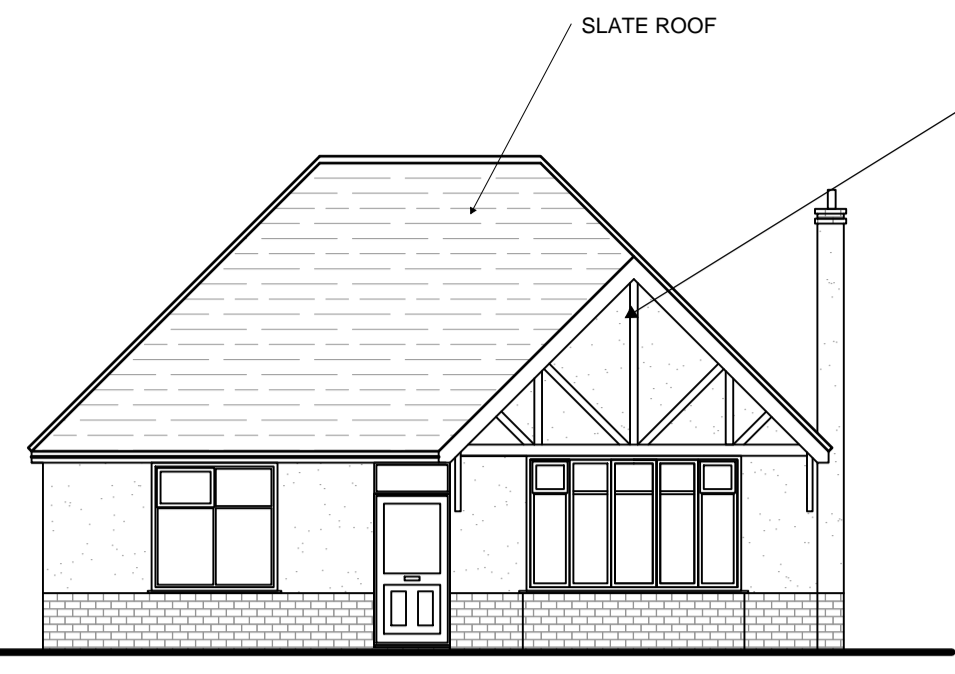
**PROPOSED WORKS TO EXTEND AND CREATE FIRST FLOOR LIVING SPACE. 38 HILL VIEW ROAD, HUCCLECOTE, GLOS GL3 3LG**

**TITLE:**  
AS EXISTING PLANS AND ELEVATIONS INCLUDING SITE LOCATION AND BLOCK PLANS

**SCALE:**  
1:1250, 1:500, 1:100 AND 1:50 @ A1

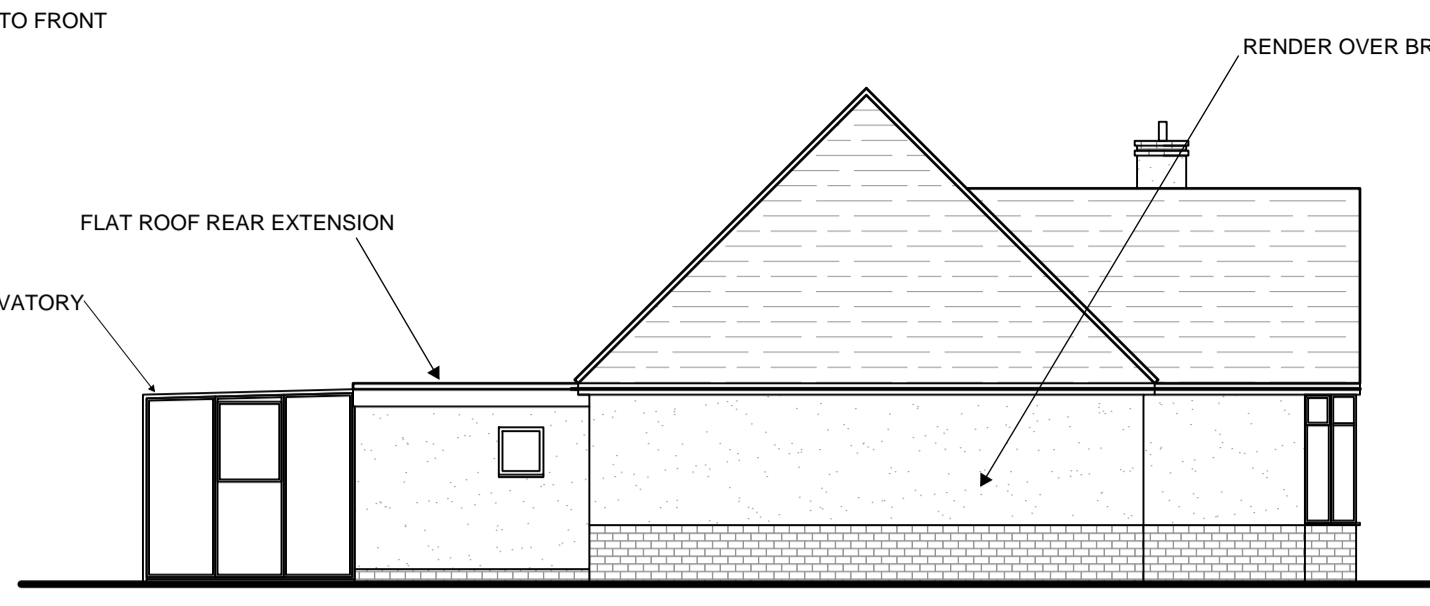
**DATE:**  
MARCH 2022

JB-MW-38HVR-H-G-001



**FRONT ELEVATION - 1:100**

THIS BAR SHOULD SCALE 5M @ 1:100



**ELEVATION ON B - 1:100**

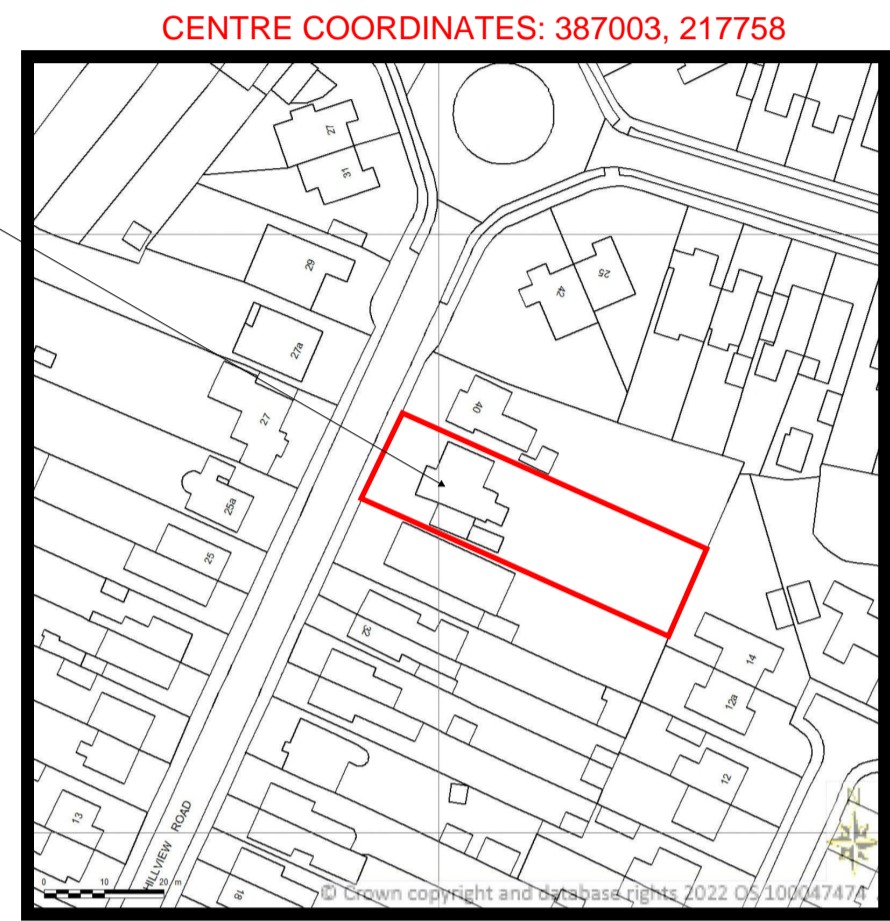


**REAR ELEVATION - 1:100**



**ELEVATION ON A - 1:100**

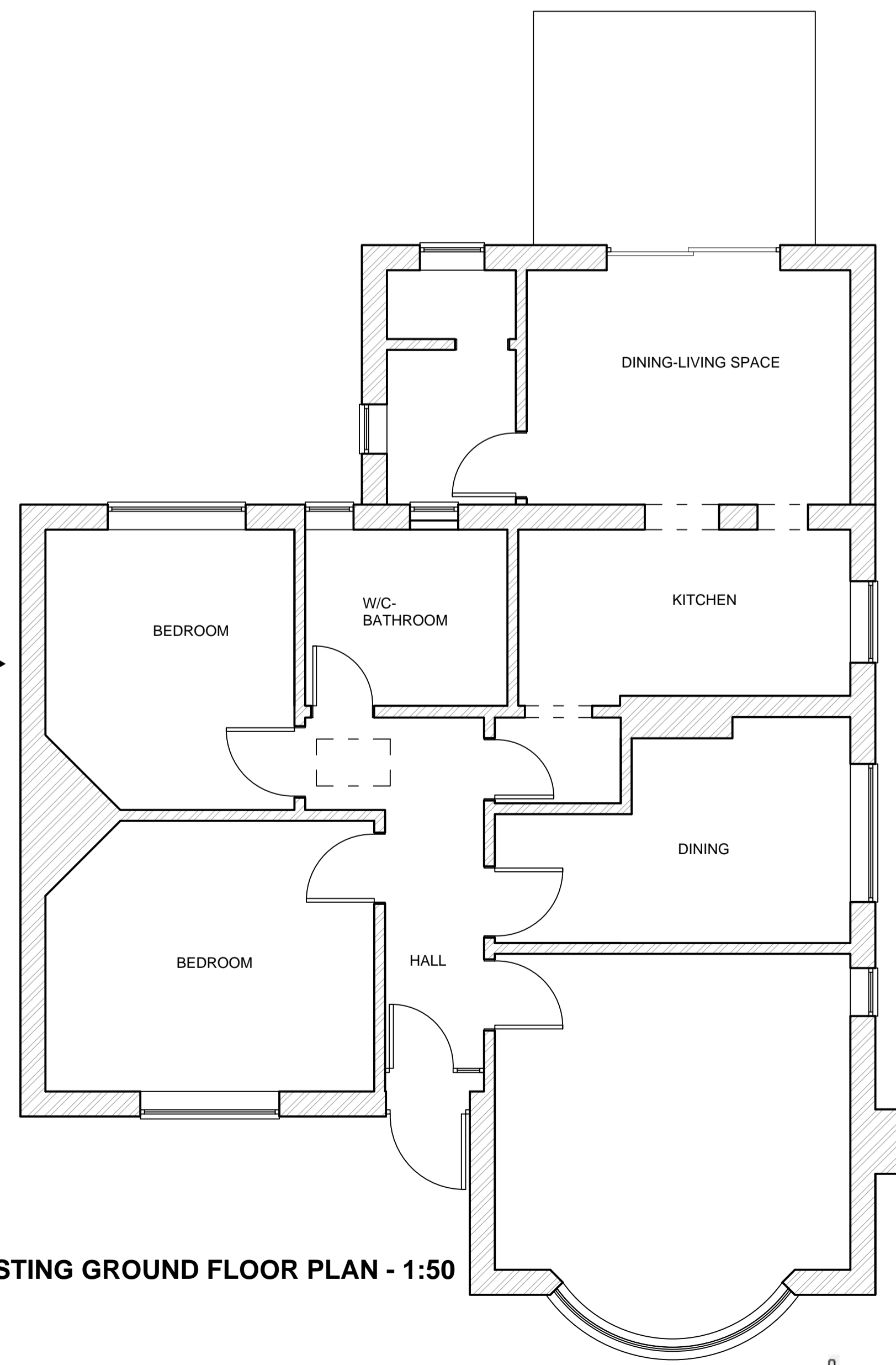
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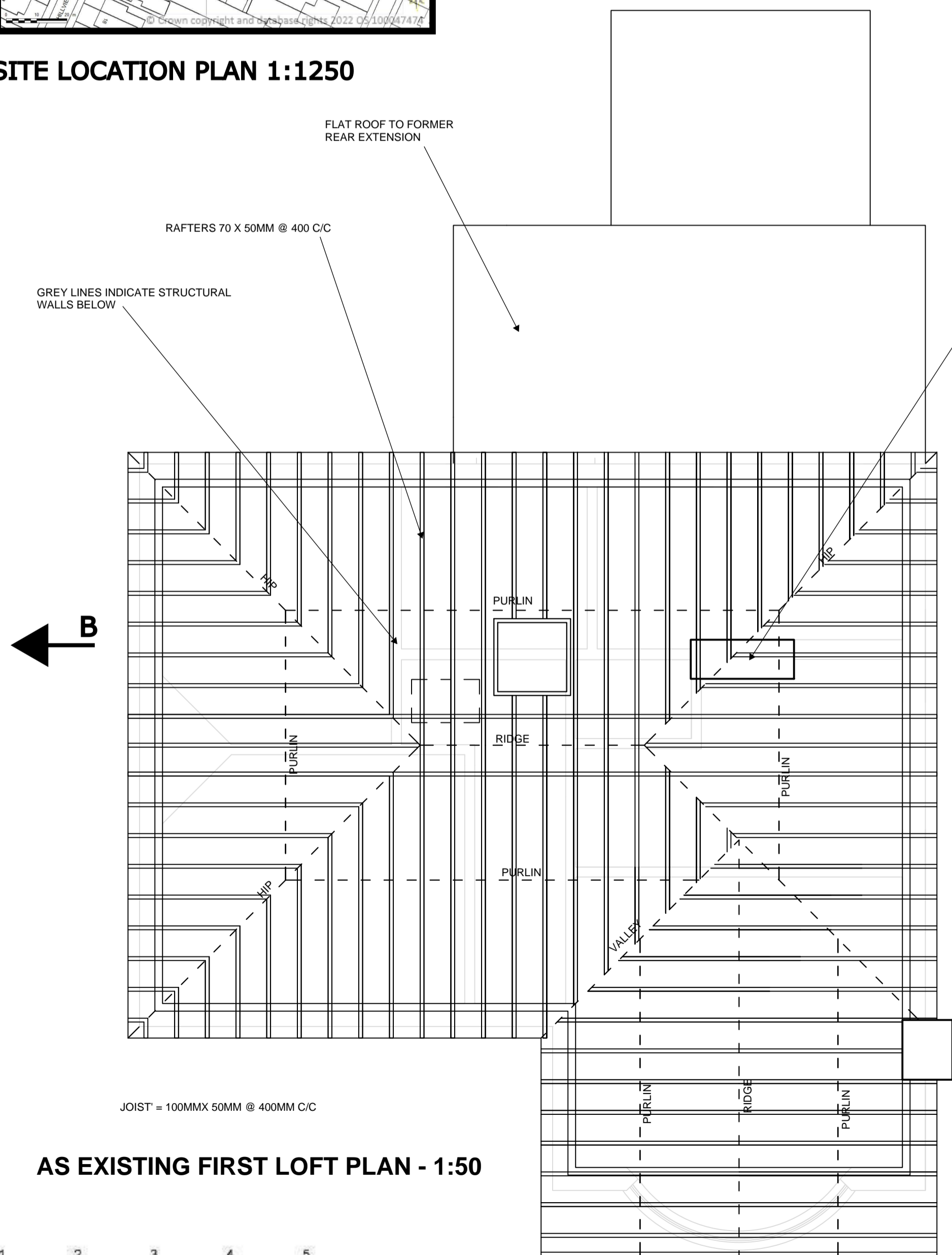
**SITE LOCATION PLAN 1:1250**



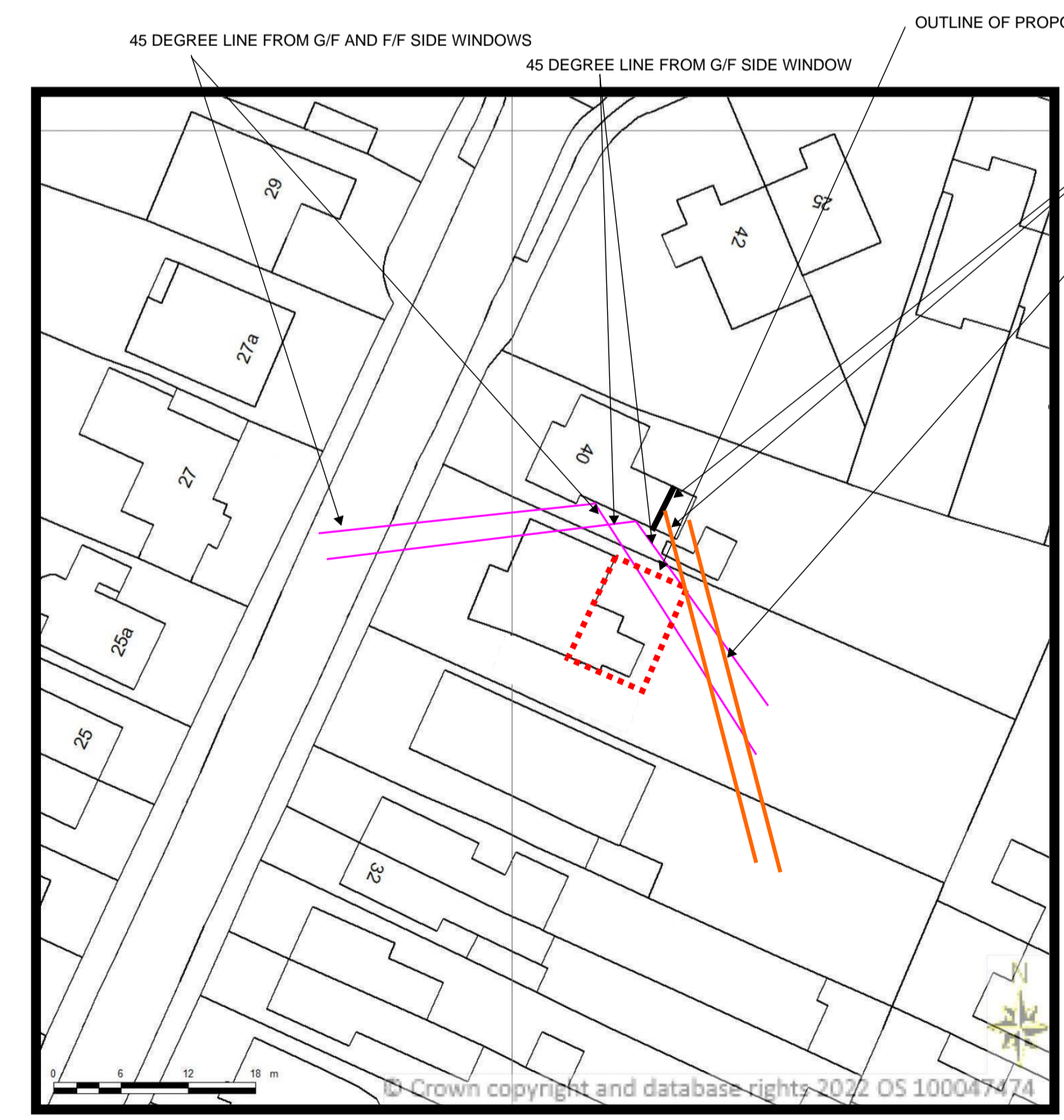
**BLOCK PLAN EXISTING 1:500**



**AS EXISTING GROUND FLOOR PLAN - 1:50**



**AS EXISTING FIRST LOFT PLAN - 1:50**



**BLOCK PLAN PROPOSED 1:500**

OUTLINE OF PROPOSED  
 45 DEGREE LINE FROM G/F AND F/F SIDE WINDOWS  
 45 DEGREE LINE FROM G/F SIDE WINDOW  
 FIRST FLOOR REAR WALL TO No 40, LINE INDICATES 45 DEGREE LINE FROM CENTRE OF WINDOW  
 LINE INDICATES 45 DEGREE LINE FROM CENTRE OF GROUND FLOOR CONSERVATORY

REV B: 45 DEGREE LINES FROM SIDE WINDOWS ADDED, AUGUST 2022  
 REV A: 45 DEGREE LINES FROM No 40 INDICATED RELATIVE TO PROPOSAL ON BLOCK PLAN, AUGUST 2022



**CLIENT/PROJECT:**  
 MR J R BUTT AND MS M WITHAM

**PROPOSED WORKS TO EXTEND AND CREATE FIRST FLOOR LIVING SPACE. 38 HILL VIEW ROAD, HUCCLECOTE, GLOS GL3 3LG**

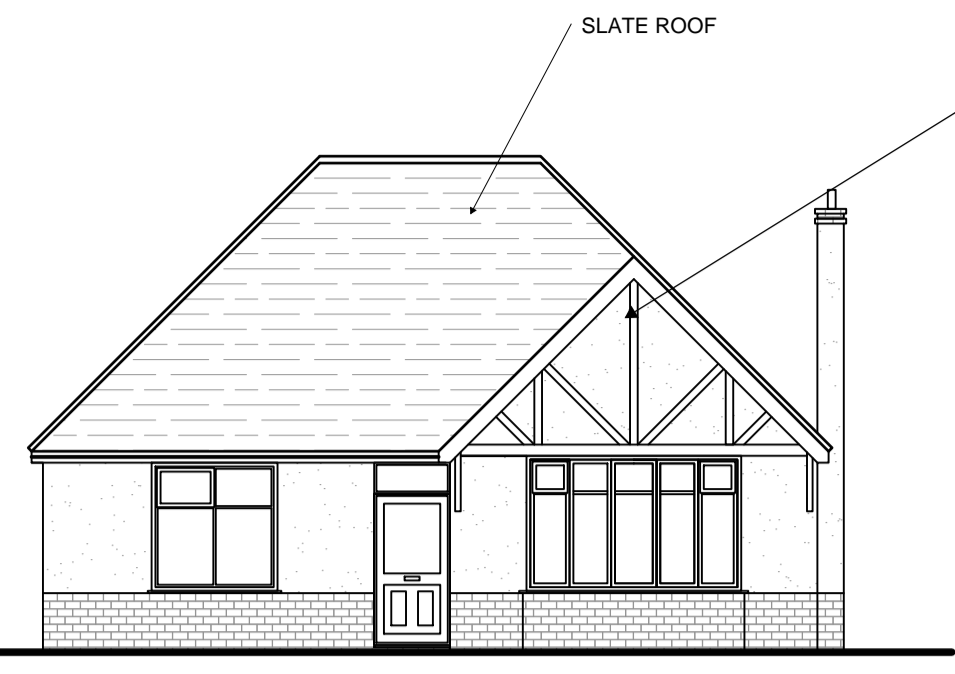
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**DATE:**  
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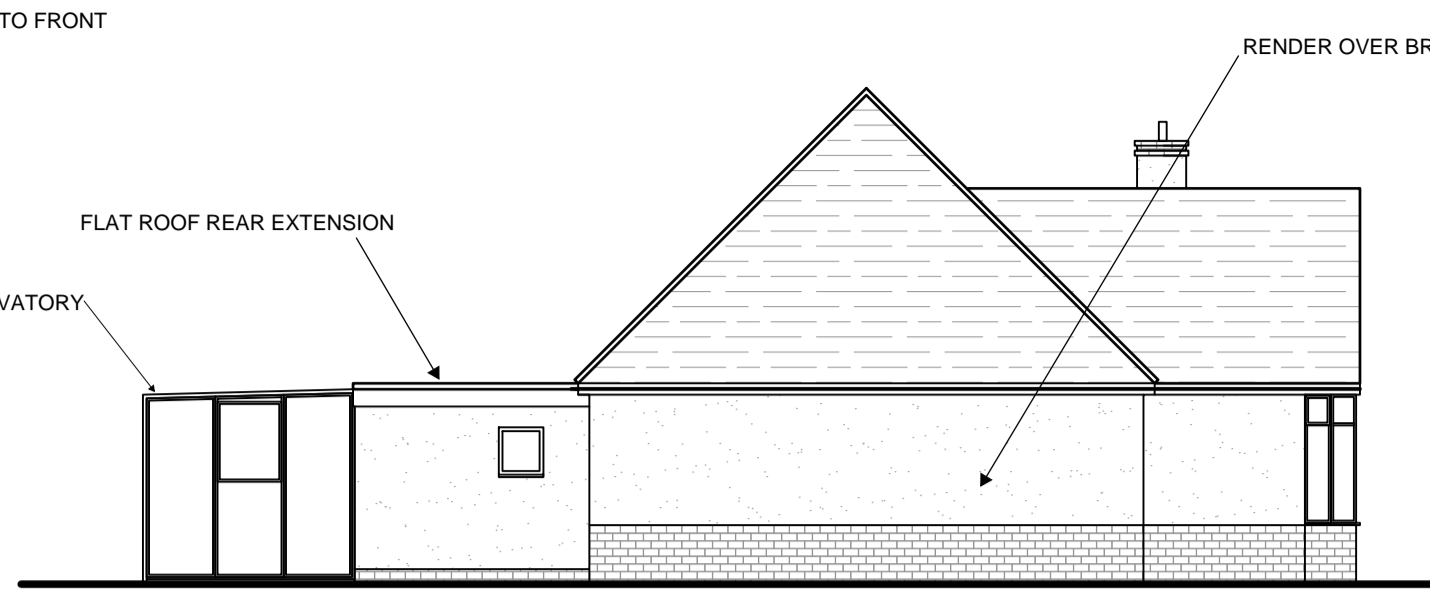
JB-MW-38HVR-H-G-001B

THIS BAR SHOULD SCALE 5M @ 1:50



**FRONT ELEVATION - 1:100**

THIS BAR SHOULD SCALE 5M @ 1:100



**ELEVATION ON B - 1:100**

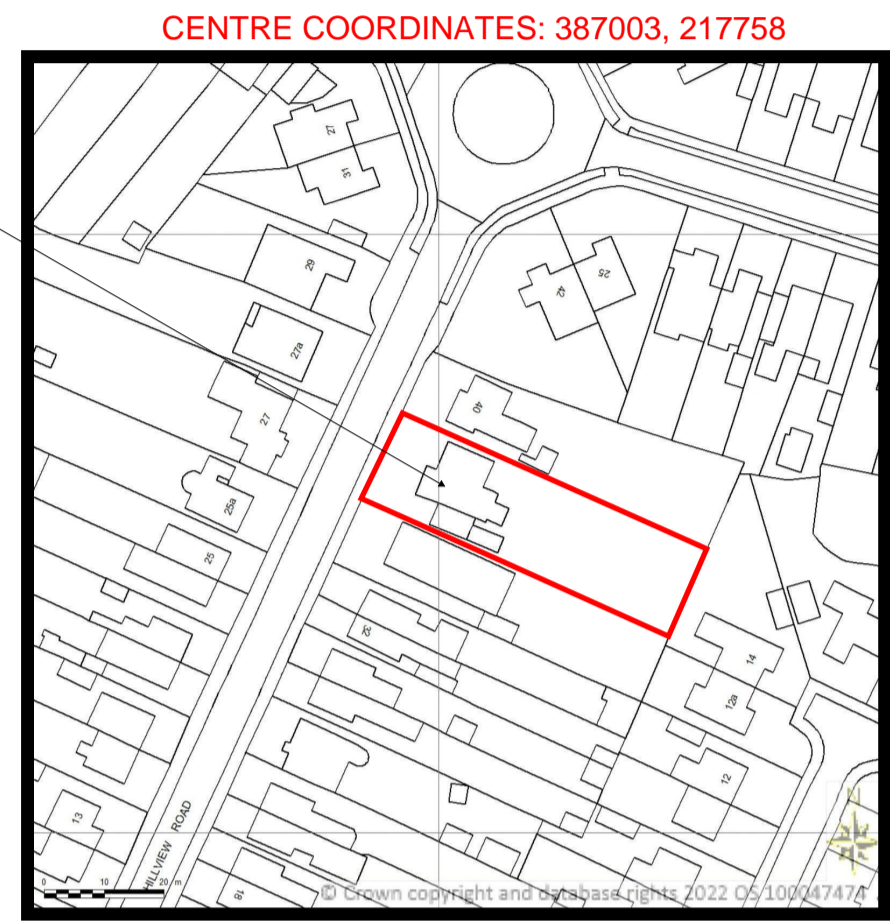


**REAR ELEVATION - 1:100**



**ELEVATION ON A - 1:100**

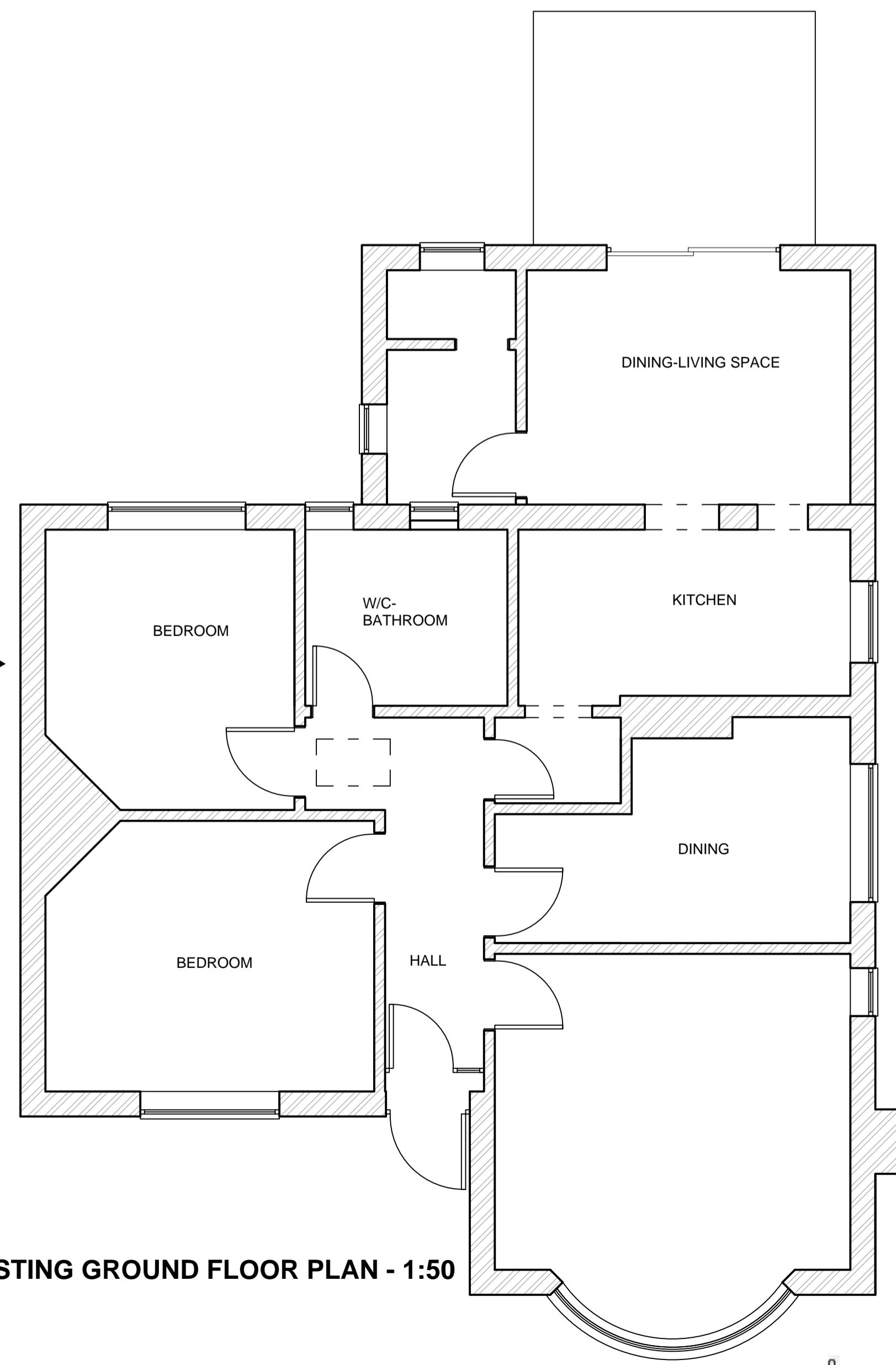
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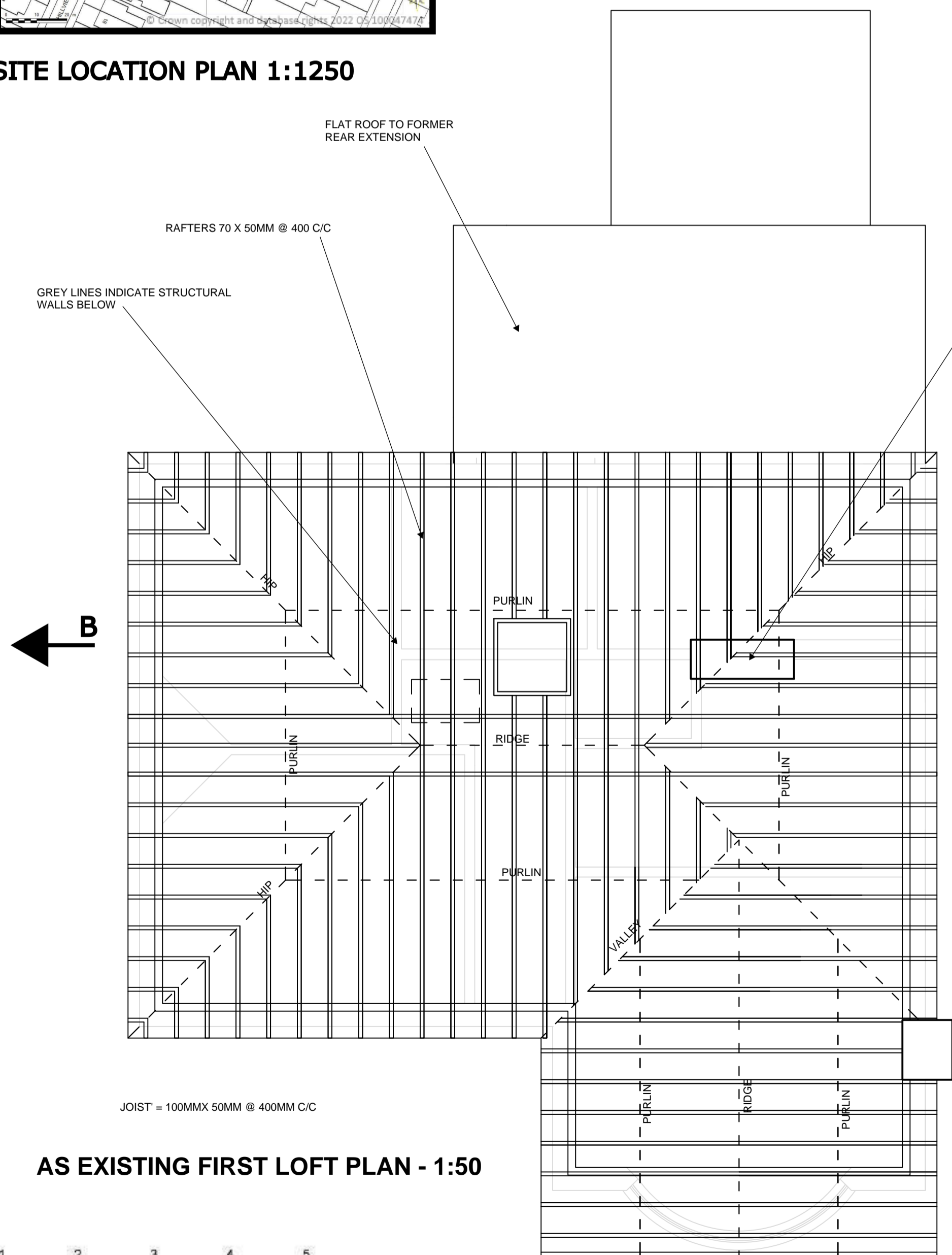
**SITE LOCATION PLAN 1:1250**



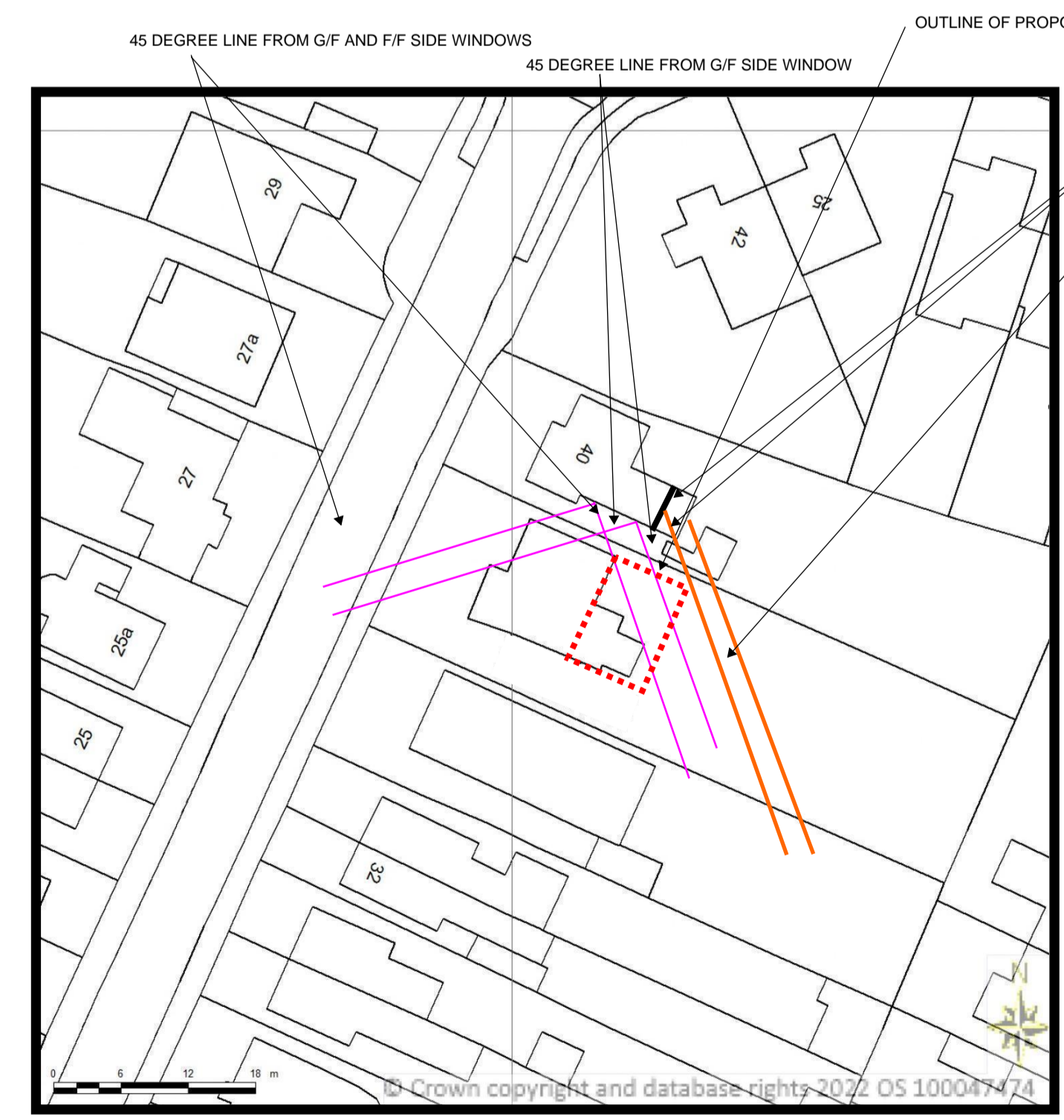
**BLOCK PLAN EXISTING 1:500**



**AS EXISTING GROUND FLOOR PLAN - 1:50**



**AS EXISTING FIRST LOFT PLAN - 1:50**



**BLOCK PLAN PROPOSED 1:500**

OUTLINE OF PROPOSED  
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 45 DEGREE LINE FROM G/F SIDE WINDOW  
 FIRST FLOOR REAR WALL TO No 40, LINE INDICATES 45 DEGREE LINE FROM CENTRE OF WINDOW  
 LINE INDICATES 45 DEGREE LINE FROM CENTRE OF GROUND FLOOR CONSERVATORY

REV C: 45 DEGREE LINES CORRECTED, AUGUST 2022  
 REV B: 45 DEGREE LINES FROM SIDE WINDOWS ADDED, AUGUST 2022  
 REV A: 45 DEGREE LINES FROM No 40 INDICATED RELATIVE TO PROPOSAL ON BLOCK PLAN, AUGUST 2022



**CLIENT/PROJECT:**  
 MR J R BUTT AND MS M WITHAM

**PROPOSED WORKS TO EXTEND AND CREATE FIRST FLOOR LIVING SPACE. 38 HILL VIEW ROAD, HUCCLECOTE, GLOS GL3 3LG**

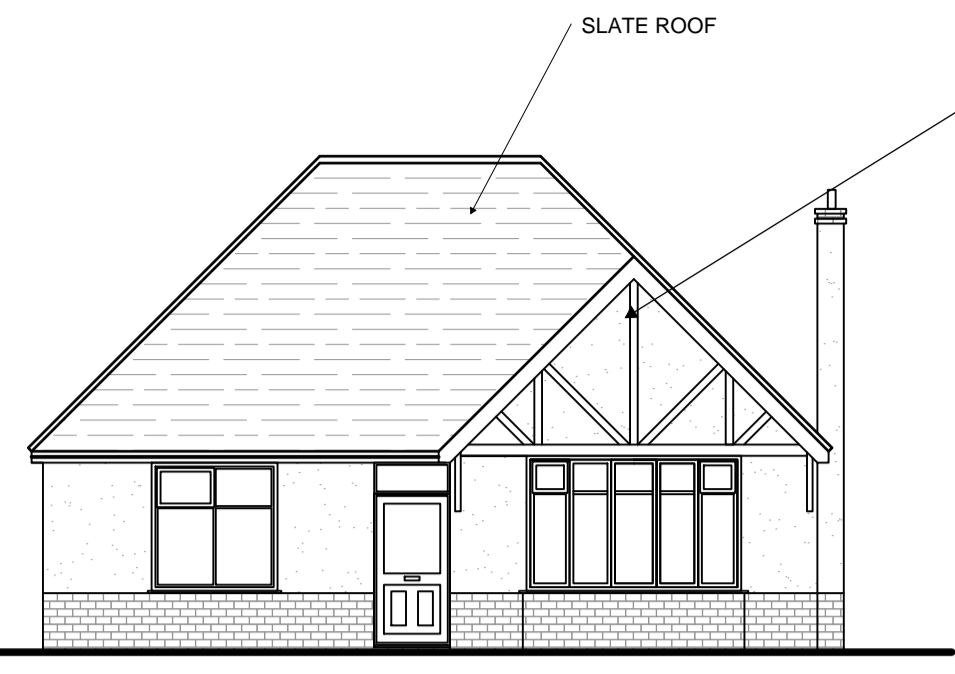
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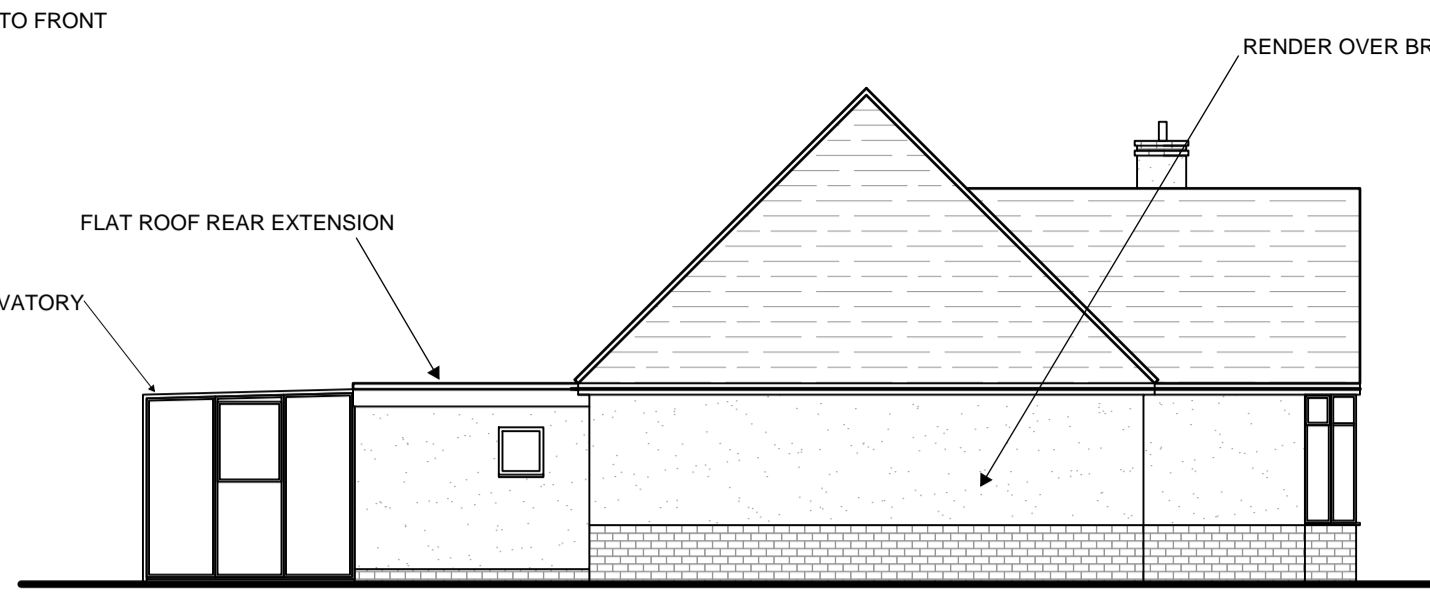
JB-MW-38HVR-H-G-001C

THIS BAR SHOULD SCALE 5M @ 1:50



**FRONT ELEVATION - 1:100**

THIS BAR SHOULD SCALE 5M @ 1:100



**ELEVATION ON B - 1:100**

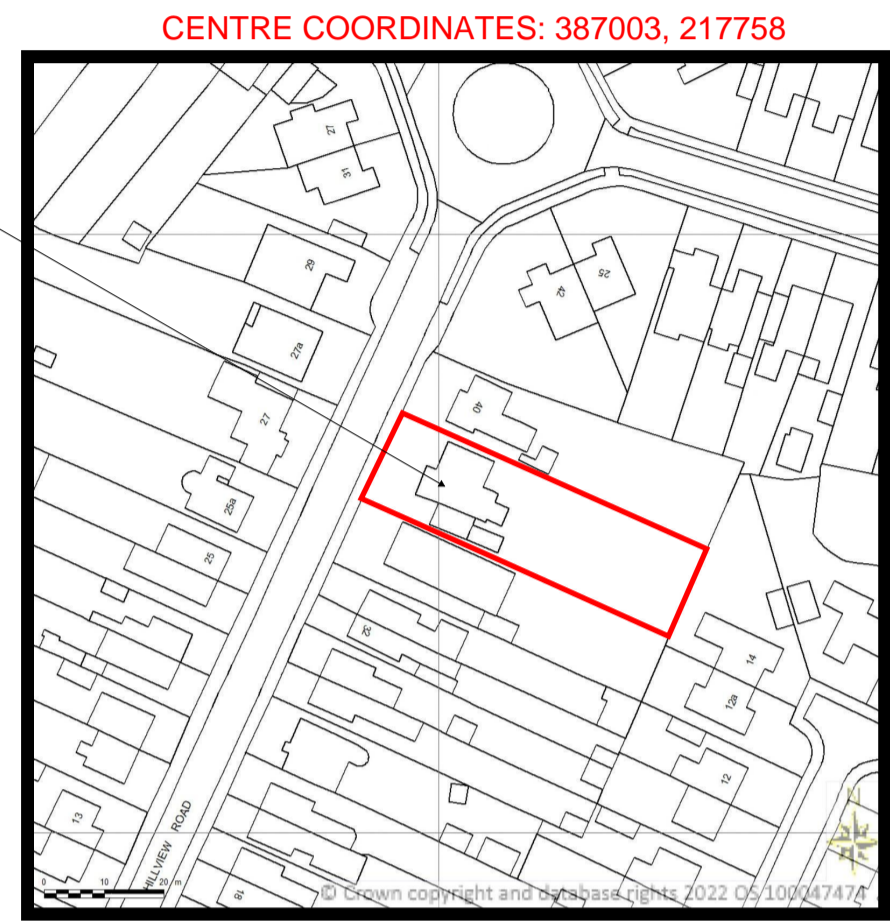


**REAR ELEVATION - 1:100**



**ELEVATION ON A - 1:100**

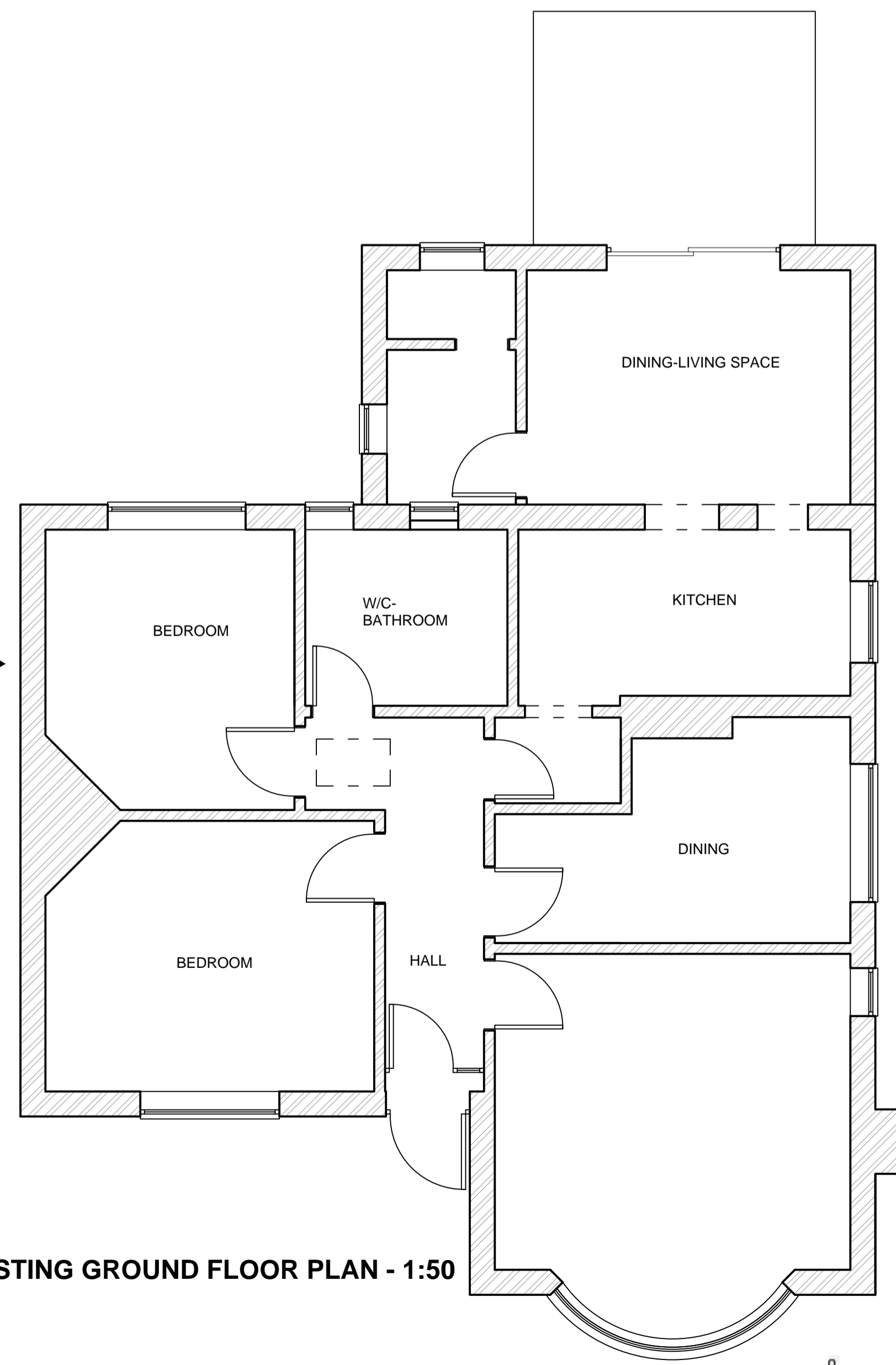
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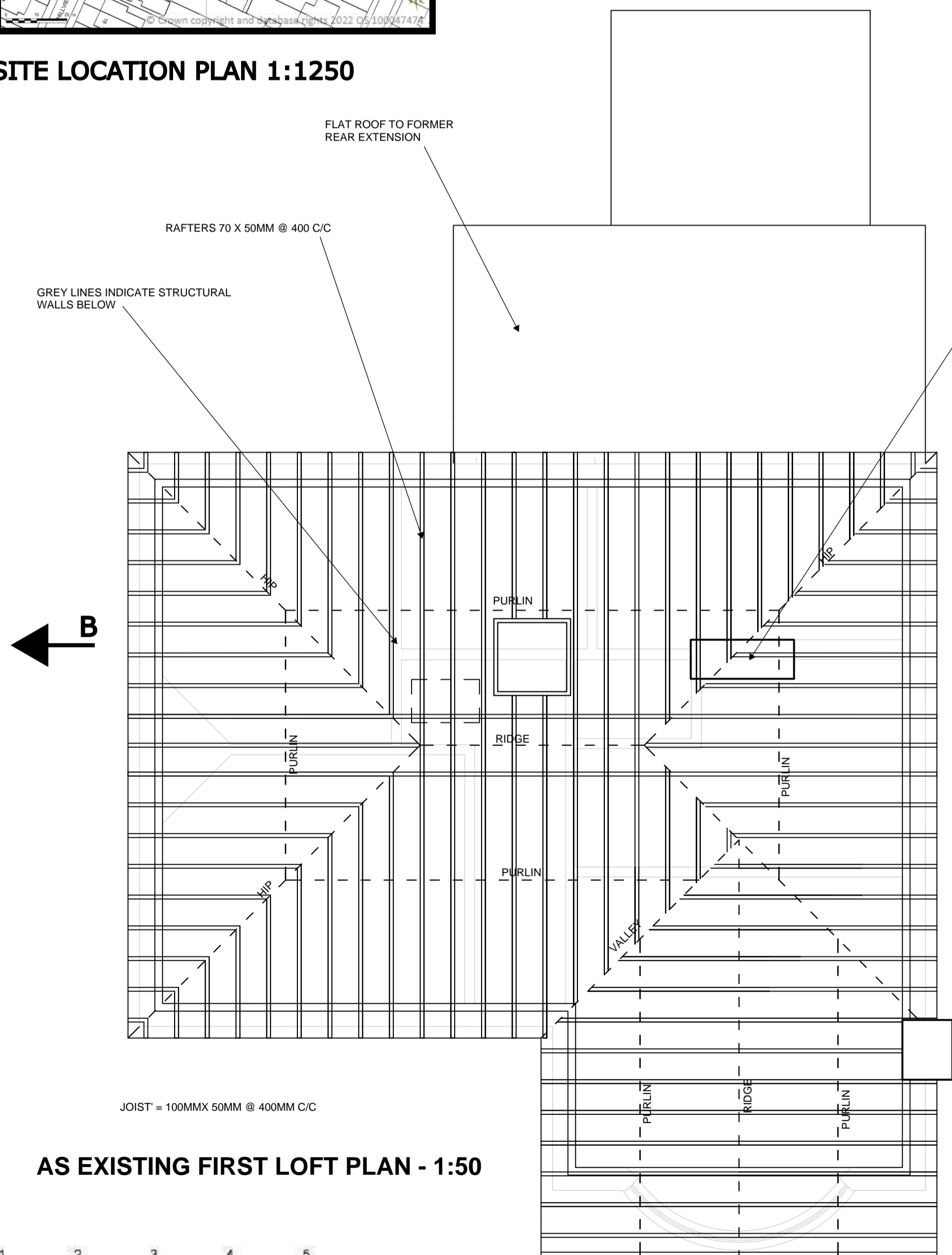
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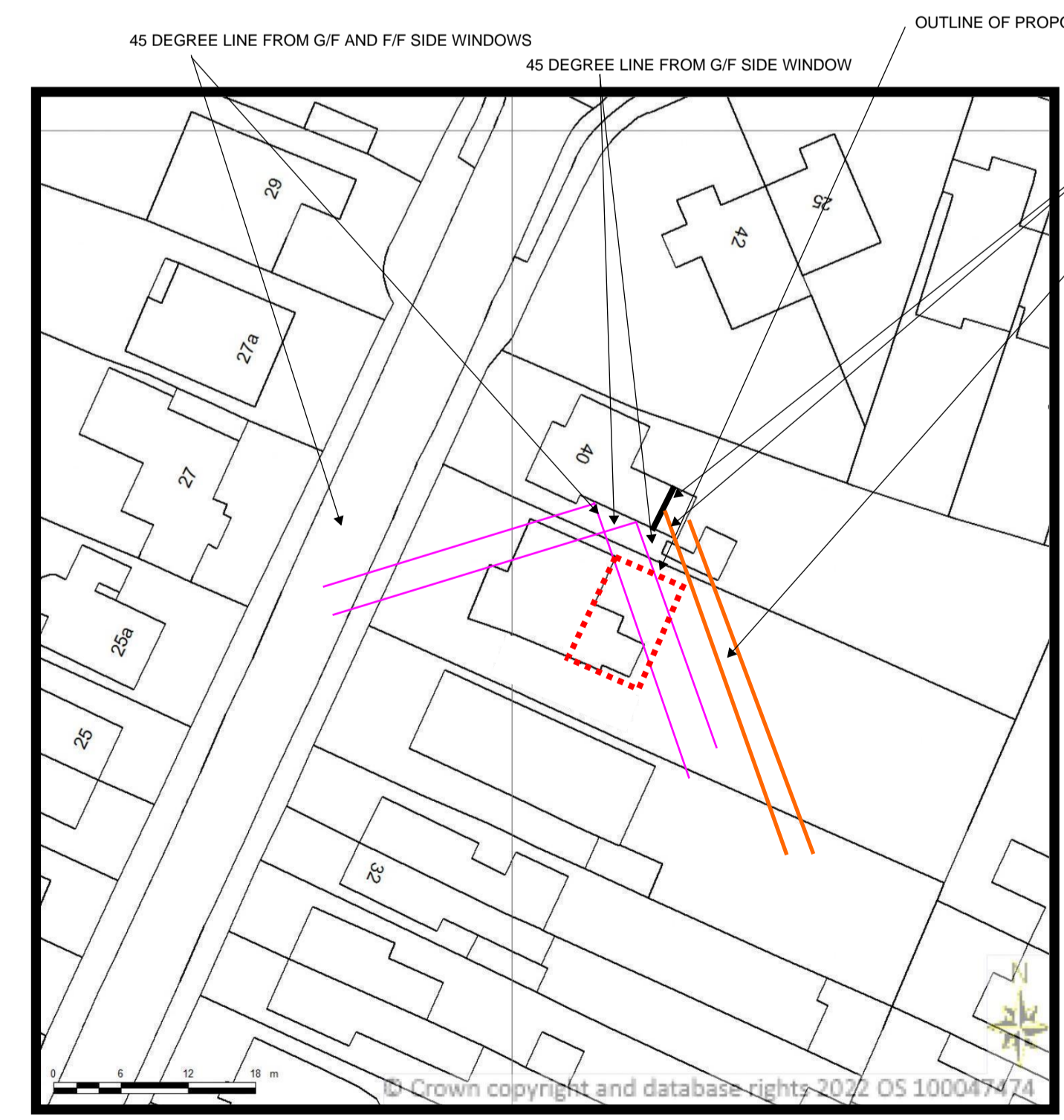
**BLOCK PLAN EXISTING 1:500**



**AS EXISTING GROUND FLOOR PLAN - 1:50**



**AS EXISTING FIRST LOFT PLAN - 1:50**



**BLOCK PLAN PROPOSED 1:500**

- REV D: DLOCK PLAN PROPOSED REDUCED BY 500M TO REAR, SEPT, 2022
- REV C: 45 DEGREE LINES CORRECTED, AUGUST 2022
- REV B: 45 DEGREE LINES FROM SIDE WINDOWS ADDED, AUGUST 2022
- REV A: 45 DEGREE LINES FROM No 40 INDICATED RELATIVE TO PROPOSAL ON BLOCK PLAN, AUGUST 2022



**CLIENT/PROJECT:**  
MR J R BUTT AND MS M WITHAM

**PROPOSED WORKS TO EXTEND AND CREATE FIRST FLOOR LIVING SPACE. 38 HILL VIEW ROAD, HUCCLECOTE, GLOS GL3 3LG**

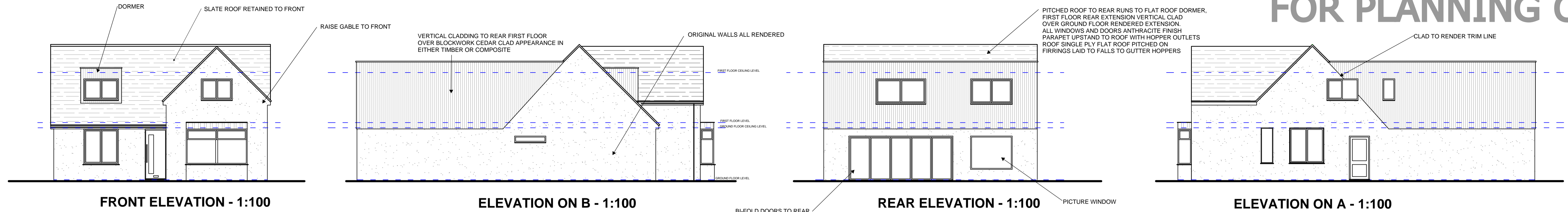
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JB-MW-38HVR-H-G-001D

THIS BAR SHOULD SCALE 5M @ 1:50



THIS BAR SHOULD SCALE 5M @ 1:100

**TRENCH FOUNDATION**  
Provide 750mm x 600mm trench fill foundations, concrete mix to conform to BS EN 206-1 and BS 8500-2. All foundations to be a minimum of 1000mm below ground level, exact depth to be agreed on site with Building Control Officer to suit site conditions. All constructed in accordance with 2004 Building Regulations A1/2 and BS 8004:1986 Code of Practice for Foundations. Ensure foundations are constructed below invert level of any adjacent drains. Base of foundations supporting internal walls to be min 600mm below ground level. Sulphate resistant cement to be used if required. Please note that should any adverse soil conditions or difference in soil type be found or any major tree roots in excavations, the Building Control Officer is to be contacted and the advice of a structural engineer should be sought.

**WALLS BELOW GROUND**  
All new walls to have Class A blockwork below ground level or alternatively semi engineering brickwork in 1:4 masonry cement or equal approved specification. Cavities below ground level to be filled with lean mix concrete min 225mm below damp proof course. Or provide lean mix backfill at base of cavity wall (150mm below damp course) laid to fall to weepholes.

**PIPEWORK THROUGH WALLS**  
Where new pipework passes through external walls form rocker joints either side wall face of max length 600mm with flexible joints with short length of pipe bedded in wall. Alternatively provide 75mm deep pre-cast concrete plank lintels over drain to form opening in wall to give 50mm space all round pipe; mask opening both sides with rigid sheet material and compressible sealant to prevent entry of fill or vermin.

**UNDERGROUND FOUL DRAINAGE**  
Underground drainage to consist of 100mm diameter UPVC proprietary pipe work to give a 1:40 fall. Surround pipes in 100mm pea shingle. Provide 600mm suitable cover (900mm under drives). Shallow pipes to be covered with 100mm reinforced concrete slab over compressible material. Provide rodding access at all changes of direction and junctions. All below ground drainage to comply with BS EN 1401-1: 2009.

**INSPECTION CHAMBERS**  
Underground quality proprietary UPVC 450mm diameter inspection chambers to be provided at all changes of level, direction, connections and every 45m in straight runs. Inspection chambers to have bolt down double sealed covers in buildings and be adequate for vehicle loads in driveways.

**SOLID FLOOR INSULATION OVER SLAB**  
To meet min U value required of 0.22 W/m<sup>2</sup>K. Solid ground floor to consist of 150mm consolidated well-rammed hardcore. Blinded with 50mm sand blinding. Provide 100mm ST2 or Gen2 ground bearing slab concrete mix to conform to BS 8500-2 over a 1200 gauge polythene DPM. DPM to be lapped in with DPC in walls. Floor to be insulated over slab and DPM with min 75mm thick Celotex GA400. 25mm insulation to continue around floor perimeters to avoid thermal bridging. A VCL should be laid over the insulation boards and turned up 100mm at room perimeters behind the skirting, all joints to be lapped 150mm and sealed. Finish with 65mm sand/cement finishing screed with light mesh reinforcement. Where drain runs pass under new floor, provide A142 mesh 1.0m wide and min 50mm concrete cover over length of drain. Where existing suspended timber floor air bricks are covered by new extension, ensure cross-ventilation is maintained by connecting to 100mm dia UPVC pipes with 100mm concrete cover laid under the extension. Pipes to terminate at new 65mm x 215mm air bricks with cavity tray over.

**FULL FILL CAVITY WALL**  
To achieve minimum U value of 0.28W/m<sup>2</sup>K. 20mm two coat sand/cement render to comply to BS EN 13114 with waterproof additive on 100mm block, K value 1.13. (Armstrong dense, Masterblock Monacrete 100s) with fully filled cavity of 100mm Ditherm32 cavity insulation. Inner leaf to be 100mm block, K value 1.13, e.g. Lafarge Sanscraie. Internal finish to be 12.5mm plasterboard on dabs. Walls to be built with 1:1.6 cement mortar. First floor walls not rendered finished with cladding to manufacturers guidelines and treated accordingly.

**INTERMEDIATE FLOORS**  
Intermediate floor to be 25mm t&g flooring grade chipboard or floorboards laid on C24 joists at 400mm ctrs (see engineer's calculation for sizes and details). Lay 100mm Rockwool mineral fibre quilt insulation min 10kg/m<sup>2</sup> or equivalent between floor joists. Ceiling to be 12.5 FireLine plasterboard with skim plaster set and finish. Joist spans over 2.5m to be strutted at mid span using 38 x 38mm herringbone strutting or 38mm solid strutting (at least 2/3 of joist depth). In areas such as kitchens, utility rooms and bathrooms, flooring to be moisture resistant grade in accordance with BS EN 312:2010. Identification marking must be laid upper most to allow easy identification. Provide lateral restraint where joists run parallel to walls, floors are to be strapped to walls with 1000mm x 30mm x 5mm galvanised mild steel straps or other approved in compliance with BS EN 845-1 at max 2.0m centres, straps to be taken across minimum 3 no. joists. Straps to be built into walls. Provide 30mm wide x 4 depth solid noggin between joists at strap positions.

**INTERNAL STUD PARTITIONS**  
100mm x 50mm softwood treated timbers studs at 400mm ctrs with 50 x 100mm head and sole plates and solid intermediate horizontal noggin at 1.2 height or 450mm. Provide min 10kg/m<sup>2</sup> density acoustic soundproof quilt tightly packed (eg. 100mm Rockwool or Iso wool mineral fibre sound insulation) in all voids the full depth of the stud. Partitions built off doubled up joists where partitions run parallel or provide noggin where at right angles, or built off DPC on thickened concrete slab if solid ground floor. Walls faced throughout with 12.5mm plaster board with skim plaster finish. Taped and jointed complete with beads and stops.

**LINTELS**  
For uniformly distributed loads and standard 2 storey domestic loadings only. Lintel widths are to be equal to wall thickness. All lintels over 750mm sized internal door openings to be 65mm deep pre-stressed concrete plank lintels. 150mm deep lintels are to be used for 800mm sized internal door openings. Lintels to have a minimum bearing of 150mm on each end. Any existing lintels carrying additional loads are to be exposed for inspection at commencement of work on site. All pre-stressed concrete lintels to be designed and manufactured in accordance with BS 8110, with a concrete strength of 50 or 40 N/mm<sup>2</sup> and incorporating steel strands to BS 5896 to support loadings assessed to BS 5977 Part 1. For other structural openings provide proprietary insulated steel lintels suitable for spans and loadings in compliance with Approved Document A and lintel manufactures standard tables. Stop ends, DPC trays and weep holes to be provided above all externally located lintels.

**STAIRS**  
Dimensions to be checked and measured on site prior to fabrication of stairs. Timber stairs to comply with BS555 and with Part K of the Building Regulations. Max rise 220mm, min going 220mm. Two risers plus one going should be between 550 and 700mm. Tapered treads to have going in centre of tread at least the same as the going on the straight. Min 50mm going of tapered treads measured at narrow end. Pitch not to exceed 42 degrees. The width and length of every landing should be at least as great as the smallest width of the flight. Doors which swing across a landing at the bottom of a flight should leave a clear space of at least 400mm across the full width of the flight. Min 2.0m headroom measured vertically above pitch line of stairs and landings. Handrail on staircase to be 900mm above the pitchline, handrail to be at least one side if stairs are less than 1m wide and on both sides if they are wider. Ensure a clear width between handrails of minimum 600mm. Balustrading designed to be unclimbable and should contain no space through which a 100mm sphere could pass.

**VENTILATED FLAT ROOF**  
(imposed load max 1.0 kN/m<sup>2</sup> - dead load max 0.75 kN/m<sup>2</sup>)  
To achieve U value of 0.18 W/m<sup>2</sup>K. Flat roof to be single ply membrane roofing with aa fire rating as specialist specification, with a current BBA or WIMLAS Certificate on 22mm exterior grade plywood, laid on firings to give a 1:40 fall on 47 x 195mm grade C24 joists at 400 ctrs max span 4.5m (see engineer's details for sizes). Cross-ventilation to be provided on opposing sides by a proprietary vapour ventilation strip equivalent to 25mm continuous ventilation, with fly proof screen. Flat roof insulation is to be continuous with the wall insulation but stopped back to allow a continuous 50mm air gap above the insulation for ventilation. Insulation to be 125mm Kingspan Therma roof between joists and 25mm Kingspan under joists. Ceilings to be 12.5mm plasterboard over vapour barrier with skim plaster finish. Provide cavity tray where pitched roof meets existing wall. Provide restraint to flat roof by fixing using 30 x 5 x 100mm ms galvanised lateral restraint straps at maximum 2000mm centres fixed to 100 x 50mm wall plates and anchored to wall. Workmanship to comply to BS 8000:4. THIS IS A GENERAL GUIDE BASED ON NORMAL LOADING CONDITIONS FOUND IN DOMESTIC CONSTRUCTION. IT IS YOUR RESPONSIBILITY TO ASSESS YOUR DESIGN TO ASCERTAIN WHETHER ENGINEER'S DETAILS/CALCULATIONS ARE REQUIRED. PLEASE REFER TO THE TRADA DOCUMENT - SPAN TABLES FOR SOLID TIMBER MEMBERS IN FLOORS, CEILINGS AND ROOFS FOR DWELLINGS OR ASK YOUR BUILDING CONTROL OFFICER FOR ADVICE.

**RAINWATER DRAINAGE**  
New rainwater goods to be new 110mm UPVC half round gutters taken and connected into 68mm dia UPVC downpipes. Rainwater taken to existing mains drains where possible, if no suitable drains then to a new soakaway, situated a min distance of 5.0m away from any building, via 110mm dia UPVC pipes surrounded in 150mm granular fill. Soakaway to be min of 1 cubic metre capacity (or to depth to Local Authorities approval) with suitable granular fill and with geotextile surround to prevent migration of fines. If necessary carry out a porosity test to determine design and depth of soakaway.

**CEILING FILLET**  
Provide ceiling fillet to all internal corners.

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**ABOVE GROUND DRAINAGE**  
All new above ground drainage and plumbing to comply with BS EN 12056-2:2000 for sanitary pipework. All drainage to be in accordance with Part H of the Building Regulations. Wastes to have 75mm deep anti vac bottle traps and rodding eyes to be provided at changes of direction. Size of wastes pipes and max length of branch connections (if max length is exceeded then anti vacuum traps to be used) Wash basin - 1.7m for 32mm pipe 4m for 40mm pipe Bath/shower - 3m for 40mm pipe 4m for 50mm pipe W/c - 6m for 100mm pipe for single WC All branch pipes to connect to 110mm soil and vent pipe terminating min 900mm above any openings within 3m. Or to 110mm upvc soil pipe with accessible internal air admittance valve complying with BS EN 12380, placed at a height so that the outlet is above the trap of the highest fitting. Waste pipes not to connect on to SWP within 200mm of the WC connection. Supply hot and cold water to all fittings as appropriate.

**BACKGROUND AND PURGE VENTILATION**  
Background ventilation - Controllable background ventilation via trickle vents to BS EN 13141-3 within the window frame to be provided to new habitable rooms at a rate of min 5000mm<sup>2</sup>; and to kitchens, bathrooms, WCs and utility rooms at a rate of 25000mm<sup>2</sup>. Purge ventilation - New Windows/rooftlights to have operable area in excess of 1/20th of their floor area, if the window opens more than 30° or 1/10th of their floor area if the window opens less than 30°. Internal doors should be provided with a 10mm gap below the door to aid air circulation. Ventilation provision in accordance with the Domestic Ventilation Compliance Guide.

**EXTRACT TO BATHROOM**  
Bathroom to have mechanical vent ducted to external air to provide min 15 litres / sec extraction. Vent to be connected to light switch and to have 15 minute over run if no window in room. Internal doors should be provided with a 10mm gap below the door to aid air circulation. Ventilation provision in accordance with the Domestic Ventilation Compliance Guide. Intermittent extract fans to BS EN 13141-4. Cooker hoods to BS EN 13141-3. All fixed mechanical ventilation systems, where they can be tested and adjusted, shall be commissioned and a commissioning notice given to the Building Control Body.

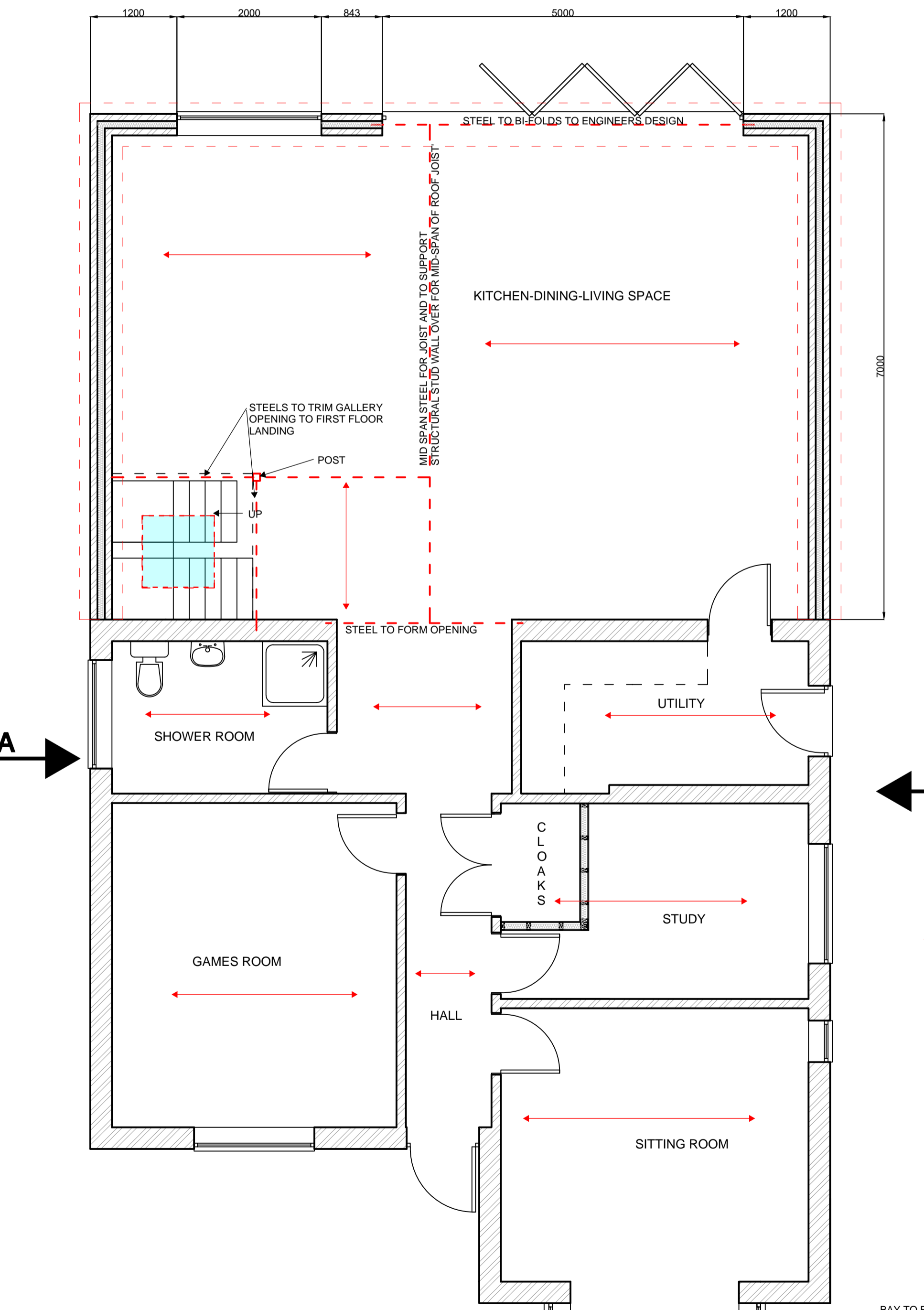
**EXTRACT TO KITCHEN**  
Kitchen to have mechanical ventilation with an extract rating of 60/sec or 30/sec if adjacent to hob to external air, sealed to prevent entry of moisture. Internal doors should be provided with a 10mm gap below the door to aid air circulation. Ventilation provision in accordance with the Domestic Ventilation Compliance Guide. Intermittent extract fans to BS EN 13141-4. Cooker hoods to BS EN 13141-3. All fixed mechanical ventilation systems, where they can be tested and adjusted, shall be commissioned and a commissioning notice given to the Building Control Body.

**HEATING**  
Extend all heating and hot water services from existing and provide new TVRs to radiators. Heating system to be designed, installed, tested and fully certified by a GAS SAFE registered specialist. All work to be in accordance with the Local Water Authorities bye laws, the Gas Safety (Installation and Use) Regulations 1998 and IEE Regulations.

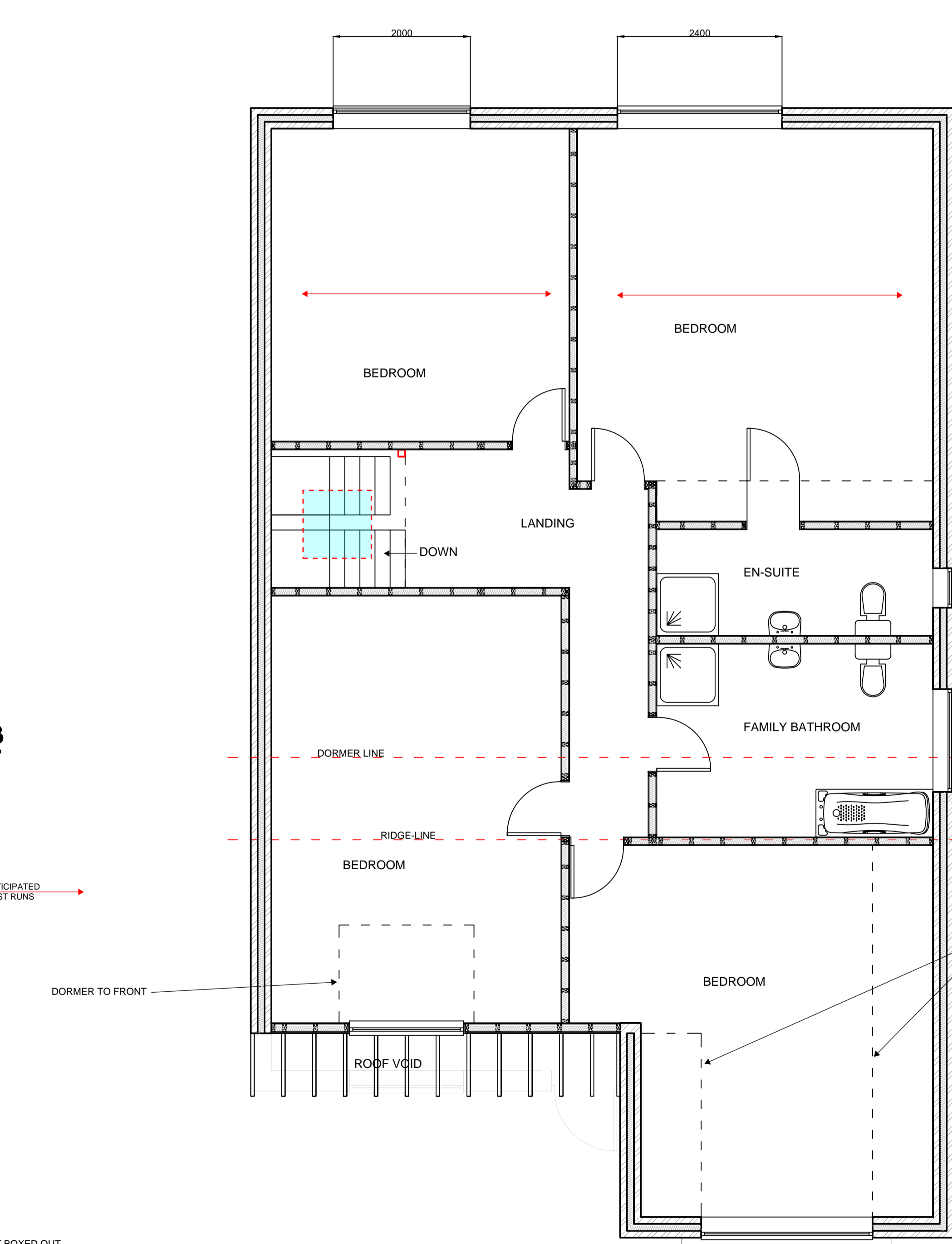
**NEW GAS BOLLER**  
Heating and hot water will be supplied via a wall mounted condensing vertical balanced flue pressurised boiler with a min SEDBUK rating of 90%. No combustible materials within 50mm of the flue. System to be fitted with thermostatic radiator valves and all necessary zone controls and boiler control interlocks. The system will be installed, commissioned and tested by a "competent person" and a certificate issued that the installation complies with the requirements of PART L. All work to be in accordance with the Local Water Authorities bye laws, the Gas Safety (Installation and Use) Regulations 1998 and IEE Regulations.

**ELECTRICAL**  
All electrical work required to meet the requirements of Part P (electrical safety) must be designed, installed, inspected and tested by a competent person registered under a competent person self certification scheme such as BRE certification Ltd, BSI, NICEIC Certification Services or Zurich Ltd. An appropriate BS7671 Electrical Installation Certificate is to be issued for the work by a person competent to do so. A copy of a certificate will be given to Building Control on completion.

**INTERNAL LIGHTING**  
Install low energy light fittings that only take lamps having a luminous efficacy greater than 45 lumens per circuit watt and a total output greater than 400 lumens. Not less than three energy efficient light fittings per four of all the light fittings in the main dwelling spaces to comply with Part L of the current Building Regulations and the Domestic Building Services Compliance Guide.



AS PROPOSED GROUND FLOOR PLAN - 1:50



AS PROPOSED FIRST FLOOR PLAN - 1:50

THIS BAR SHOULD SCALE 5M @ 1:50



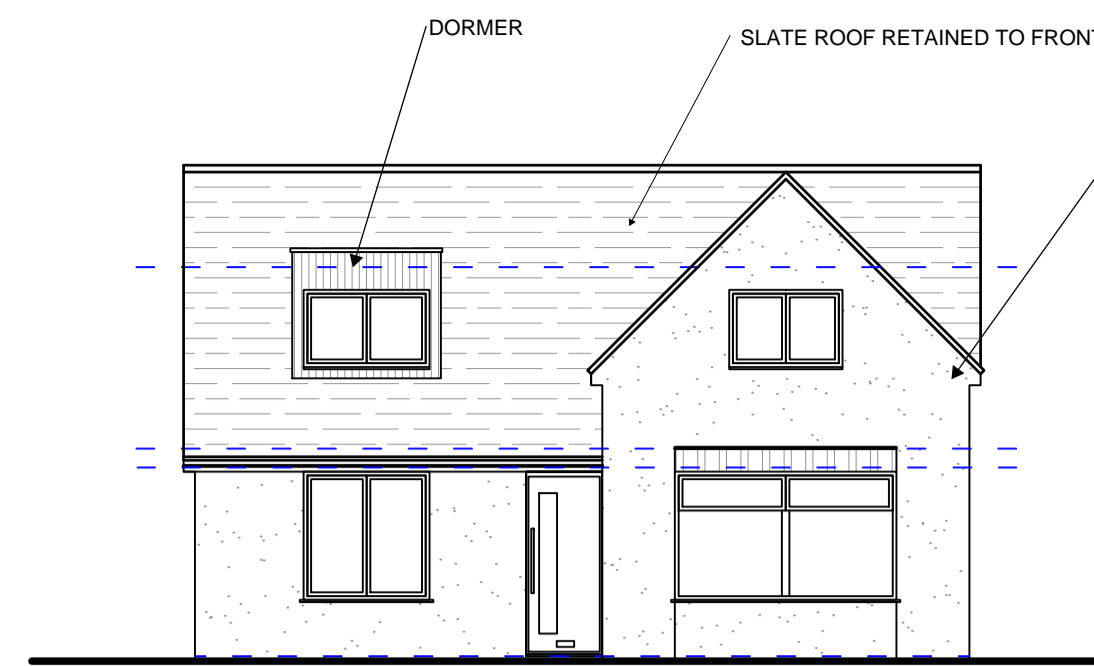
**CLIENT/PROJECT:**  
MR J R BUTT AND MS M WITHAM

**PROPOSED WORKS TO EXTEND AND CREATE FIRST FLOOR LIVING SPACE.**  
38 HILL VIEW ROAD, HUCLEECOTE, GLOS GL3 3LG

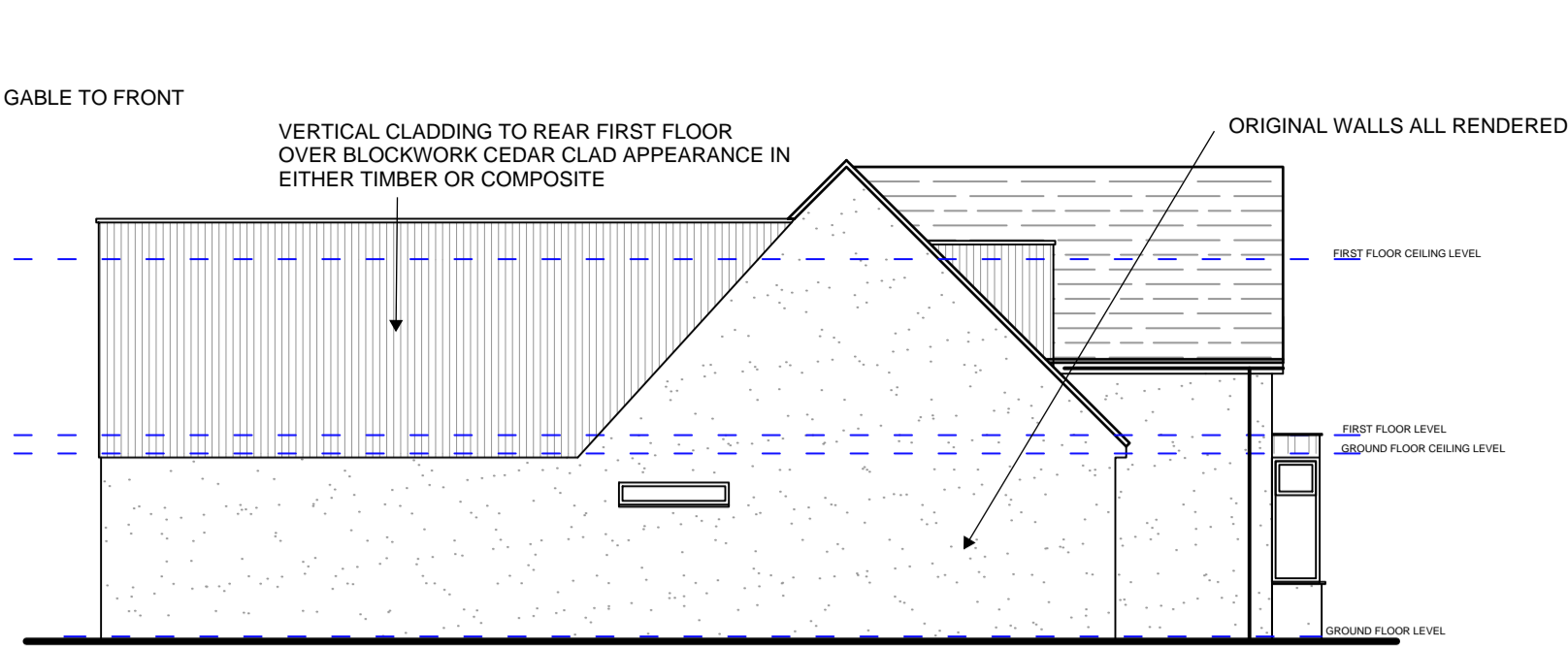
**TITLE:**  
AS PROPOSED PLANS AND ELEVATIONS

**SCALE:**  
1:100 AND 1:50 @ A1

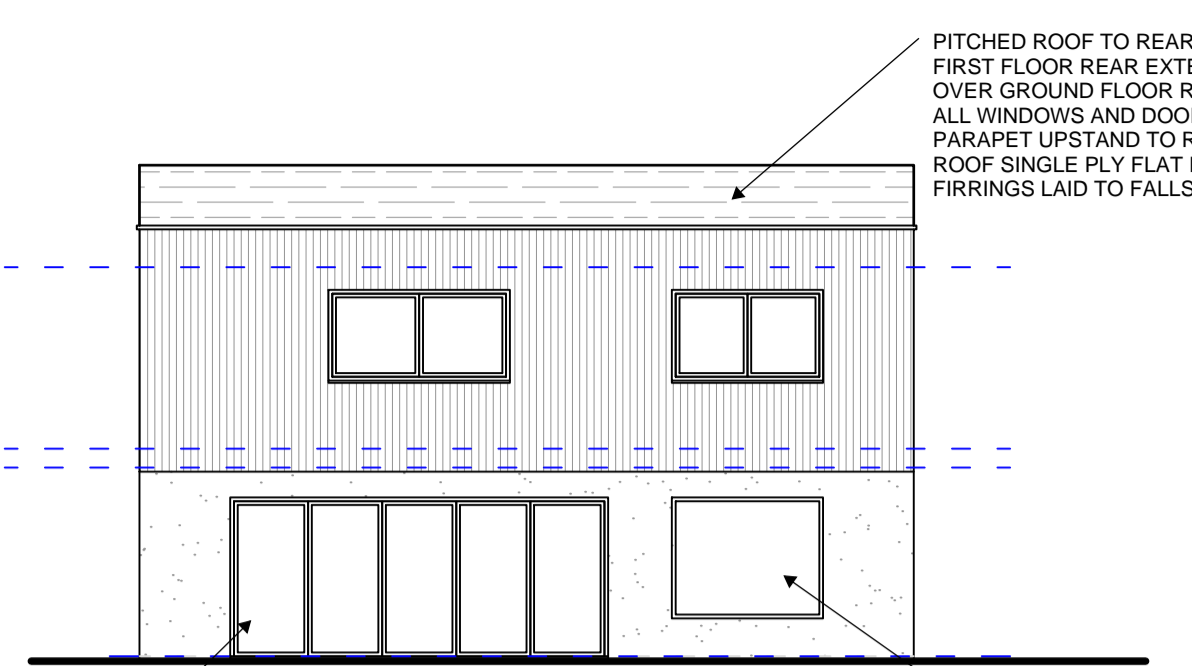
**DATE:**  
APRIL 2022 JB-MW-38HVR-H-G-002



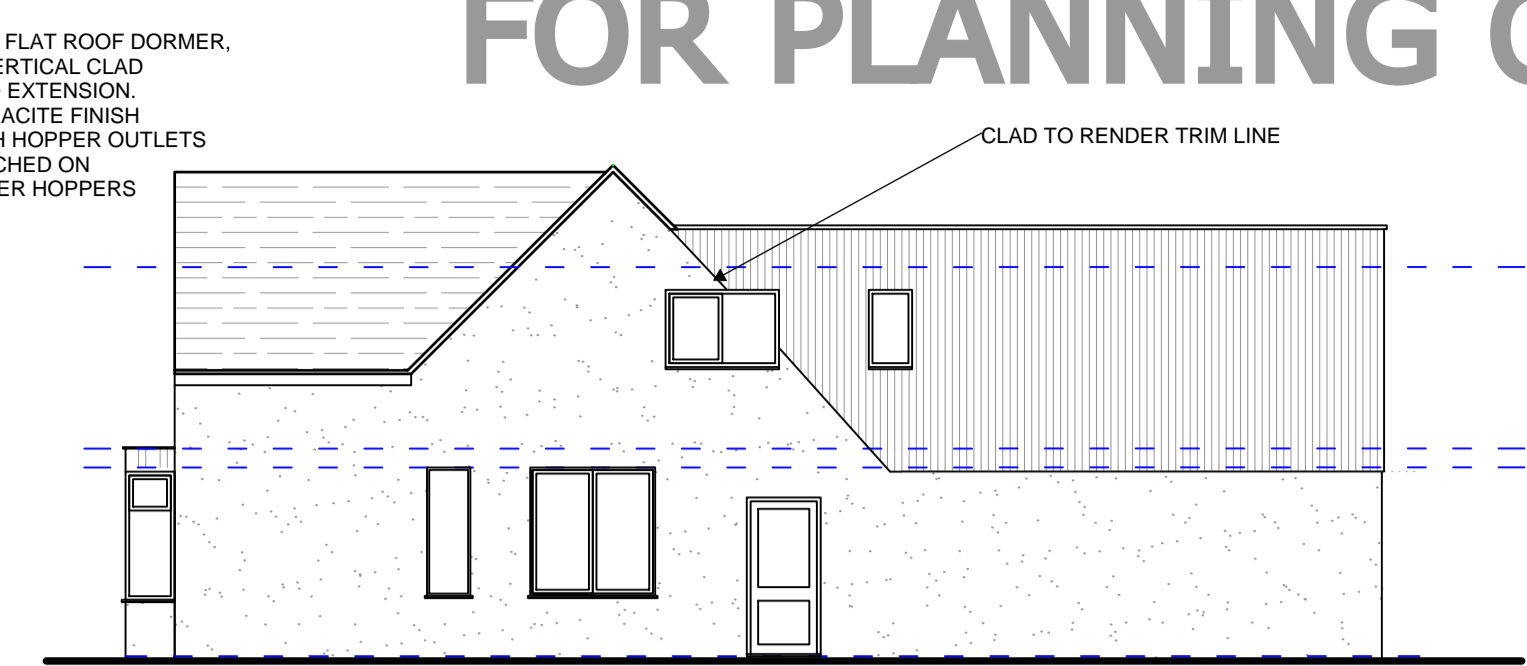
**FRONT ELEVATION - 1:100**



**ELEVATION ON B - 1:100**



**REAR ELEVATION - 1:100**



**ELEVATION ON A - 1:100**

THIS BAR SHOULD SCALE 5M @ 1:100

**TRENCH FOUNDATION**  
Provide 750mm x 600mm trench fill foundations, concrete mix to conform to BS EN 206-1 and BS 8500-2. All foundations to be a minimum of 100mm below ground level, exact depth to be agreed on site with Building Control Officer to suit site conditions. All constructed in accordance with 2004 Building Regulations A1/2 and BS 8004:1986 Code of Practice for Foundations. Ensure foundations are constructed below invert level of any adjacent drains. Base of foundations supporting internal walls to be min 600mm below ground level. Sulphate resistant cement to be used if required. Please note that should any adverse soil conditions or difference in soil type be found or any major tree roots in excavations, the Building Control Officer is to be contacted and the advice of a structural engineer should be sought.

**WALLS BELOW GROUND**  
All new walls to have Class A blockwork below ground level or alternatively semi engineering brickwork in 1:4 masonry cement or equal approved specification. Cavities below ground level to be filled with lean mix concrete min 225mm below damp proof course. Or provide lean mix backfill at base of cavity wall (150mm below damp course) laid to fall to weepholes.

**PIPEWORK THROUGH WALLS**  
Where new pipework passes through external walls form rocker joints either side wall face of max length 600mm with flexible joints with short length of pipe bedded in wall. Alternatively provide 75mm deep pre-cast concrete plank lintels over drain to form opening in wall to give 50mm space all round pipe; mask opening both sides with rigid sheet material and compressible sealant to prevent entry of fill or vermin.

**UNDERGROUND FOUL DRAINAGE**  
Underground drainage to consist of 100mm diameter UPVC proprietary pipe work to give a 1:40 fall. Surround pipes in 100mm pea shingle. Provide 600mm suitable cover (900mm under drives). Shallow pipes to be covered with 100mm reinforced concrete slab over compressible material. Provide rodding access at all changes of direction and junctions. All below ground drainage to comply with BS EN 1401-1: 2009.

**INSPECTION CHAMBERS**  
Where existing suspended timber floor air bricks are covered by new extension, ensure cross-ventilation is maintained by connecting to 100mm dia UPVC pipes with 100mm concrete cover laid under the extension. Pipes to terminate at new 65mm x 215mm air bricks with cavity tray over.

**SOLID FLOOR INSULATION OVER SLAB**  
To meet min U value required of 0.22 W/m<sup>2</sup>K. Solid ground floor to consist of 150mm consolidated well-rammed hardcore. Blinded with 50mm sand blinding. Provide 100mm ST2 or Gen2 ground bearing slab concrete mix to conform to BS 8500-2 over a 1200 gauge polythene DPM. DPM to be lapped in with DPC in walls. Floor to be insulated over slab and DPM with min 75mm thick Celotex GA400. 25mm insulation to continue around floor perimeters to avoid thermal bridging. A VCL should be laid over the insulation boards and turned up 100mm at room perimeters behind the skirting, all joints to be lapped 150mm and sealed. Finish with 65mm sand/cement finishing screed with light mesh reinforcement.

Where drain runs pass under new floor, provide A142 mesh 1.0m wide and min 50mm concrete cover over length of drain. Where existing suspended timber floor air bricks are covered by new extension, ensure cross-ventilation is maintained by connecting to 100mm dia UPVC pipes with 100mm concrete cover laid under the extension. Pipes to terminate at new 65mm x 215mm air bricks with cavity tray over.

**FULL FILL CAVITY WALL**  
To achieve minimum U value of 0.28W/m<sup>2</sup>K. 20mm top coat sand/cement render to comply to BS EN 1314 with waterproof additive on 100mm block, K value 1.13. (Armstrong dense, Masterblock Monacrete 100s) with fully filled cavity of 100mm Ditherm32 cavity insulation. Inner leaf to be 100mm block, K value 1.13, e.g. Lafarge Stancrrete. Internal finish to be 12.5mm plasterboard on dabs. Walls to be built with 1:6 cement mortar.

**INTERMEDIATE FLOORS**  
Intermediate floor to be 25mm t&g flooring grade chipboard or floorboards laid on C24 joists at 400mm ctrs (see engineer's calculation for sizes and details). Lay 100mm Rockwool mineral fibre quilt insulation min 10kg/m<sup>3</sup> or equivalent between floor joists. Ceiling to be 12.5 FireLine plasterboard with skim plaster set and finish. Joist spans over 2.5m to be strutted at mid span using 38 x 38mm herringbone strutting or 38mm solid strutting (at least 2/3 of joist depth). In areas such as kitchens, utility rooms and bathrooms, flooring to be moisture resistant grade in accordance with BS EN 312:2010. Identification marking must be laid upper most to allow easy identification. Provide lateral restraint where joists run parallel to walls, floors are to be strapped to walls with 1000mm x 30mm x 5mm galvanised mild steel straps or other approved in compliance with BS EN 845-1 at max 2.0m centres, straps to be taken across minimum 3 no. joists. Straps to be built into walls. Provide 30mm wide x 4 depth solid noggin between joists at strap positions.

**INTERNAL STUD PARTITIONS**  
100mm x 50mm softwood treated timber studs at 400mm ctrs with 50 x 100mm head and sole plates and solid intermediate horizontal noggins at 1/2 height or 450mm. Provide min 10kg/m<sup>3</sup> density acoustic soundproof quilt tightly packed (eg. 100mm Rockwool or Isovol mineral fibre sound insulation) in all voids the full depth of the stud. Partitions built off doubled up joists where partitions run parallel or where noggins are at right angles, or built off DPC on thickened concrete slab if solid ground floor. Walls faced throughout with 12.5mm plaster board with skim plaster finish. Taped and jointed complete with beads and stops.

**LINTELS**  
For uniformly distributed loads and standard 2 storey domestic loadings only. Lintel widths are to be equal to wall thickness. All lintels over 750mm sized internal door openings to be 65mm deep pre-stressed concrete plank lintels. 150mm deep lintels are to be used for 900mm sized internal door openings. Lintels to have a minimum bearing of 150mm on each end. Any existing lintels carrying additional loads are to be exposed for inspection at commencement of work on site. All pre-stressed concrete lintels to be designed and manufactured in accordance with BS 8110, with a concrete strength of 50 or 40 N/mm<sup>2</sup> and incorporating steel strands to BS 5096 to support loadings assessed to BS 5977 Part 1. For other structural openings provide proprietary insulated steel lintels suitable for spans and loadings in compliance with Approved Document A and lintel manufacturers standard tables. Stop ends, DPC trays and weep holes to be provided above all externally located lintels.

**STAIRS**  
Dimensions to be checked and measured on site prior to fabrication of stairs. Timber stairs to comply with BS5835 and with Part K of the Building Regulations. Max rise 220mm, min going 220mm. Two risers plus one going should be between 550 and 700mm. Tapered treads to have going in centre of tread at least the same as the going on the straight. Min 50mm going of tapered treads measured at narrow end. Pitch not to exceed 42 degrees. The width and length of every landing should be at least as great as the smallest width of the flight. Doors which swing across a landing at the bottom of a flight should leave a clear space of at least 400mm across the full width of the flight. Min 2.0m headroom measured vertically above pitch line of stairs and landings. Handrail on staircase to be 900mm above the pitchline, handrail to be at least one side if stairs are less than 1m wide and on both sides if they are wider. Ensure a clear width between handrails of minimum 600mm. Balustrading designed to be unclimbable and should contain no space through which a 100mm sphere could pass.

**VENTILATED FLAT ROOF**  
(imposed load max 1.0 kN/m<sup>2</sup> - dead load max 0.75 kN/m<sup>2</sup>)  
To achieve U value of 0.18 W/m<sup>2</sup>K. Flat roof to be single ply membrane roofing with aa fire rating as specialist specification, with a current BBA or WILMAS Certificate on 22mm exterior grade plywood, laid on firings to give a 1:40 fall on 47 x 195mm grade C24 joists at 400 ctrs max span 4.5m (see engineer's details for sizes). Cross-ventilation to be provided on opposing sides by a proprietary vapour ventilation strip equivalent to 25mm continuous ventilation, with fly proof screen. Flat roof insulation is to be continuous with the wall insulation but stopped back to allow a continuous 50mm air gap above the insulation for ventilation. Insulation to be 125mm Kingspan Thermaroof between joists and 25mm Kingspan under joists. Ceilings to be 12.5mm plasterboard over vapour barrier with skim plaster finish. Provide cavity tray where pitched roof meets existing wall. Provide restraint to flat roof by fixing using 30 x 5 x 100mm ms galvanised lateral restraint straps at maximum 2000mm centres fixed to 100 x 50mm wall plates and anchored to wall. Workmanship to comply to BS 8000:4. THIS IS A GENERAL GUIDE BASED ON NORMAL LOADING CONDITIONS FOUND IN DOMESTIC CONSTRUCTION. IT IS OUR RESPONSIBILITY TO ASSESS YOUR DESIGN TO ASCERTAIN WHETHER ENGINEER'S DETAILS/CALCULATIONS ARE REQUIRED. PLEASE REFER TO THE TRADA DOCUMENT - SPAN TABLES FOR SOLID TIMBER MEMBERS IN FLOORS, CEILINGS AND ROOFS FOR DWELLINGS OR ASK YOUR BUILDING CONTROL OFFICER FOR ADVICE.

**RAINWATER DRAINAGE**  
New rainwater goods to be new 110mm UPVC half round gutters taken and connected into 68mm dia UPVC downpipes. Rainwater taken to existing mains drains where possible, if no suitable drains then to a new soakaway, situated a min distance of 5.0m away from any building, via 110mm dia UPVC pipes surrounded in 150mm granular fill. Soakaway to be min of 1 cubic metre capacity (or to depth to Local Authorities approval) with suitable granular fill and with geotextile surround to prevent migration of fines. If necessary carry out a porosity test to determine design and depth of soakaway.

**CEILING FILLET**  
Provide ceiling fillet to all internal corners.

**NOTES**  
1) ALL DIMENSIONS TO BE CHECKED ONSITE PRIOR TO CONSTRUCTION. (INTERNAL DIMS MAY CHANGE DEPENDING ON EXTERNAL WALL CONSTRUCTION METHOD)  
2) A STRUCTURAL ENGINEER MUST BE CONSULTED FOR ALL STRUCTURAL WORKS  
3) WORKS TO BE CARRIED OUT BY COMPETENT, QUALIFIED CONTRACTORS  
4) ALL WORKS TO BE CARRIED OUT UNDER ALOCAL AUTHORITY BUILDING NOTICE  
ALL BUILD NOTES ARE GIVEN BASED ON STANDARD BUILDING REGULATIONS DETAILS AND MAY VARY, CONSTRUCTION METHODS MAY VARY ACCORDING TO BUILDERS PREFERENCE AND BUILDING CONTROL OFFICER REQUIREMENTS. THESE DRAWINGS ARE PRODUCED FOR PLANNING ONLY.

**ABOVE GROUND DRAINAGE**  
All new above ground drainage and plumbing to comply with BS EN 12056-2:2000 for sanitary pipework. All drainage to be in accordance with Part H of the Building Regulations. Wastes to have 75mm deep anti vac bottle traps and rodding eyes to be provided at changes of direction.

Size of wastes pipes and max length of branch connections (if max length is exceeded then anti vacuum traps to be used)  
Wash basin - 1.7m for 32mm pipe 4m for 40mm pipe  
Bath/shower - 3m for 40mm pipe 4m for 50mm pipe  
W/C - 6m for 100mm pipe for single WC  
All branch pipes to connect to 110mm soil and vent pipe terminating min 900mm above any openings within 3m.  
Or to 110mm upvc soil pipe with accessible internal air admittance valve complying with BS EN 12380, placed at a height so that the outlet is above the trap of the highest fitting.  
Waste pipes not to connect on to SWP within 200mm of the WC connection.  
Supply hot and cold water to all fittings as appropriate.

**BACKGROUND AND PURGE VENTILATION**  
Background ventilation - Controllable background ventilation via trickle vents to BS EN 13141-3 within the window frame to be provided to new habitable rooms at a rate of min 5000mm<sup>2</sup>; and to kitchens, bathrooms, WCs and utility rooms at a rate of 25000mm<sup>2</sup>.  
Purge ventilation - New Windows/rooftlights to have operable area in excess of 1/20th of their floor area, if the window opens more than 30° or 1/10th of their floor area if the window opens less than 30°.  
Internal doors should be provided with a 10mm gap below the door to aid air circulation. Ventilation provision in accordance with the Domestic Ventilation Compliance Guide.

**EXTRACT TO BATHROOM**  
Bathrooms to have mechanical vent ducted to external air provide min 15 litres / sec. extraction. Vent to be connected to light switch and to have 15 minute over run if no window in room. Internal doors should be provided with a 10mm gap below the door to aid air circulation. Ventilation provision in accordance with the Domestic Ventilation Compliance Guide. Intermittent extract fans to BS EN 13141-4. Cooker hoods to BS EN 13141-3. All fixed mechanical ventilation systems, where they can be tested and adjusted, shall be commissioned and a commissioning notice given to the Building Control Body.

**EXTRACT TO KITCHEN**  
Kitchen to have mechanical ventilation with an extract rating of 60/sec or 30/sec if adjacent to hob to external air, sealed to prevent entry of moisture. Internal doors should be provided with a 10mm gap below the door to aid air circulation. Ventilation provision in accordance with the Domestic Ventilation Compliance Guide. Intermittent extract fans to BS EN 13141-4. Cooker hoods to BS EN 13141-3. All fixed mechanical ventilation systems, where they can be tested and adjusted, shall be commissioned and a commissioning notice given to the Building Control Body.

**HEATING**  
Extend all heating and hot water services from existing and provide new TVRs to radiators. Heating system to be designed, installed, tested and fully certified by a GAS SAFE registered specialist. All work to be in accordance with the Local Water Authorities bye laws, the Gas Safety (Installation and Use) Regulations 1998 and IEE Regulations.

**NEW GAS BOILER**  
Heating and hot water will be supplied via a wall mounted condensing vertical balanced flue pressurised boiler with a min SEDBUK rating of 90%. No combustible materials within 50mm of the flue. System to be fitted with thermostatic radiator valves and all necessary zone controls and boiler control interlocks. The system will be installed, commissioned and tested by a "competent person" and a certificate issued that the installation complies with the requirements of PART L. All work to be in accordance with the Local Water Authorities bye laws, the Gas Safety (Installation and Use) Regulations 1998 and IEE Regulations.

**ELECTRICAL**  
All electrical work required to meet the requirements of Part P (electrical safety) must be designed, installed, inspected and tested by a competent person registered under a competent person self certification scheme such as BRE certification Ltd, BSI, NICEIC Certification Services or Zurich Ltd. An appropriate BS7671 Electrical Installation Certificate is to be issued for the work by a person competent to do so. A copy of a certificate will be given to Building Control on completion.

**INTERNAL LIGHTING**  
Install low energy light fittings that only take lamps having a luminous efficacy greater than 45 lumens per circuit watt and a total output greater than 400 lumens. Not less than three energy efficient light fittings per four of all the light fittings in the main dwelling spaces to comply with Part L of the current Building Regulations and the Domestic Building Services Compliance Guide.

**REV A: REAR GROUND AND FIRST FLOOR REDUCED IN LENGTH BY 500MM SEPTEMBER 2022**



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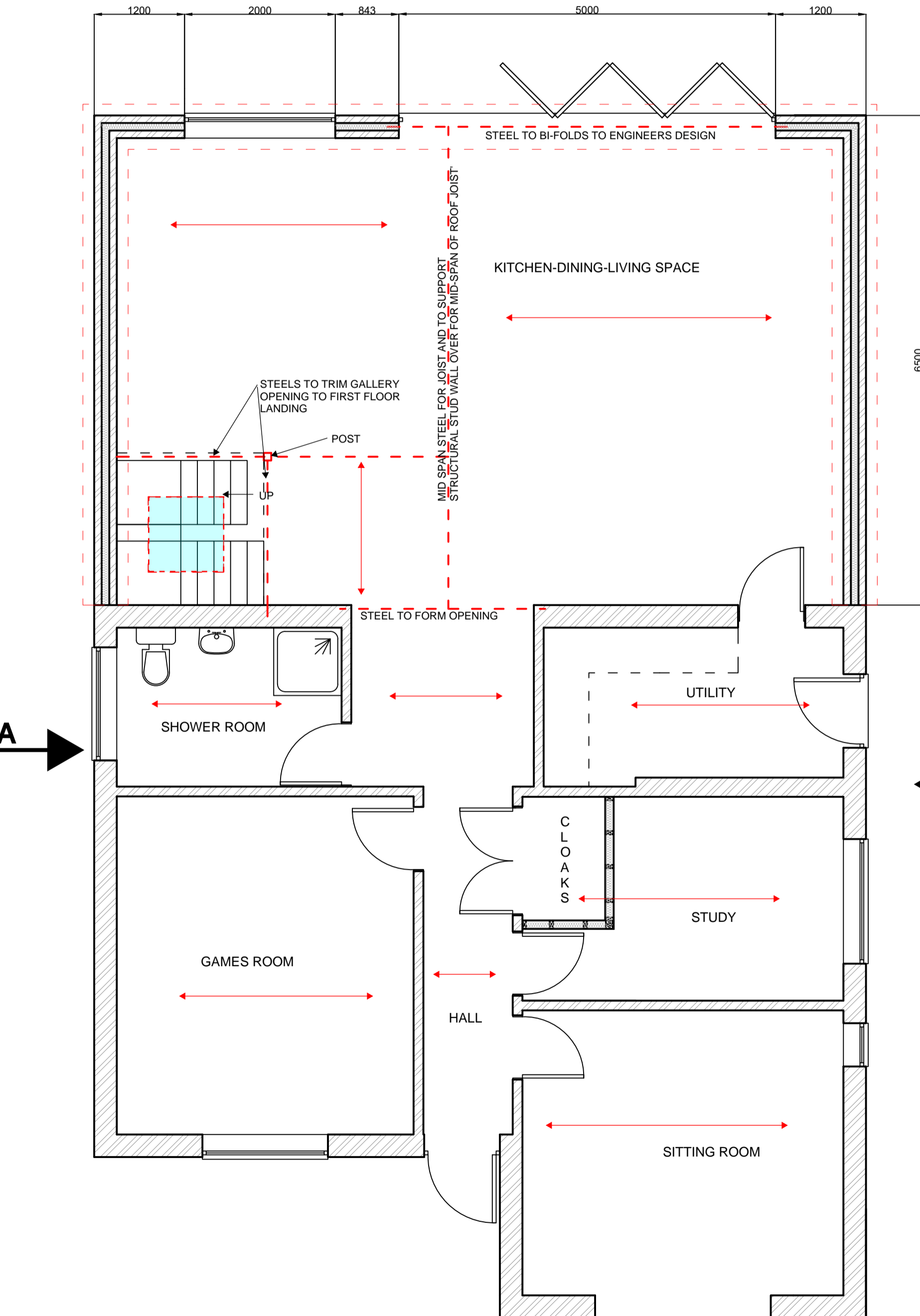
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38 HILL VIEW ROAD, HUCCLCOTE, GLOS GL3 3LG

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1:100 AND 1:50 @ A1

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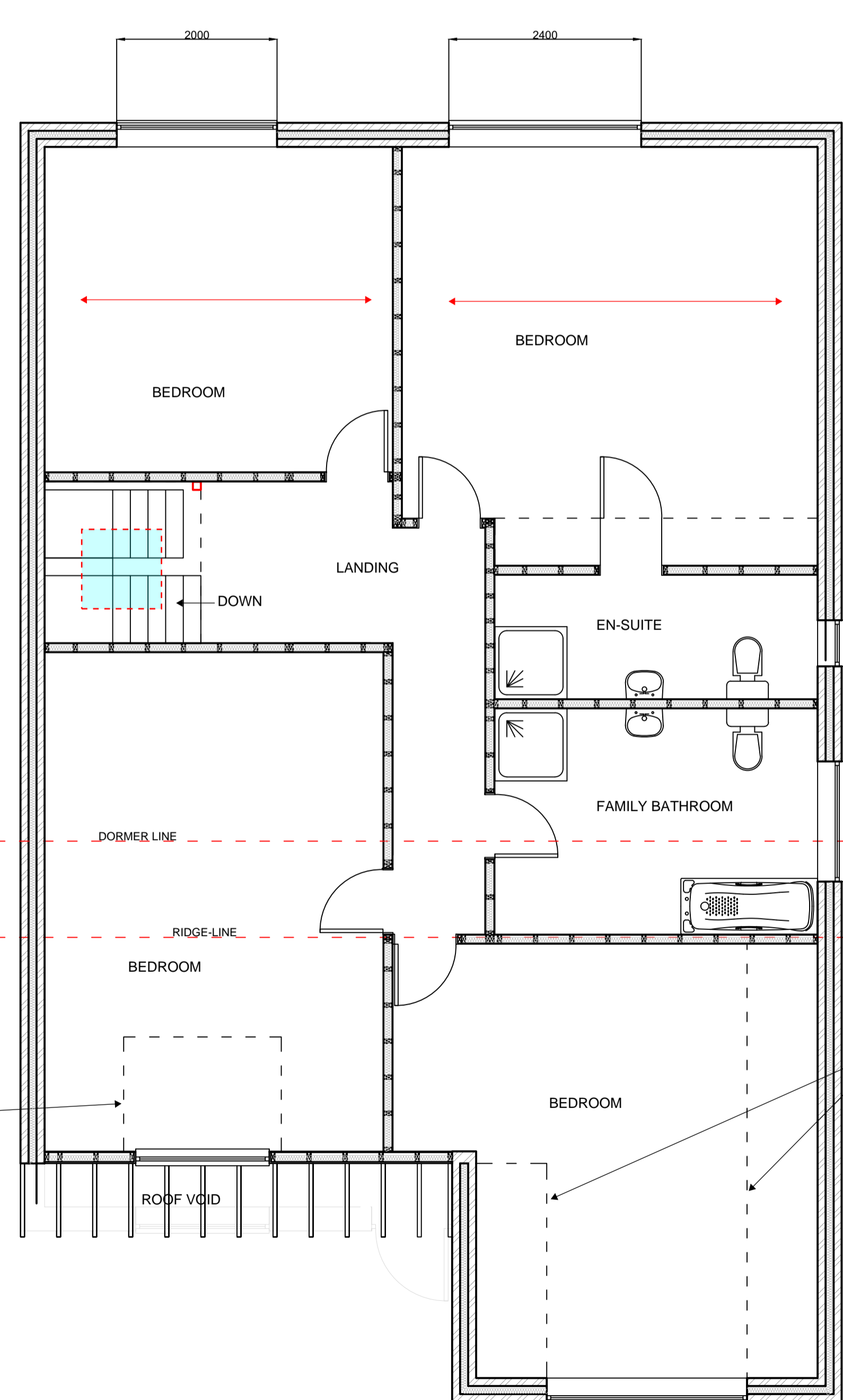
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**AS PROPOSED GROUND FLOOR PLAN - 1:50**

**AS PROPOSED FIRST FLOOR PLAN - 1:50**

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**AS PROPOSED FIRST FLOOR PLAN - 1:50**

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