

## Householder Application for Planning Permission for works or extension to a dwelling

### Town and Country Planning Act 1990 (as amended)

#### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

### Site Location

**Disclaimer:** We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)  Northing (y)

Description

## Applicant Details

### Name/Company

Title

Mr & Mrs

First name

Surname

Moreman & Overs (resp)

Company Name

### Address

Address line 1

24 Otter Road

Address line 2

Address line 3

Gloucestershire

Town/City

Gloucester

Country

Postcode

GL4 5TF

Are you an agent acting on behalf of the applicant?

Yes

No

### Contact Details

Primary number

Secondary number

Fax number

Email address

## Agent Details

### Name/Company

Title

First name

Surname

Company Name

### Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

### Contact Details

Primary number

Secondary number

Fax number

Email address

## Description of Proposed Works

Please describe the proposed works

Has the work already been started without consent?

Yes

No

## Materials

Does the proposed development require any materials to be used externally?

Yes

No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

**Type:**

Walls

**Existing materials and finishes:**

Facing brick

**Proposed materials and finishes:**

Facing brick

**Type:**

Roof

**Existing materials and finishes:**

Interlocking concrete tiles

**Proposed materials and finishes:**

Interlocking concrete tiles

**Type:**

Windows

**Existing materials and finishes:**

Upvc double glazed

**Proposed materials and finishes:**

Upvc double glazed

**Type:**

Doors

**Existing materials and finishes:**

Upvc double glazed

**Proposed materials and finishes:**

Upvc double glazed

**Type:**

Other

**Other (please specify):**

Rainwater goods

**Existing materials and finishes:**

Upvc

**Proposed materials and finishes:**

Upvc

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

4201-01 Existing Plans & Elevations  
4201-02 Proposed Plans & Elevations

**Trees and Hedges**

## Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

- Yes  
 No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

- Yes  
 No

## Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

- Yes  
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes  
 No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

- Yes  
 No

## Parking

Will the proposed works affect existing car parking arrangements?

- Yes  
 No

If Yes, please describe:

Loss of 1no. internal garage space (non-standard) and provision of additional external parking.

## Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes  
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent  
 The applicant  
 Other person

## Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes  
 No

## Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes
- No

## Ownership Certificates and Agricultural Land Declaration

### Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes
- No

Is any of the land to which the application relates part of an Agricultural Holding?

- Yes
- No

### Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner\* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding\*\*

\* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

\*\* "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

**NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.**

Person Role

- The Applicant
- The Agent

Title

Mr

First Name

Robert

Surname

Freeman

Declaration Date

25/02/2022

Declaration made

## Declaration

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

Rob Freeman

Date

25/02/2022





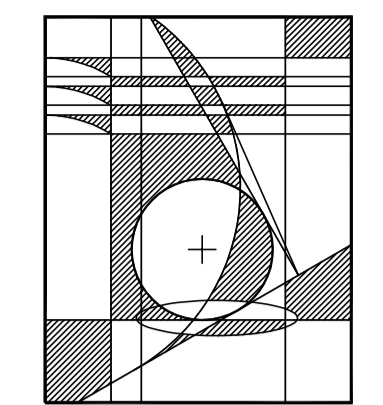
EAST ELEVATION

SOUTH ELEVATION

WEST ELEVATION

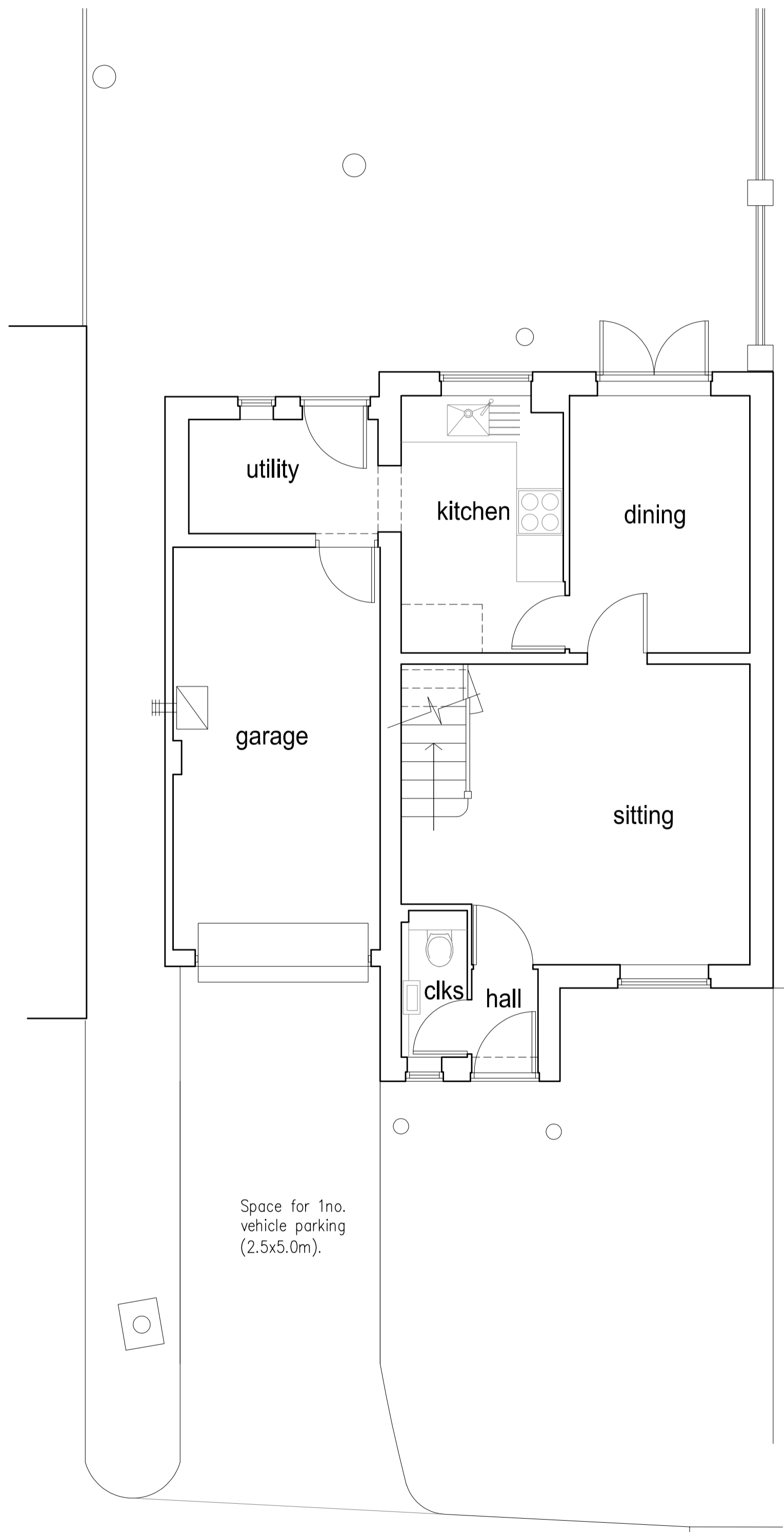
NORTH ELEVATION

1:100 @ A1  
0 1m 2 3 4 5 6 7 8 9 10



**NWD**  
CONSTRUCTION  
DESIGN &  
PLANNING

35 BLAKE CRESCENT  
STRATTON, SWINDON  
WILTSHIRE SN3 4LR  
telephone: 01793 349820  
website: www.nwdesign.co.uk  
e-mail: rob.freeman@nwdworld.com

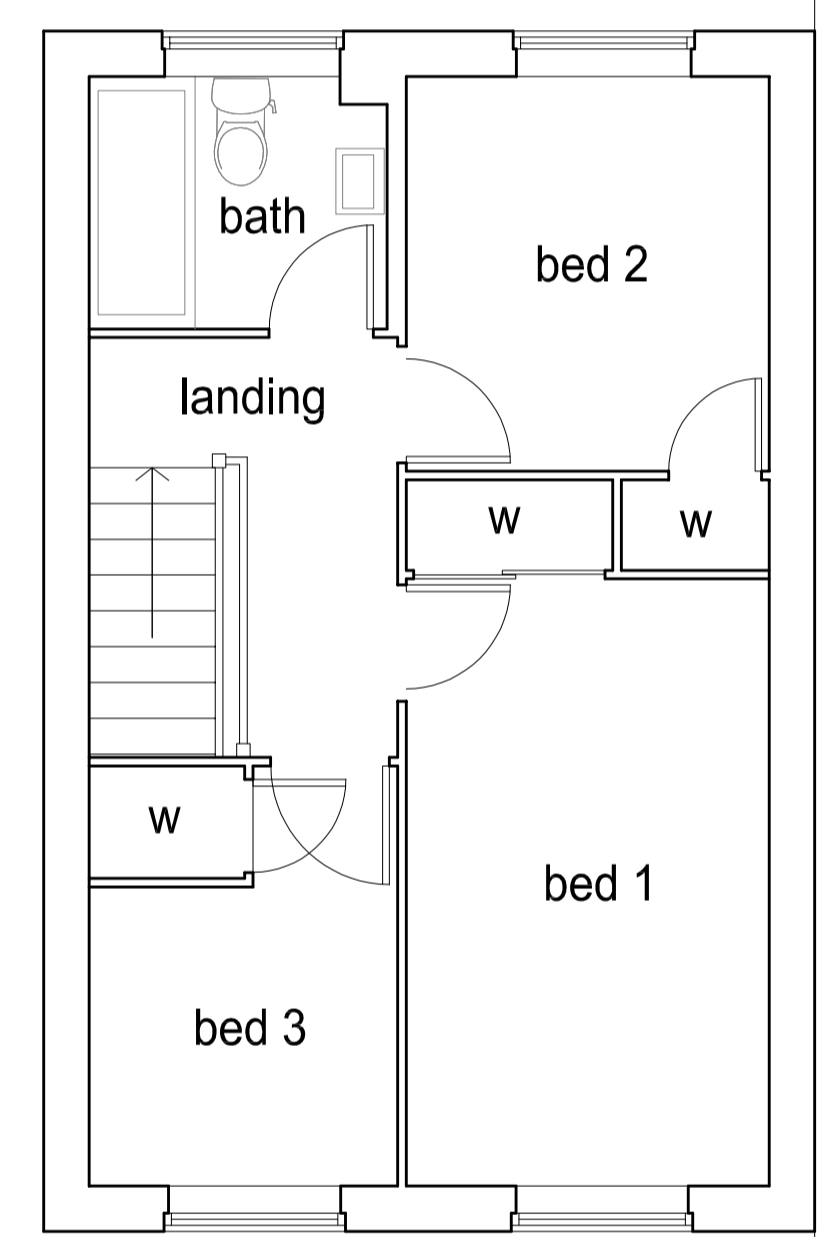


Space for 1 no. vehicle parking (2.5x5.0m).

Private road access

Retained shared turning head

EXISTING GROUND FLOOR PLAN



EXISTING FIRST FLOOR PLAN

1:50 @ A1  
0 1m 2 3 4 5

A1

REVISION | DATE | DESCRIPTION | BY  
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THIS DRAWING HAS RECEIVED BUILDING REGULATIONS APPROVAL DATED: -

JOB  
ALTERATIONS TO  
24 OTTER ROAD,  
GLOUCESTER GL4 5TF

DETAIL  
PLANS & ELEVATIONS  
AS EXISTING

CLIENT/ARCHITECT  
G.MOREMAN & K.OVERS

STATUS OF DRAWING DRAFT LAYOUT	DATE OF ISSUE
SCALE 1:100, 1:50 @ A1	DATE JAN'22
DRAWING No. 4201/01	BY R.L.F. CHECKED



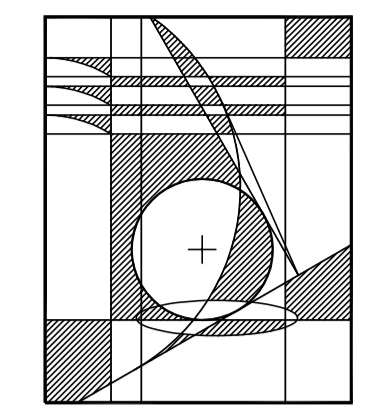
EAST ELEVATION

SOUTH ELEVATION

WEST ELEVATION

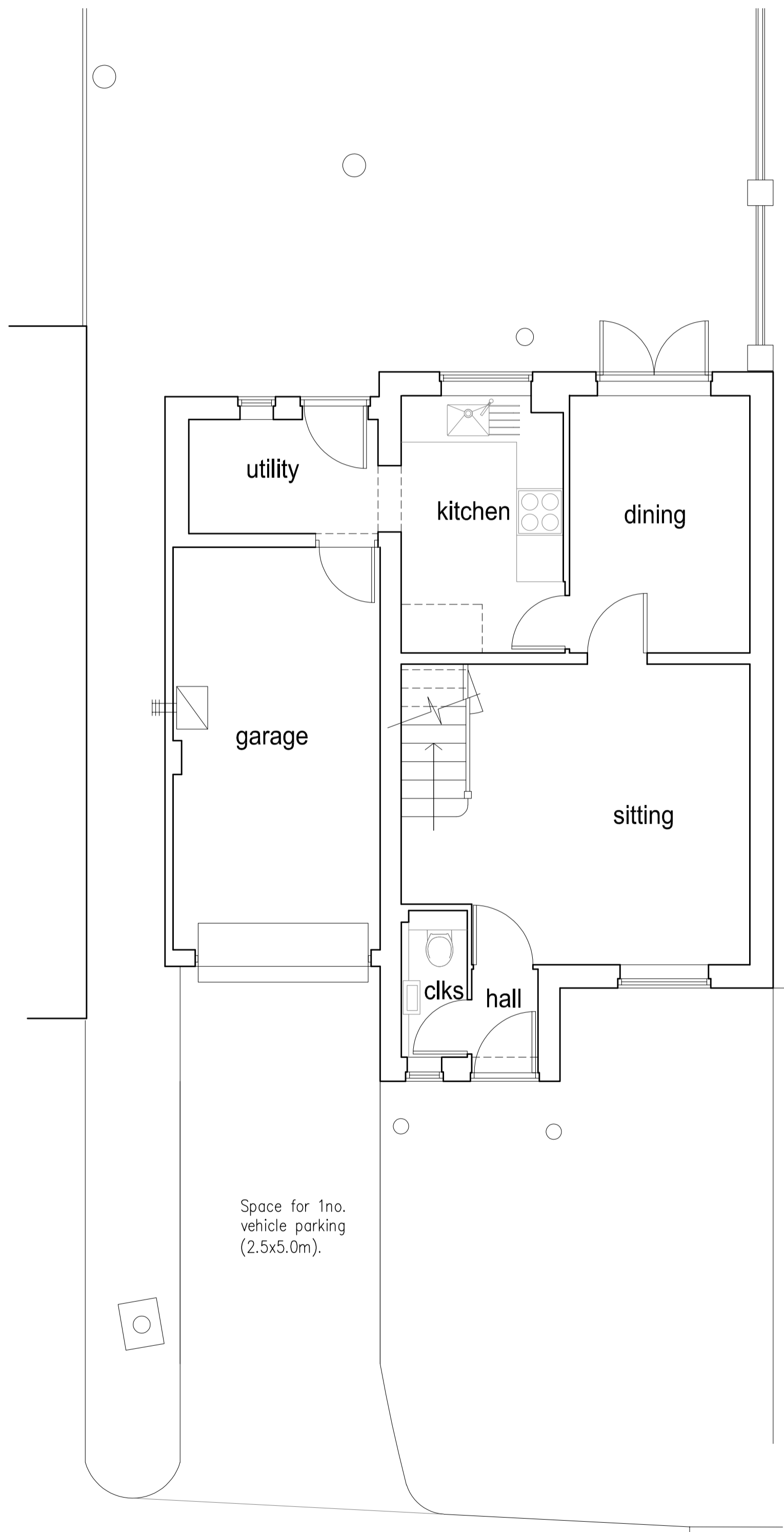
NORTH ELEVATION

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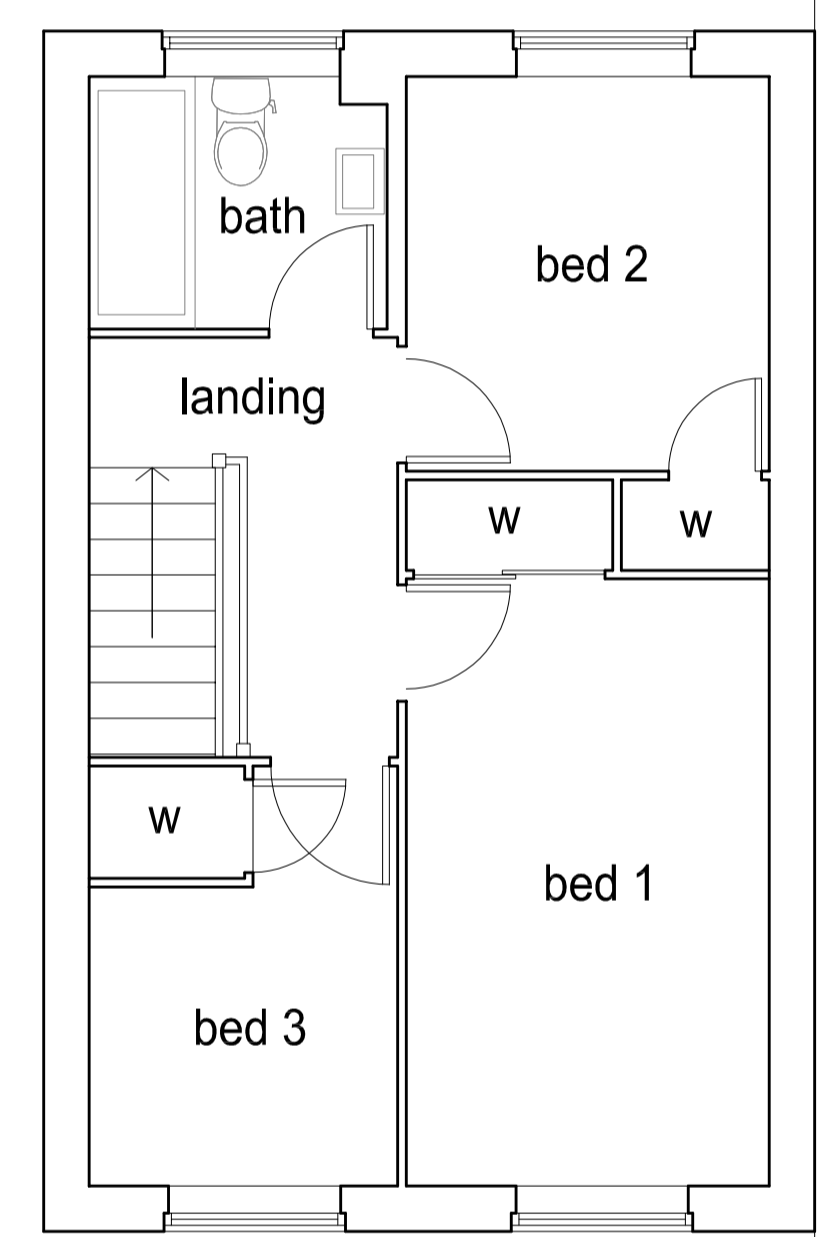


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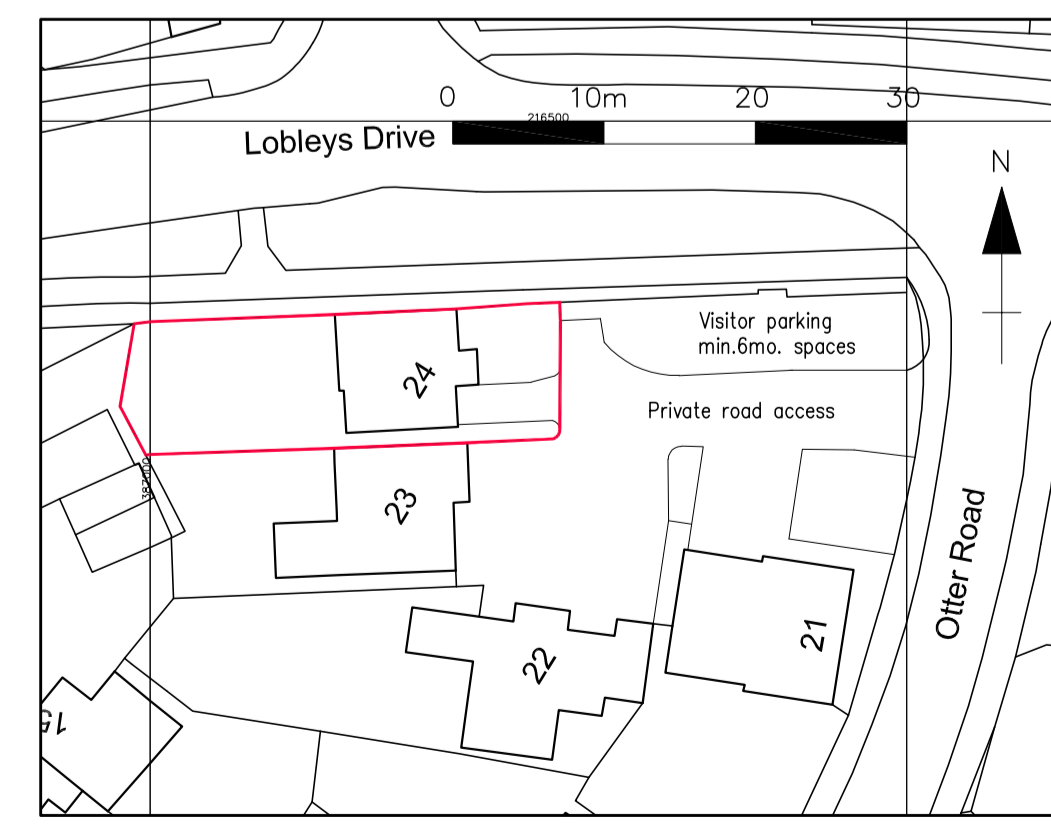


EXISTING GROUND FLOOR PLAN



EXISTING FIRST FLOOR PLAN

1:50 @ A1  
0 1m 2 3 4 5



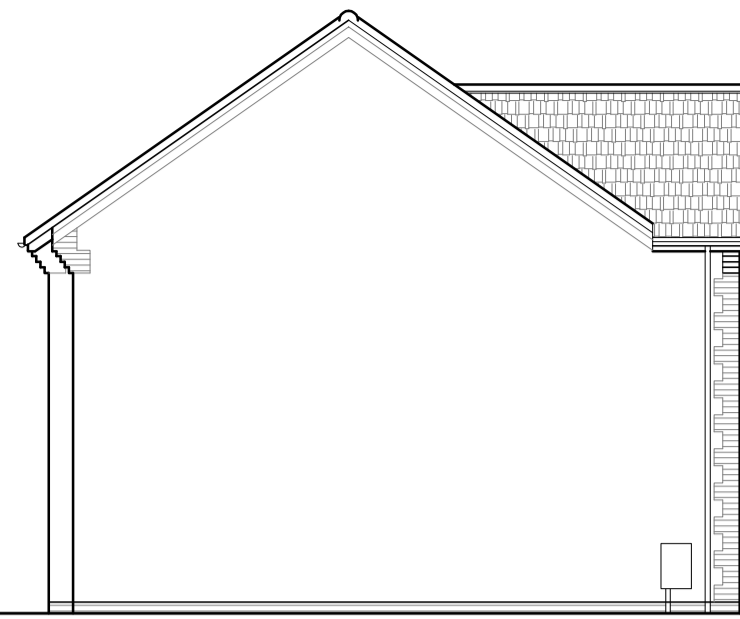
EXISTING BLOCK PLAN 1:50

A1

A		MAR 2022		EXISTING BLOCK PLAN ADDED		R.L.F.	
REVISION	DATE	DESCRIPTION	BY				
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<b>JOB</b> ALTERATIONS TO 24 OTTER ROAD, GLOUCESTER GL4 5TF							
<b>DETAIL</b> PLANS & ELEVATIONS AS EXISTING							
<b>CLIENT/ARCHITECT</b> G.MOREMAN & K.OVERS							
<b>STATUS OF DRAWING</b> DRAFT LAYOUT				<b>DATE OF ISSUE</b>			
<b>SCALE</b> 1:100, 1:50 @ A1		<b>DATE</b> JAN'22		<b>BY</b> R.L.F.		<b>CHECKED</b>	
<b>DRAWING No.</b> 4201/01A				<b>CHECKED</b>			



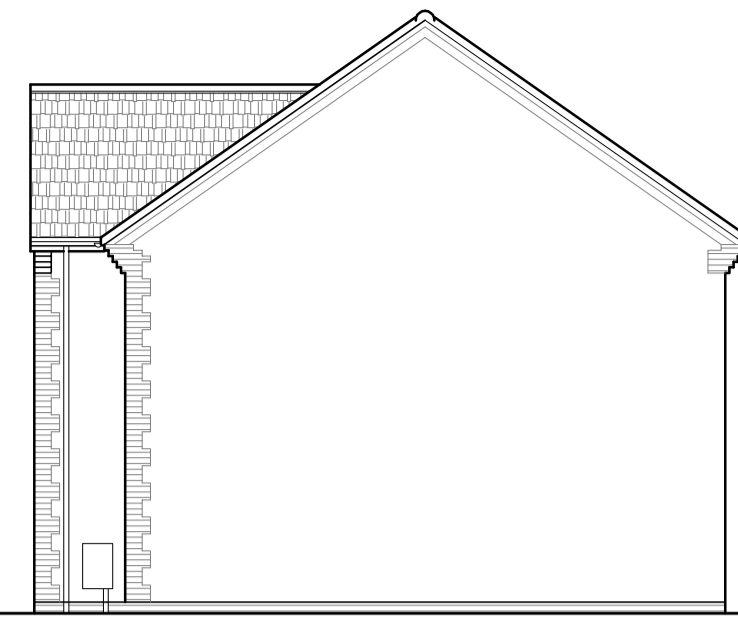
EAST ELEVATION



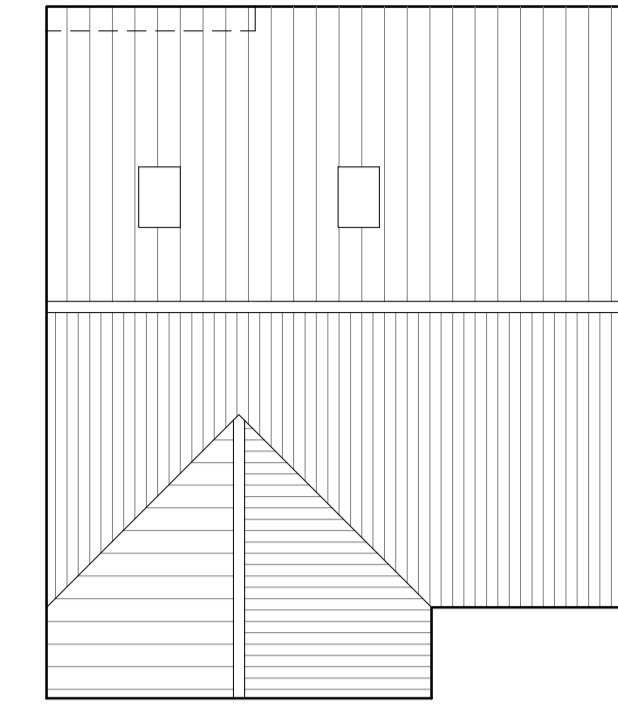
SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



ROOF PLAN

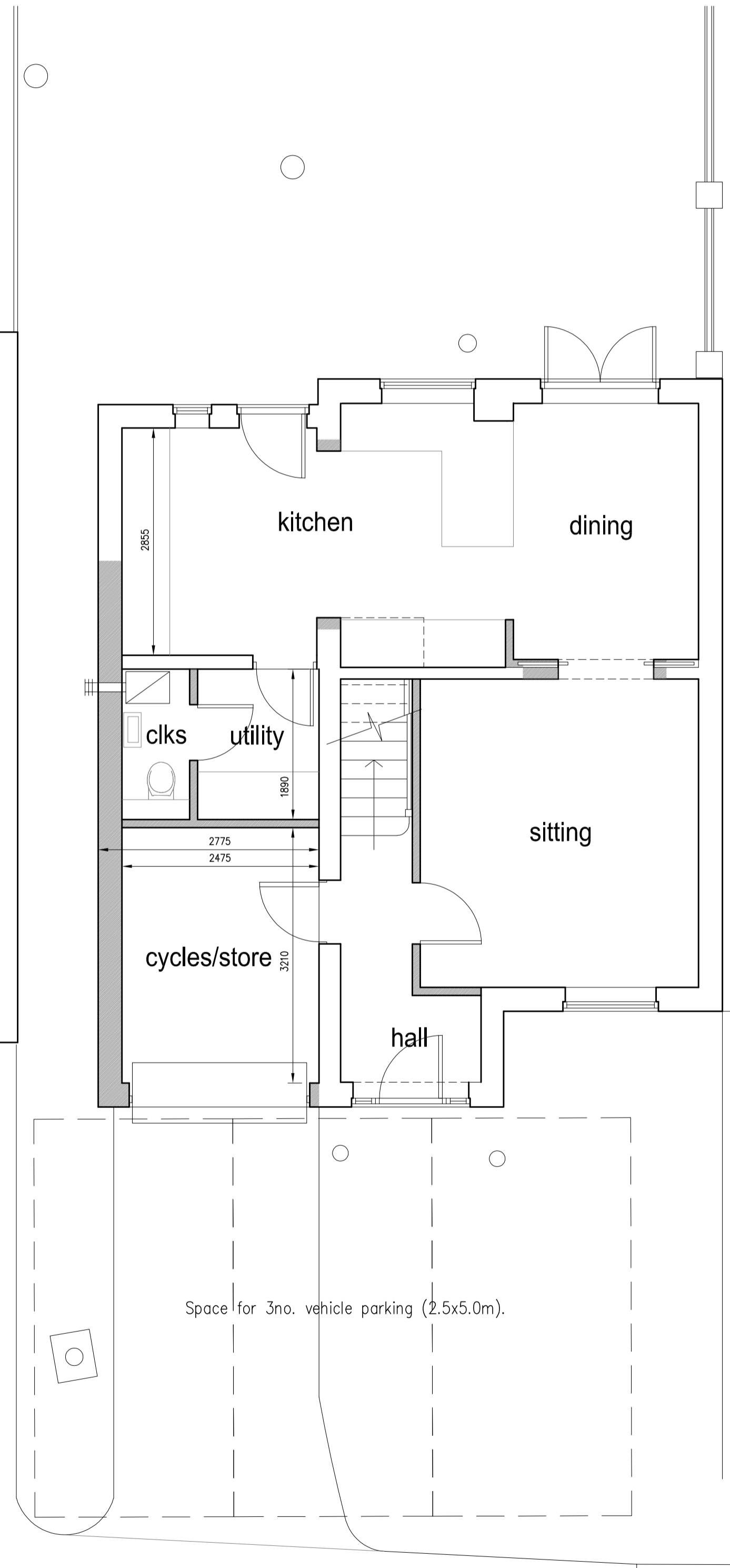


**Planning Design Notes:**  
 The front extension has been designed in accordance with Gloucester City Council 'Home Extension Guide', adopted as part of LDF and Local Plan. The guide adopts the general principles:  
 1. Your extension must be of a design, size and scale that is appropriate and respectful to the character of the locality and the appearance of your existing house.  
 2. Your extension must not unreasonably impact upon the amenities enjoyed by your neighbours.  
 The guidance allows for two approaches to design - a.) A subservient design and b.) An integrated design. On careful consideration of the site context, character and orientation the design has been developed in accordance with the guidance for an Integrated Design. The Guide states that such a design should be:  
 "fully integrated with the design and appearance of the original house so that it appears as part of it."  
 No.24 Otter Road is orientated so that the principal elevation faces the private road access shared by 4no. houses and is some 29.4m from the public highway. It is the north side gable elevation that faces the main highway to the north and is mostly unimpacted by the proposed extension. Front-projecting extensions to the principal elevations have been successfully consented and constructed within Otter Road (notably no.12) and now form part of the character of Otter Road.  
 With regard to the style of extension the guidance states:  
 In some cases a dominant, well-designed, contemporary extension may be considered appropriate, providing that it complements the existing property and streetscene without adversely harming the amenity of the neighbouring occupiers.  
 Each of the four houses in this grouping (nos.21-24) are different from the other but retain a fairly conventional modern suburban design. The proposed extension at no.24 contains modern elements such as the first floor front feature glazing but this modern element does not dominate and is settled within a more conventional form with simple geometry and similar materials. Existing feature brickwork detailing is retained within the extended walls.  
 Residential parking standards are not adopted by Gloucester City Council but each set of extension proposals are assessed on an individual basis. No.24 is located within a private road with shared access among nos.21-24. The application site has 1no. garage parking space and 1no. external space for the three bedroom accommodation. The garage space will be used for cycle storage but, as the block demonstrates, there is still sufficient area for 3no. external parking spaces of 5.0x2.5m. Additionally, there is a private area of established parking which provides min.6no. further spaces shared between the grouping of four properties. All of this allocation of parking is on a private road and not adopted highways. We suggest this is a reasonable level of parking provision for a four bedroom house, as proposed.

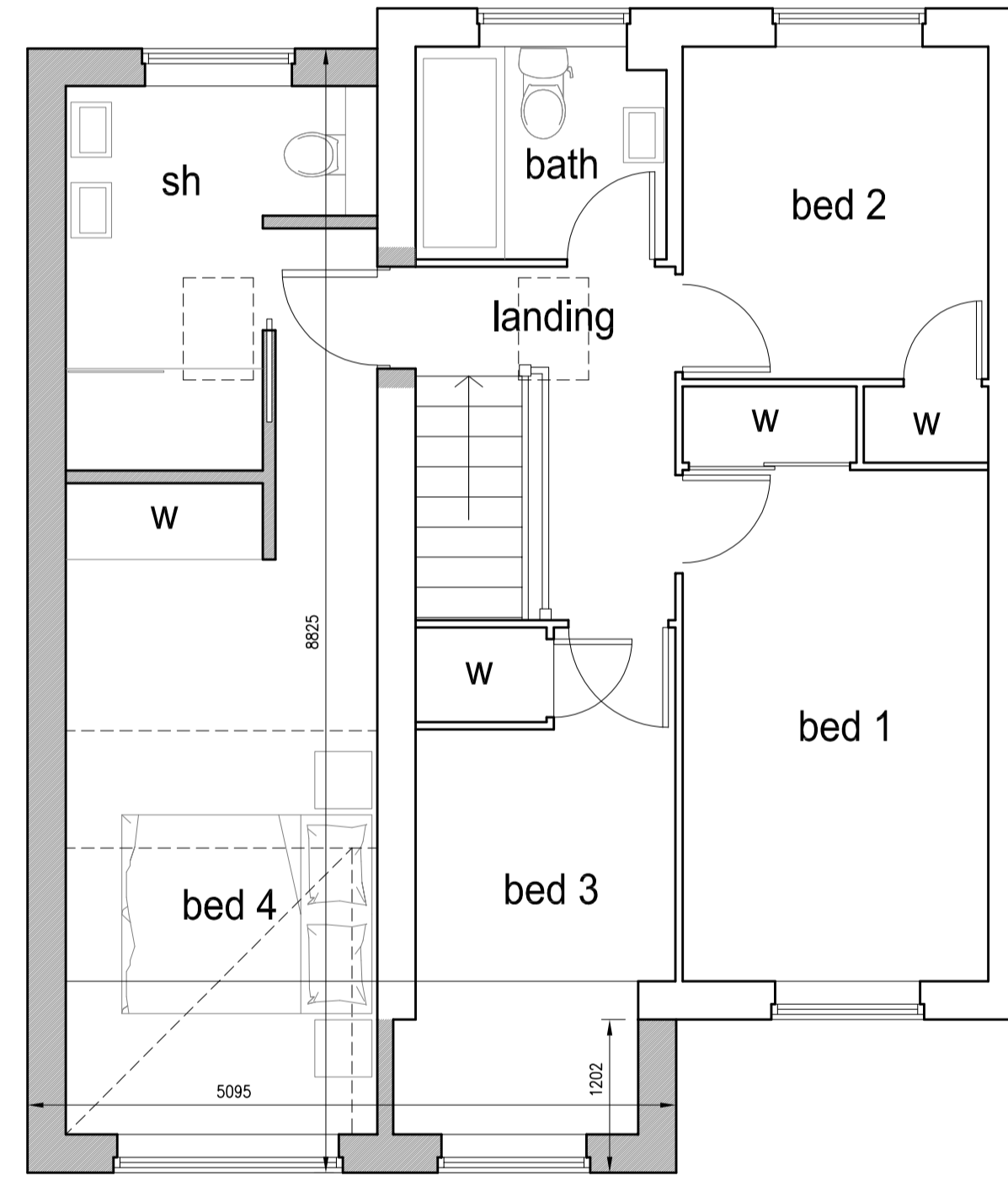
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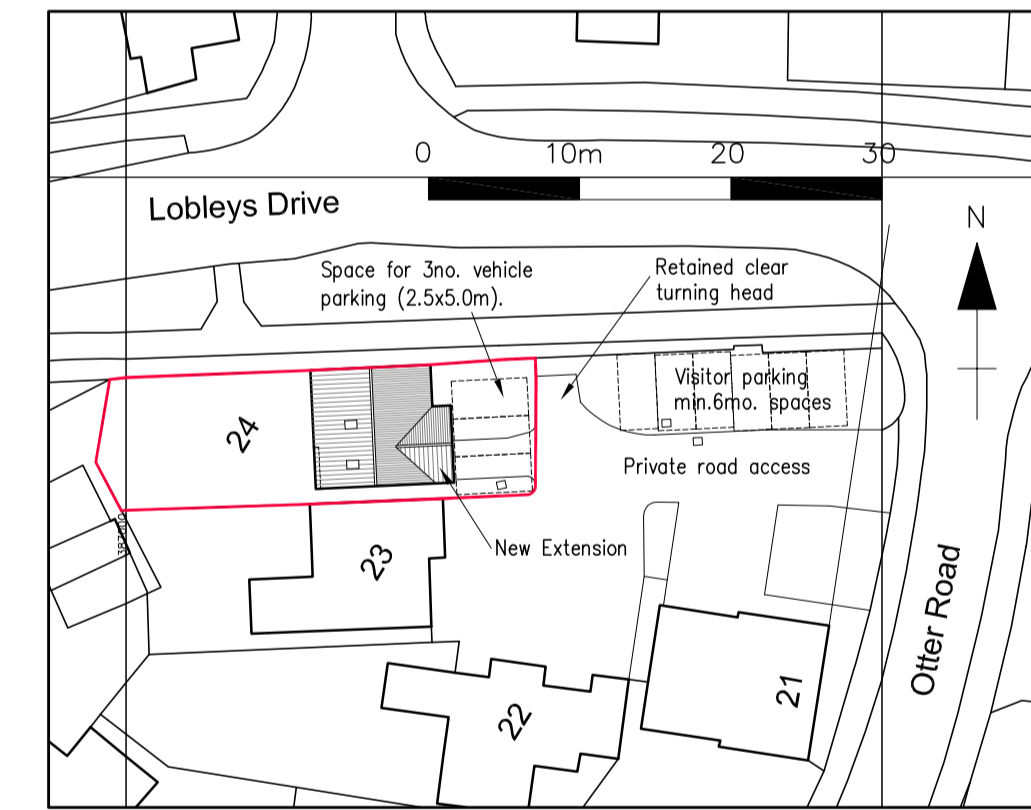
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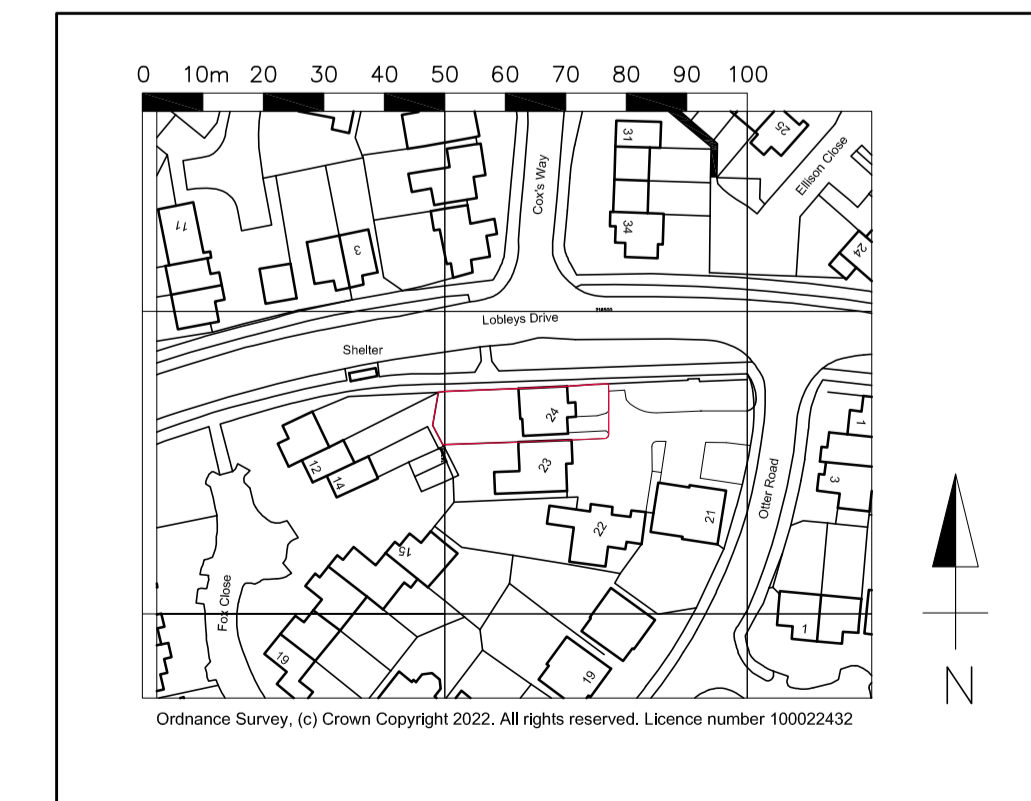
PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN



BLOCK PLAN 1:500



SITE LOCATION PLAN 1:1250

A1

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