

Application for Outline Planning Permission with some matters reserved

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x) Northing (y)

Description

Applicant Details

Name/Company

Title

Mr

First name

Ben

Surname

Bishop

Company Name

Address

Address line 1

102 Coney Hill Road

Address line 2

Address line 3

Gloucestershire

Town/City

Gloucester

Country

Postcode

GL4 4LU

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

***** REDACTED *****

Secondary number

Fax number

Email address

Agent Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Contact Details

Primary number

Secondary number

Fax number

Email address

Description of the Proposal

Please indicate all those matters for which approval is sought as part of this outline application (tick all that apply)

- Access
- Appearance
- Landscaping
- Layout
- Scale

Note: if this application is approved, the matters not determined as part of this application will need to be the subject of an "Application for approval of reserved matters" before the development may proceed.

Please note in regard to:

- **Fire Statements** - From 1 August 2021, planning applications for buildings of over 18 metres (or 7 stories) tall containing more than one dwelling will require a 'Fire Statement' for the application to be considered valid. There are some exemptions. [View government planning guidance on fire statements](#) or [access the fire statement template and guidance](#).
- **Public Service Infrastructure** - From 1 August 2021, applications for certain public service infrastructure developments will be eligible for faster determination timeframes. See help for further details or [view government planning guidance on determination periods](#).

Description

Please describe the proposed development

Has the work already been started without planning permission?

- Yes
- No

Site Area

What is the measurement of the site area? (numeric characters only).

Unit

Existing Use

Please describe the current use of the site

Is the site currently vacant?

- Yes
 No

Does the proposal involve any of the following? If Yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated

- Yes
 No

Land where contamination is suspected for all or part of the site

- Yes
 No

A proposed use that would be particularly vulnerable to the presence of contamination

- Yes
 No

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicular access proposed to or from the public highway?

- Yes
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes
 No

Are there any new public roads to be provided within the site?

- Yes
 No

Are there any new public rights of way to be provided within or adjacent to the site?

- Yes
 No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

- Yes
 No

Vehicle Parking

Does the site have any existing vehicle/cycle parking spaces or will the proposed development add/remove any parking spaces?

- Yes
 No

Materials

Does the proposed development require any materials to be used externally?

- Yes
 No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

Type:

Walls

Existing materials and finishes:

Red multi brick

Proposed materials and finishes:

Red multi brick

Type:

Roof

Existing materials and finishes:

Tudor brown clay tiles

Proposed materials and finishes:

Tudor brown Clay tiles

Type:

Windows

Existing materials and finishes:

White UPVC

Proposed materials and finishes:

White UPVC

Type:

Doors

Existing materials and finishes:

White UPVC

Proposed materials and finishes:

White UPVC

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

BP2023 Proposed Elevations

Foul Sewage

Please state how foul sewage is to be disposed of:

Mains sewer

Septic tank

Package treatment plant

Cess pit

Other

Unknown

Are you proposing to connect to the existing drainage system?

- Yes
 No
 Unknown

If Yes, please include the details of the existing system on the application drawings and state the plan(s)/drawing(s) references

Proposed and existing system shown on BP2023 site plan and DIGDAT plan.

Assessment of Flood Risk

Is the site within an area at risk of flooding? (Check the location on the Government's [Flood map for planning](#). You should also refer to national [standing advice](#) and your local planning authority requirements for information as necessary.)

- Yes
 No

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

- Yes
 No

Will the proposal increase the flood risk elsewhere?

- Yes
 No

How will surface water be disposed of?

- Sustainable drainage system
 Existing water course
 Soakaway
 Main sewer
 Pond/lake

Trees and Hedges

Are there trees or hedges on the proposed development site?

- Yes
 No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

- Yes
 No

If Yes to either or both of the above, you may need to provide a full tree survey, at the discretion of the local planning authority. If a tree survey is required, this and the accompanying plan should be submitted alongside the application. The local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

To assist in answering this question correctly, please refer to the help text which provides guidance on determining if any important biodiversity or geological conservation features may be present or nearby; and whether they are likely to be affected by the proposals.

a) Protected and priority species

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

b) Designated sites, important habitats or other biodiversity features

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

c) Features of geological conservation importance

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

Supporting information requirements

Where a development proposal is likely to affect features of biodiversity or geological conservation interest, you will need to submit, with the application, sufficient information and assessments to allow the local planning authority to determine the proposal.

Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the local planning authority has been submitted.

Your local planning authority will be able to advise on the content of any assessments that may be required.

Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

- Yes
 No

If Yes, please provide details:

BP2023 Site Plans

Have arrangements been made for the separate storage and collection of recyclable waste?

- Yes
 No

If Yes, please provide details:

BP2023 Site Plan

Residential/Dwelling Units

Does your proposal include the gain, loss or change of use of residential units?

- Yes
 No

Please note: This question is based on the current housing categories and types specified by government.

If your application was started before 23 May 2020, the categories and types shown in this question will now have changed. We recommend that you review any information provided to ensure it is correct before the application is submitted.

Proposed

Please select the housing categories that are relevant to the proposed units

- Market Housing
- Social, Affordable or Intermediate Rent
- Affordable Home Ownership
- Starter Homes
- Self-build and Custom Build

Affordable Home Ownership

Please specify each type of housing and number of units proposed

Housing Type: Houses 1 Bedroom: 0 2 Bedroom: 0 3 Bedroom: 1 4+ Bedroom: 0 Unknown Bedroom: 0 Total: 1

Proposed Affordable Housing Category Totals	1 Bedroom Total	2 Bedroom Total	3 Bedroom Total	4 Bedroom Total	Unknown Bedroom Total	Bedroom Total
	0	0	1	0	0	1

Existing

Please select the housing categories for any existing units on the site

- Market Housing
- Social, Affordable or Intermediate Rent
- Affordable Home Ownership
- Starter Homes
- Self-build and Custom Build

Affordable Home Ownership

Please specify each existing type of housing and number of units on the site

Housing Type:

Houses

1 Bedroom:

0

2 Bedroom:

0

3 Bedroom:

1

4+ Bedroom:

0

Unknown Bedroom:

0

Total:

1

Existing Affordable Housing Category Totals	1 Bedroom Total	2 Bedroom Total	3 Bedroom Total	4 Bedroom Total	Unknown Bedroom Total	Bedroom Total
	<input type="text" value="0"/>	<input type="text" value="0"/>	<input type="text" value="1"/>	<input type="text" value="0"/>	<input type="text" value="0"/>	<input type="text" value="1"/>

Totals

Total proposed residential units	<input type="text" value="1"/>
Total existing residential units	<input type="text" value="1"/>
Total net gain or loss of residential units	<input type="text" value="0"/>

All Types of Development: Non-Residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?
Note that 'non-residential' in this context covers all uses except Use Class C3 Dwellinghouses.

- Yes
 No

Employment

Are there any existing employees on the site or will the proposed development increase or decrease the number of employees?

- Yes
 No

Hours of Opening

Are Hours of Opening relevant to this proposal?

- Yes
 No

Industrial or Commercial Processes and Machinery

Does this proposal involve the carrying out of industrial or commercial activities and processes?

- Yes
 No

Is the proposal for a waste management development?

- Yes
 No

Hazardous Substances

Does the proposal involve the use or storage of Hazardous Substances?

- Yes
 No

Trade Effluent

Does the proposal involve the need to dispose of trade effluents or trade waste?

- Yes
 No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
 The applicant
 Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes
 No

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes
- No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes
- No

Is any of the land to which the application relates part of an Agricultural Holding?

- Yes
- No

Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

- The Applicant
- The Agent

Title

Mr

First Name

Gen

Surname

Davies

Declaration Date

20/10/2022

Declaration made

Declaration

I / We hereby apply for Outline planning permission: Some matters reserved as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

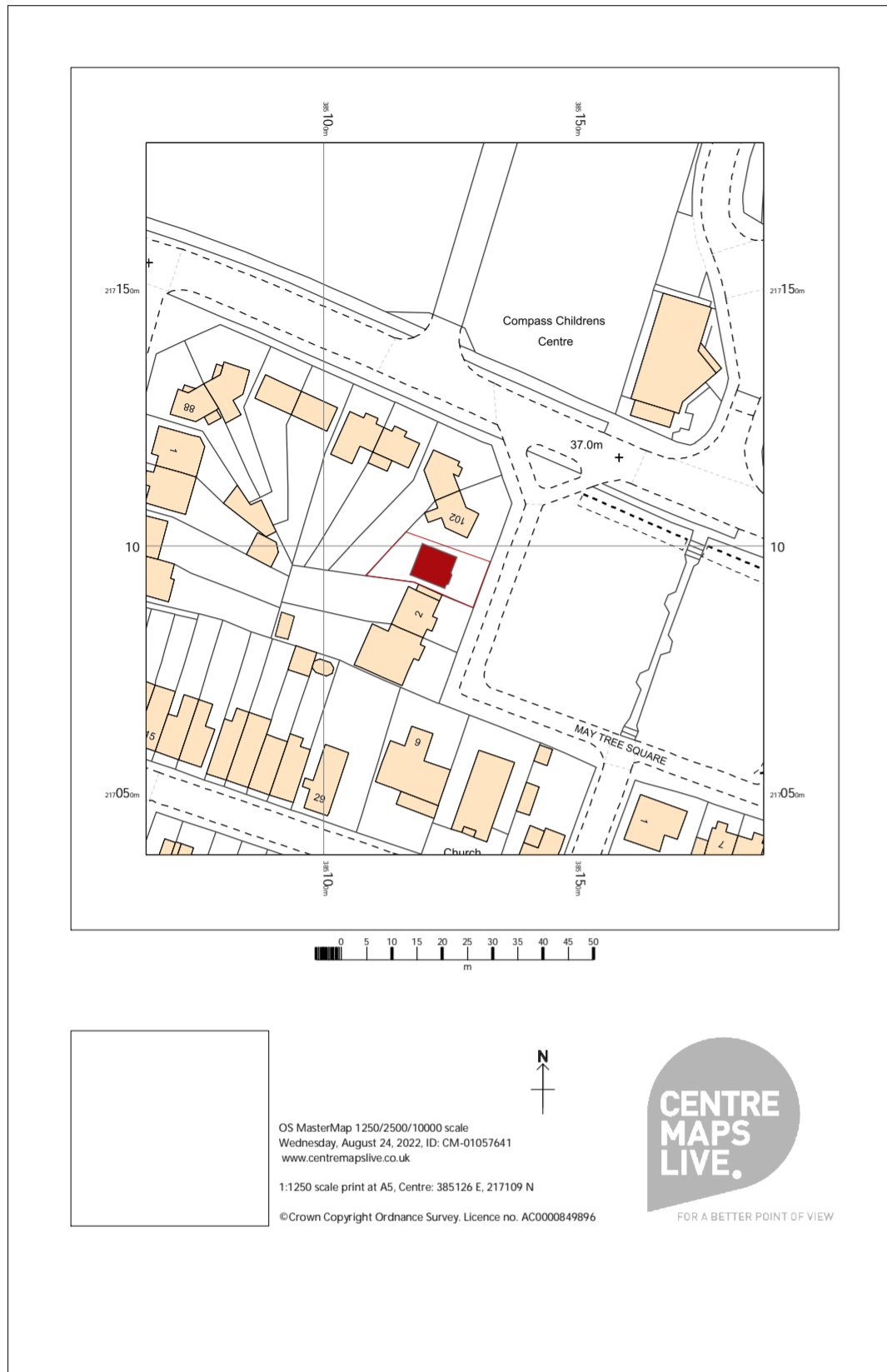
I / We agree to the outlined declaration

Signed

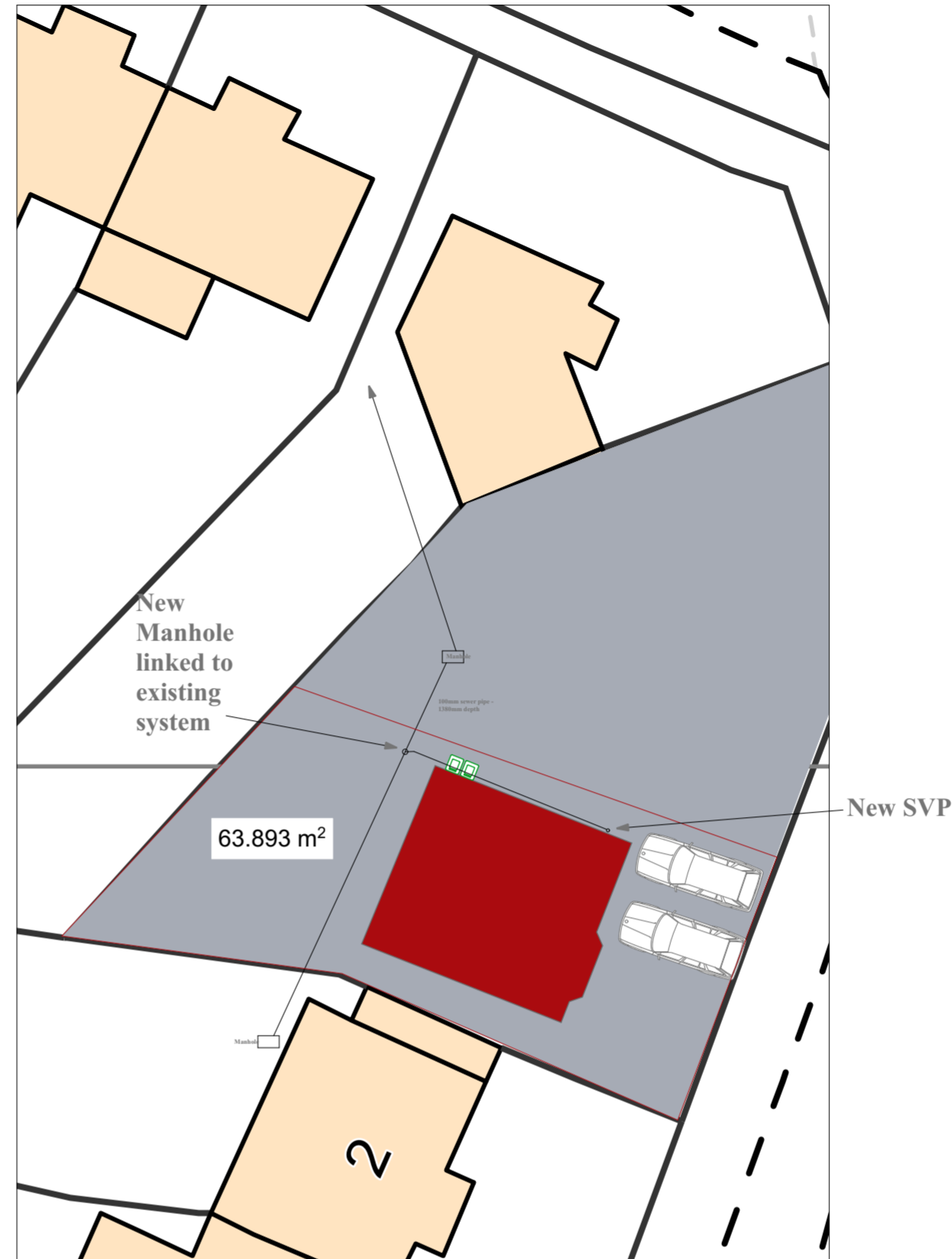
Cen Davies

Date

20/10/2022



Site/Location Plan 1:1250



Block Plan 1:200

Construction Risks Maintenance/cleaning Risks Demolition/adaptation Risks
 In addition to the hazard/risks normally associated with the types of work detailed on this drawing take note of the above. It is assumed that all works on this drawing will be carried out by a competent contractor working, where appropriate, to an appropriate method statement.

Notes
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RevID	Transmittal Set ID	Transmittal Set Name	Issue Date	Issue-Date	Status	Approved by

Scales @ A2 1:1250 1:200	Issuing Office Blueprint Architectural Planning Services	Project No. BP2023
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Client Approval
A - Approved
B - Approved with Comments
C - Do Not Use

Status	Purpose of Issue
For Approval	

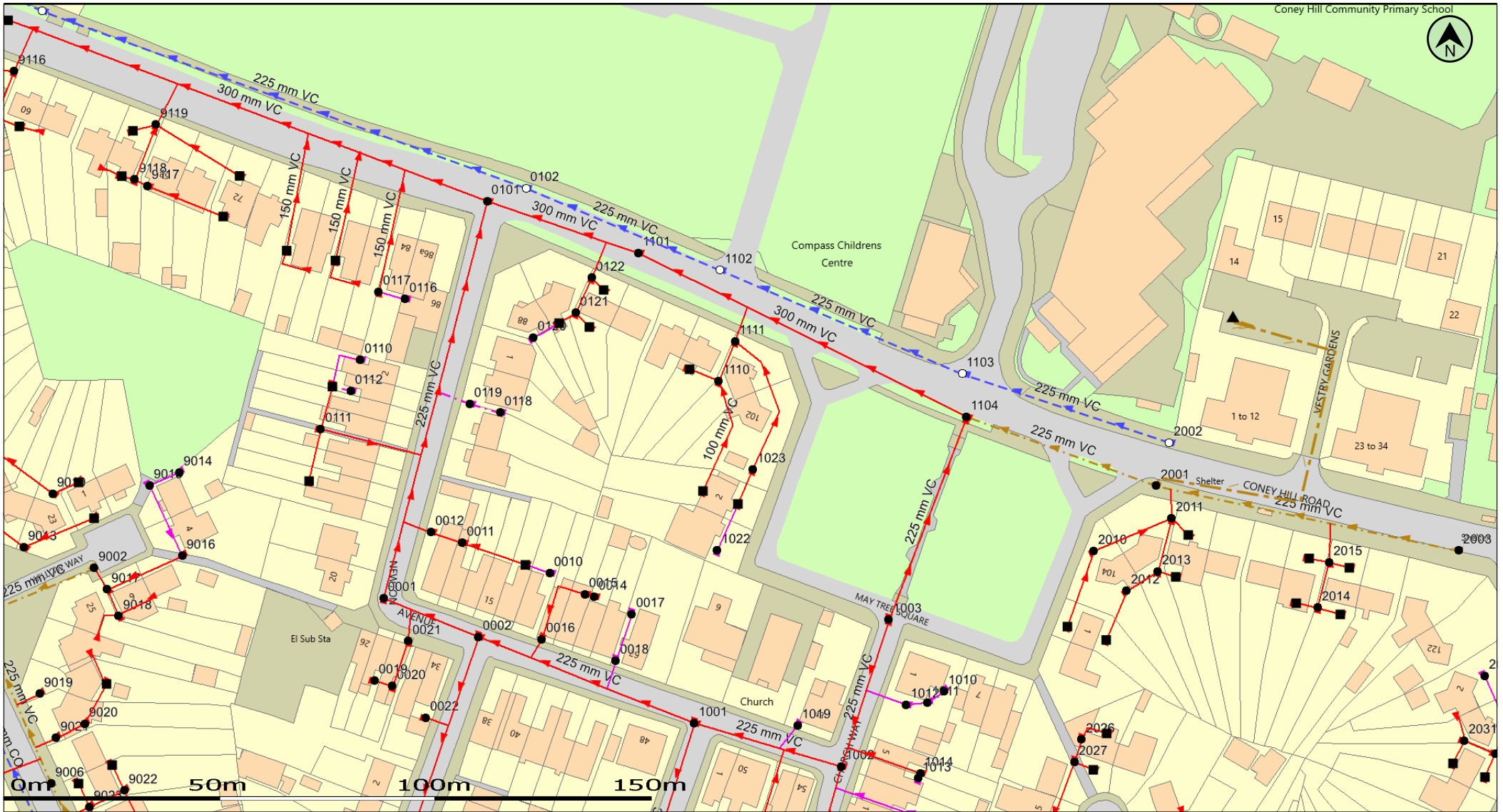
Originator
CEN DAVIES B.A

Project
**Proposed new dwelling
102 Coney Hill Road,**

Layout Title
Site Plan & Block Plan

Client
Mr B Bishop & Mr D Jenkins

Drawing Number						
project	originator	volume	level	type	role	number
BP2023	->ORD	->Layout	->Layout	->A-	->A-	BP2023 PE
rev						0



(c) Crown copyright and database rights 2022 Ordnance Survey 100031673 Date: 14/09/22 Scale: 1:1250 Map Centre: 385126,217107 Data updated: 14/08/22 Our Ref: 950968 - 1 Wastewater Plan A4

Do not scale off this Map. This plan and any information supplied with it is furnished as a general guide, is only valid at the date of issue and no warranty as to its correctness is given or implied. In particular this plan and any information shown on it must not be relied upon in the event of any development or works (including but not limited to excavations) in the vicinity of SEVERN TRENT WATER assets or for the purposes of determining the suitability of a point of connection to the sewerage or distribution systems. On 1 October 2011 most private sewers and private lateral drains in Severn Trent Water's sewerage area, which were connected to a public sewer as at 1 July 2011, Transferred to the ownership of Severn Trent Water and became public sewers and public lateral drains. A further transfer takes place on 1 October 2012. Private pumping stations, which form part of these sewers or lateral drains, will transfer to ownership of Severn Trent Water on or before 1 October 2016. Severn Trent Water does not possess complete records of these assets. These assets may not be displayed on the map. Reproduction by permission of Ordnance Survey on behalf of HMSO. © Crown Copyright and database right 2004. All rights reserved. Ordnance Survey licence number: 100031673. Document users other than SEVERN TRENT WATER business users are advised that this

Public Foul Gravity/Lateral Drain	→ → → →	Highway Drain	— — — —	Manhole Foul	●
Public Combined Gravity/Lateral Drain	→ → → →	Overflow Pipe	— — — —	Manhole Surface	○
Public Surface Water Gravity/Lateral Drain	→ → → →	Disposal Pipe	— — — —	Abandoned Pipe	× × × × × ×
Pressure Foul	→ → → →	Culverted Water Course	— — — —	Chamber	■
Pressure Combined	→ → → →	Pumping Station	▲ ▲ ▲ ▲		
Pressure Surface Water	→ → → →	Fitting	— — — —		

Section 104 sewers are shown in green
Private sewers are shown in magenta

102 Coney Hill Road

SEVERN

TRENT

GENERAL CONDITIONS AND PRECAUTIONS TO BE TAKEN WHEN CARRYING OUT WORK ADJACENT TO SEVERN TRENT WATER'S APPARATUS

Please ensure that a copy of these conditions is passed to your representative and/or your contractor on site. If any damage is caused to Severn Trent Water Limited (STW) apparatus (defined below), the person, contractor or subcontractor responsible must inform STW immediately on:

0800 783 4444 (24 hours)

- a) These general conditions and precautions apply to the public sewerage, water distribution and cables in ducts including (but not limited to) sewers which are the subject of an Agreement under Section 104 of the Water Industry Act 1991 (a legal agreement between a developer and STW, where a developer agrees to build sewers to an agreed standard, which STW will then adopt); mains installed in accordance with an agreement for the self-construction of water mains entered into with STW and the assets described at condition b) of these general conditions and precautions. Such apparatus is referred to as "STW Apparatus" in these general conditions and precautions.
- b) Please be aware that due to The Private Sewers Transfer Regulations June 2011, the number of public sewers has increased, but many of these are not shown on the public sewer record. However, some idea of their positions may be obtained from the position of inspection covers and their existence must be anticipated.
- c) On request, STW will issue a copy of the plan showing the approximate locations of STW Apparatus although in certain instances a charge will be made. The position of private drains, private sewers and water service pipes to properties are not normally shown but their presence must be anticipated. This plan and the information supplied with it is furnished as a general guide only and STW does not guarantee its accuracy.
- d) STW does not update these plans on a regular basis. Therefore the position and depth of STW Apparatus may change and this plan is issued subject to any such change. Before any works are carried out, you should confirm whether any changes to the plan have been made since it was issued.
- e) The plan must not be relied upon in the event of excavations or other works in the vicinity of STW Apparatus. It is your responsibility to ascertain the precise location of any STW Apparatus prior to undertaking any development or other works (including but not limited to excavations).
- f) No person or company shall be relieved from liability for loss and/or damage caused to STW Apparatus by reason of the actual position and/or depths of STW Apparatus being different from those shown on the plan.

In order to achieve safe working conditions adjacent to any STW Apparatus the following should be observed:

1. All STW Apparatus should be located by hand digging prior to the use of mechanical excavators.
2. All information set out in any plans received from us, or given by our staff at the site of the works, about the position and depth of the mains, is approximate. Every possible precaution should be taken to avoid damage to STW Apparatus. You or your contractor must ensure the safety of STW Apparatus and will be responsible for the cost of repairing any loss and/or damage caused (including without limitation replacement parts).
3. Water mains are normally laid at a depth of 900mm. No records are kept of customer service pipes which are normally laid at a depth of 750mm; but some idea of their positions may be obtained from the position of stop tap covers and their existence must be anticipated.

4. During construction work, where heavy plant will cross the line of STW Apparatus, specific crossing points must be agreed with STW and suitably reinforced where required. These crossing points should be clearly marked and crossing of the line of STW Apparatus at other locations must be prevented.
5. Where it is proposed to carry out piling or boring within 20 metres of any STW Apparatus, STW should be consulted to enable any affected STW Apparatus to be surveyed prior to the works commencing.
6. Where excavation of trenches adjacent to any STW Apparatus affects its support, the STW Apparatus must be supported to the satisfaction of STW. Water mains and some sewers are pressurised and can fail if excavation removes support to thrust blocks to bends and other fittings.
7. Where a trench is excavated crossing or parallel to the line of any STW Apparatus, the backfill should be adequately compacted to prevent any settlement which could subsequently cause damage to the STW Apparatus. In special cases, it may be necessary to provide permanent support to STW Apparatus which has been exposed over a length of the excavation before backfilling and reinstatement is carried out. There should be no concrete backfill in contact with the STW Apparatus.
8. No other apparatus should be laid along the line of STW Apparatus irrespective of clearance. Above ground apparatus must not be located within a minimum of 3 metres either side of the centre line of STW Apparatus for smaller sized pipes and 6 metres either side for larger sized pipes without prior approval. No manhole or chamber shall be built over or around any STW Apparatus.
9. A minimum radial clearance of 300 millimetres should be allowed between any plant or equipment being installed and existing STW Apparatus. We reserve the right to increase this distance where strategic assets are affected.
10. Where any STW Apparatus coated with a special wrapping is damaged, even to a minor extent, STW must be notified and the trench left open until the damage has been inspected and the necessary repairs have been carried out. In the case of any material damage to any STW Apparatus causing leakage, weakening of the mechanical strength of the pipe or corrosion-protection damage, the necessary remedial work will be recharged to you.
11. It may be necessary to adjust the finished level of any surface boxes which may fall within your proposed construction. Please ensure that these are not damaged, buried or otherwise rendered inaccessible as a result of the works and that all stop taps, valves, hydrants, etc. remain accessible and operable. Minor reduction in existing levels may result in conflict with STW Apparatus such as valve spindles or tops of hydrants housed under the surface boxes. Checks should be made during site investigations to ascertain the level of such STW Apparatus in order to determine any necessary alterations in advance of the works.
12. With regard to any proposed resurfacing works, you are required to contact STW on the number given above to arrange a site inspection to establish the condition of any STW Apparatus in the nature of surface boxes or manhole covers and frames affected by the works. STW will then advise on any measures to be taken, in the event of this a proportionate charge will be made.
13. You are advised that STW will not agree to either the erection of posts, directly over or within 1.0 metre of valves and hydrants,
14. No explosives are to be used in the vicinity of any STW Apparatus without prior consultation with STW.

TREE PLANTING RESTRICTIONS

There are many problems with the location of trees adjacent to sewers, water mains and other STW Apparatus and these can lead to the loss of trees and hence amenity to the area which many people may have become used to. It is best if the problem is not created in the first place. Set out below are the recommendations for tree planting in close proximity to public sewers, water mains and other STW Apparatus.

15. Please ensure that, in relation to STW Apparatus, the mature root systems and canopies of any tree planted do not and will not encroach within the recommended distances specified in the notes below.
16. Both Poplar and Willow trees have extensive root systems and should not be planted within 12 metres of a sewer, water main or other STW Apparatus.

17. The following trees and those of similar size, be they deciduous or evergreen, should not be planted within 6 metres of a sewer, water main or other STW Apparatus. E.g. Ash, Beech, Birch, most Conifers, Elm, Horse Chestnut, Lime, Oak, Sycamore, Apple and Pear. Asset Protection Statements Updated May 2014

18. STW personnel require a clear path to conduct surveys etc. No shrubs or bushes should be planted within 2 metre of the centre line of a sewer, water main or other STW Apparatus.

19. In certain circumstances, both STW and landowners may wish to plant shrubs/bushes in close proximity to a sewer, water main or other STW Apparatus for screening purposes. The following are shallow rooting and are suitable for this purpose: Blackthorn, Broom, Cotoneaster, Elder, Hazel, Laurel, Privet, Quickthorn, Snowberry, and most ornamental flowering shrubs.

Manhole Reference	Liquid Type	Cover Level	Invert Level	Depth to Invert
0001	C	33	31.16	1.84
0002	C	33.53	32.41	1.12
0010	C	-	0	0
0011	C	-	0	0
0012	C	-	0	0
0014	C	-	0	0
0015	C	-	0	0
0016	C	-	0	0
0017	C	-	0	0
0018	C	-	0	0
0019	C	-	0	0
0020	C	-	0	0
0021	C	-	0	0
0022	C	-	0	0
0101	C	33.3	30.21	3.09
0111	C	-	0	0
0116	C	-	0	0
0117	C	-	0	0
0120	C	-	0	0
0121	C	-	0	0
0122	C	-	0	0
1001	C	35.89	34.35	1.54
1002	C	37.24	35	2.24
1003	C	37.45	35.39	2.06
1010	C	-	0	0
1011	C	-	0	0
1012	C	-	0	0
1013	C	-	0	0
1014	C	-	0	0
1022	C	-	0	0
1023	C	-	0	0
1101	C	35.54	31.36	4.18

Manhole Reference	Liquid Type	Cover Level	Invert Level	Depth to Invert
1104	C	37.6	34.26	3.35
1110	C	-	0	0
1111	C	-	0	0
2010	C	-	0	0
2011	C	-	0	0
2012	C	-	0	0
2013	C	-	0	0
2014	C	-	0	0
2015	C	-	0	0
2026	C	-	0	0
2027	C	-	0	0
2029	C	-	0	0
2030	C	-	0	0
2031	C	-	0	0
9010	C	-	0	0
9013	C	-	0	0
9014	C	-	0	0
9015	C	-	0	0
9016	C	-	0	0
9017	C	-	0	0
9018	C	-	0	0
9019	C	-	0	0
9020	C	-	0	0
9021	C	-	0	0
9022	C	-	0	0
9023	C	-	0	0
9116	C	-	0	0
9117	C	-	0	0
9118	C	-	0	0
9119	C	-	0	0
0110	F	-	0	0
0112	F	-	0	0



Architectural Planning Services

Practice name: Blueprint Architectural Planning Services.

Job Reference: BP2023

Address: 4 Danford Villas, Hartpury, Gloucester, GL19 3BH

Date 23 September 2022

Proposed New Dwelling on land at 102 Coney Hill Road Gloucester.

1. Professional Experience

- 1.1 Blueprint Architectural Planning Services is a planning and 3D design consultancy, covering all aspects of development including commercial, retail, industrial, residential, recreational and leisure uses. The practice acts for a wide range of clients, including landowners, private individuals and development companies, in connection with a variety of planning matters.
- 1.2 **Instructions & Background**
This planning supporting statement has been prepared on behalf of Mr Ben Bishop and Mr Daryl Jenkins to support an application for outline planning permission for 1 dwelling and associated access.
- 1.3 The application site comprises of 0.018 hectares of land located on to the side of 102 Coney Hill Road in Gloucester. The application is submitted on the basis that the proposal complies with Development Plan, Ambition 2 of the Gloucester and Tewkesbury Joint Core Strategy 2011-2031 which identifies in Strategic objective 5 that development 'Ensures that
- 1.4
 - *All new developments are valued by residents by:
 - Integrating them well with existing communities and providing well-located infrastructure which meets the needs of residents.
 - Creating a strong sense of place through high quality and inclusive design that respects and enhances local distinctiveness.
- 1.4 The suitability of the site as a location for new housing, considering the lack of housing land supply, most certainly leads to the granting of outline planning in this case, even though it is an application for a single dwelling.
- 1.5 This application seeks confirmation that the proposals are acceptable in principle, considering policy considerations and other matters affecting the site insofar as the Local Planning Authority (LPA) are entitled to consider those matters under an application for Outline Planning.
- 1.6 This Planning Statement describes the site, its context and the development. It then sets out the development plan policies relevant to this case, and addresses matters concerning the location, land use and amount of development proposed against these policies. Taking this into account, the application is accompanied by a street elevation scene which is submitted to show how such a development could be achieved on the site in a manner that respects the historical character of the area.
- 1.7 It also considers the influence of other material considerations such as national policy, especially regarding housing land supply and sustainable development. It makes the clear case why the proposed development in principle should be permitted.

2.0 Site Context

- 2.1 The application site is on the south west side of Coney Hill Road in Gloucester, in a quadrangle of buildings just off the main road. It currently forms part of the garden to 102 Coney Hill Road.
- 2.2 The site sits to the south west of 102 Coney Hill Road which is a busy road serving the community to the east of the city. It is the main route for commuters into the city as well as being the main route for local school access. In addition there is a crematorium in the area which also provides increased traffic movement in the west area of Coney Hill road.
- 2.3 The site provides easy access to both the A40 and the motorway system in the area providing excellent connections to the national and local road system.
- 2.4 Currently the site comprises of a side garden area with a prefabricated garage in the far left of the plot. The hedges at the rear are overgrown and the garden area is fenced at the rear and part of the side elevation. The remaining side elevation and front border is hedging at around 4 feet high.
- 2.5 The site is located by the second property in first junction to the right after Willow way is passed. It is a development that was built between 1933 and 1948 as the Coney Hill Estate was developed. Consequently the houses have a certain style that is mirrored in this application. To the North East is the Compass Childrens Centre which is a modern design as well as the Coney Hill Primary School which again was developed with scant regard to the local character.

3.0 The Proposal

- 3.1 This application seeks permission for a residential dwelling in the land to the south west of 102 Coney Hill Road.
- 3.2 This is considered to be a sympathetic design in the large space that the garden occupies belonging to 102 Coney Hill Road. The design allows for the land area of 271.3 square meters to be split allowing for 83 square meters of amenity space to be left for 102 Coney Hill Road, whilst 102a (the Proposed new dwelling site) will have an amenity space of 68.062 square meters .
- 3.3 An overview site plan is provided together with this application to illustrate that the overall design and spatial awareness has been carefully considered to ensure the dwelling can be accommodated on this site.
- 3.4 The proposed design /development will have no harmful impact on the visual aesthetics of either the street scene or the character of the area when viewed from the East approach to Coney Hill Road and will not be visible when traveling East on Coney Hill Road.
- 3.5 A new vehicle access to the site will mean that the kerbstone will need to be dropped to allow for ease of entry to the site.
- 3.6 The development proposal has sought to ensure that in the current social climate of two car families, that there is enough space to park both cars off road.

4. Planning Policy Context.

- 4.1 This section of the Statement sets out an overview of the planning policies relevant to this outline planning application. These have been considered during the process of formulating this proposal and

will form the basis of the application determination.

4.2 As laid out in Section 38(6) of the Planning and Compulsory Purchase Act 2004, applications are to be determined in accordance with the Regional Strategy for the region in which the area is situated, the Development Plan documents (taken as a whole) which have been adopted or approved in relation to that area and the neighbourhood development plans which have been made in that area. For the purposes of any area in England (but subject to subsection (3B)) a neighbourhood development plan which relates to that area also forms part of the development plan for that area if—

- (a) section 38A(4)(a) (approval by referendum) applies in relation to the neighbourhood development plan, but
- (b) the local planning authority to whom the proposal for the making of the plan has been made have not made the plan

The neighbourhood development plan ceases to form part of the development plan if the local planning authority decide under section 38A(6) not to make the plan.]

4.3 The JCS (Joint Core Strategy for Gloucester, Cheltenham and Tewkesbury) has set out the overall strategy to guide development across the district until 2031

4.4 These include the District Plans for each of the above areas leading to Neighbourhood plans that tie in across all areas.

4.5 However, given the Council's identified housing land supply shortfall, it is considered that the aspects of policy that seek to boost the supply of housing should be given some weight, as it indicates the direction of travel towards a more positive approach to providing at least some small-scale and organic housing growth in urban settlements going forward. In the context of an undersupply of housing, this is a factor that the applicant feels can be afforded due weight.

4.6 Other relevant material policy considerations include the Government's guidance contained within the National Planning Policy Framework (NPPF), The Planning Practice Guidance (PPG) and Supplementary Planning Documents relating to Affordable Housing and Residential Design.

The National Planning Policy Framework

4.7 The National Planning Policy Framework (NPPF) sets out the Government's national planning policies for England and how they are expected to be applied. One of the key purposes of the NPPF is to promote sustainable growth. The NPPF is not part of the development plan but as a national guidance it is a material consideration in determining applications and is capable of outweighing the development plan.

4.8 Paragraphs 7 and 8 set out the purpose of the planning system, which is to contribute towards the achievement of sustainable development. It clarifies that there are three dimensions to sustainable development, these are:

- An economic role – building a strong economy by providing that sufficient land of the “right type is available in the right places”.
- A social role – providing housing to meet the needs of the present and future generations in a high-quality built environment
- An environmental role- protecting and enhancing the natural environment and improving biodiversity.

- 4.9 The guidance goes on to state that the three roles should not be taken in isolation because they are mutually dependant. Paragraph 11 states that plans and decision should apply a presumption in favour of sustainable development. This means approving development proposals that accord with the development plan without delay; and where the development plan is out-of-date granting planning permission, unless the adverse impacts of development significantly and demonstrably outweigh the benefits.
- 4.10 Footnote 7 clarifies that for the purposes of II d), policies most important for determining applications including housing will be 'out of date' in situations where the local planning authority cannot demonstrate a five-year supply of deliverable housing sites. The application of the 'tilted' planning balance therefore applies in the determination of this application because the Council cannot demonstrate a five-year housing land supply shortfall, as discussed in further detail within this statement.
- 4.11 Paragraph 59 seeks to boost significantly the supply of housing.
- 4.12 Paragraph 68 states that small sites can make an important contribution to meeting the housing requirement of an area and local planning authorities should support the development of windfall sites through their policies and decisions — giving great weight to the benefits of using suitable sites within existing settlements for homes.
- 4.13 Paragraph 78 states that to promote sustainable development in rural areas, housing should be located where it will enhance or maintain the vitality of rural communities.
- 4.14 Paragraph 103 aims for the transport system to be balanced in favour of sustainable modes of travel, which will in turn offer people a genuine choice over how they travel. The government do, however, recognise that opportunities for sustainable transport may vary from urban areas to rural areas.

5. Planning Policy

For this application to be successful, the following intend to show compliance with the policy set out in the JCS for Gloucester.

JCS Policy	How proposals comply
Policy SP2 Distribution of new development	Whilst this is not a major urban development, the additional of one new dwelling contributes to the overall strategy of meeting the needs for additional housing in Gloucester.
Policy SP2b Apportionment of Strategic Allocations sites and District Capacity	Gloucester City Urban Capacity has a net need of 7772, again in providing one new dwelling this complies with the overall strategy albeit in a minuscule way.
Policy SD3 Sustainable Design and Construction	This proposal will increase energy efficiency through several means: <ul style="list-style-type: none"> a) Solar Voltaic Panels. By installing an 8KW system onto the south facing roof, this will lead to energy savings directly.

	<ul style="list-style-type: none"> b) By the installation of an Air source heat pump, the reliance on fossil fuels will be offset by the supply of electricity for the dwelling coming by en large from solar panels. c) By using photo voltaic panels and an inverter, hot water can be generated by this system, again reducing the need to zero for fossil fuels. d) By increasing the insulation in the roof to 500mm minimum, this will ensure that heat loss is minimal. I e) All glazing to be triple glazing thereby increasing the thermal conductivity to .13 f) All. Insulation within walls to be increased to 100mm rockwool insulation if brick and block built but if an ICF system is chosen then this again increases the thermal resistance of the dwelling thus complying with policy SD3
<p>Policy SD4 Design Requirements</p> <p>1. Context, Character and sense of place.</p>	<p>The proposal has taken note of the character and aesthetics of the surrounding building and used to cultivate a similar bond between the existing dwellings and the new dwelling. Examples of this include:</p> <ul style="list-style-type: none"> a) Mirroring the brickwork colour and style where possible. b) Ensuring that arches over windows are built in the corresponding style to neighbouring properties. c) Ensuring that eaves details are adopted to reflect the design of a bygone era. <p>This will ensure that context, character and sense of place have been incorporated into this design.</p>
<p>2. Legibility and identity.</p>	<p>As this paragraph applies to bigger residential layouts, it is unclear as to how this proposal fits in – however, in designing a strong character filled property which will not stand out in its surroundings but is sympathetic to the surrounding design style, we are maintaining the distinctive identity of the Coney Hill dwellings</p>
<p>3. Amenity and space.</p>	<p>The location of this proposal in the land between two properties has sought to maximise the amenity space for both properties involved. Both properties will enjoy comfort due to a lack of shadowing as in the afternoon, the rear gardens of both properties will enjoy the sunshine in the appropriate seasons- indeed, a precedent has</p>

	been set in the design of the cul de sac that the properties sit in, as the row that 102 Coney hill road is on has several properties adjacent to each other. A 6 foot fence will be erected between 102 and 102 A to ensure privacy for both properties.
4. Inclusiveness and adaptability.	The proposal will seek to drop the kerb access into plot 102a ensuring that there is no obstacle for any persons including those with disability. As the pavement access continues to the main road, this is crucial for access to public transport.
5. Movement and connectivity	This design integrates with its surrounding in many ways to comply with policy SD4. Indeed, the location as a whole is fortunate in that it has excellent access to sustainable transport modes and it is envisaged that the prospective owners of the new dwelling will embrace the new drive towards ultra-low emission vehicles.

Principles of Urban Design	
<p>Character</p> <ul style="list-style-type: none"> i. Create or reinforce a sense of place with its own distinctive identity. ii. Reflect existing topography, landscape and ecology. iii. Utilise a hierarchy of building form and design to reflect the use and importance of buildings. iv. Create focal points and places, that signal clear nodes for sustainable movement. v. Create areas of hard and soft landscaping. <p>Continuity and enclosure</p> <ul style="list-style-type: none"> vi. Use buildings and trees to define space. vii. Distinguish clearly between public and private spaces, providing continuous building frontages between them where possible. <p>Quality of the public realm</p> <ul style="list-style-type: none"> viii. Create attractive spaces which provide a variety of interest and experience. ix. Produce comfortable local microclimates. x. Provide overlooking of streets and spaces, especially main elevations. xi. Design lighting and landscaping to reduce opportunities for crime. xii. Enrich space with well-designed details (e.g., paving, public art, lighting, signs, seats, railings, cycle parking, bus shelters and other street furniture); xiii. Avoid visual clutter and confusion, especially from signs and advertisements. 	<p>This design complies with these statements.</p> <p>It is not possible to landscape the front access due to parking requirements, but existing hedging will be retained and both 102 and 102a will be separated by a clearly defined fence.</p>

<p>xiv. Design areas for ease of maintenance, particularly regarding litter collection, mechanical sweeping, and the maintenance of planted areas.</p> <p>Ease of movement</p> <p>xv. Promote accessibility to and within an area by foot, bicycle, and public transport and for people with limited mobility prioritising direct legible routes for these modes.</p> <p>xvi. Integrate transport nodes to promote public transport use and provide seamless movement between modes.</p> <p>xvii. Increase permeability by avoiding cul-de-sacs and connecting adjacent streets.</p> <p>Legibility</p> <p>xviii Develop a clear and easily understood image of an area</p> <p>xxx Retain and create views of existing and new landmarks skylines and other focal points</p> <p>xx. Provide recognisable and memorable features, especially at key locations.</p> <p>Durability</p> <p>xxi. Create spaces that can adapt easily to changes in need and use.</p> <p>xxii. Provide environments which are suitable for their use.</p> <p>xxiii. Use materials that are fit for purpose as well as attractive</p> <p>Diversity</p> <p>xxiv. Where appropriate within buildings, streets or areas, consider a mix of building forms, uses and tenures.</p>	<p>Plenty of pavement access for waste collection.</p> <p>Smooth driveway a pavement access will ensure that there is ample opportunity for people with limited mobility to utilise various modes of transportation.</p> <p>This proposal will not detract from the character of the area due to the careful inclusion of aesthetic characteristics of surrounding dwellings.</p> <p>Materials to be use to comply with Building Regulations 2015 but also blend in with the surrounding properties.</p>
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6. Planning Appraisal.

6.1 In summary, the proposal that have been submitted would have the following positive economic, environmental and social effects however small due to it being one dwelling:

- This increases the housing supply albeit in a small way.
- The provision of a family sized dwelling that is in an affordable area.
- Construction jobs and associated activity and trades.
- Property transactions
- Additional funding in the form of council taxes – again however small, it is still an increase.
- Suitable infill for the plot, not overbearing or out of character with its neighbouring dwellings.
- Contribute to the ecological targets through less reliance on fossil fuel energy supplies.
- Provide a small increase in employable persons either through transition or integration into the community.

- 6.2 The proposal has been assessed against the policies set out in the Joint Core Strategy for Gloucester Cheltenham and Tewkesbury as well as the strategic development plans for Gloucester and complies with the policies that a proposal of this type allies itself with.
- 6.3 The proposal has residential boundaries on two sides with the introduction of a third side once the land has been legally split and so is very well contained.



Construction Risks Maintenance/cleaning Risks Demolition/adaptation Risks

In addition to the hazard/risks normally associated with the types of work detailed on this drawing take note of the above. It is assumed that all works on this drawing will be carried out by a competent contractor working, where appropriate, to an appropriate method statement.

Safety Health and Environmental Information Box

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RevID	Transmittal Set ID	Transmittal Set Name	Issue Date	Issuer-Ints	Status	Approved by

Scales @ A1	Issuing Office Blueprint Architectural Planning Services	Project No. BP2023
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Client Approval	
A - Approved	
B - Approved with Comments	
C - Do Not Use	

Status Code	Purpose of Issue
	For Approval

Originator	CEN DAVIES B.A
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Project	Proposed new dwelling 102 Coney Hill Road,
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Layout Title	Existing Street Scene
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Client	Mr B Bishop & Mr D Jenkins
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Drawing Number							
project	originator	volume	level	type	role	number	rev
BP2023	-OR0-	#Layout	#Layout	#Layout	-A-	BP2023 ESS	0



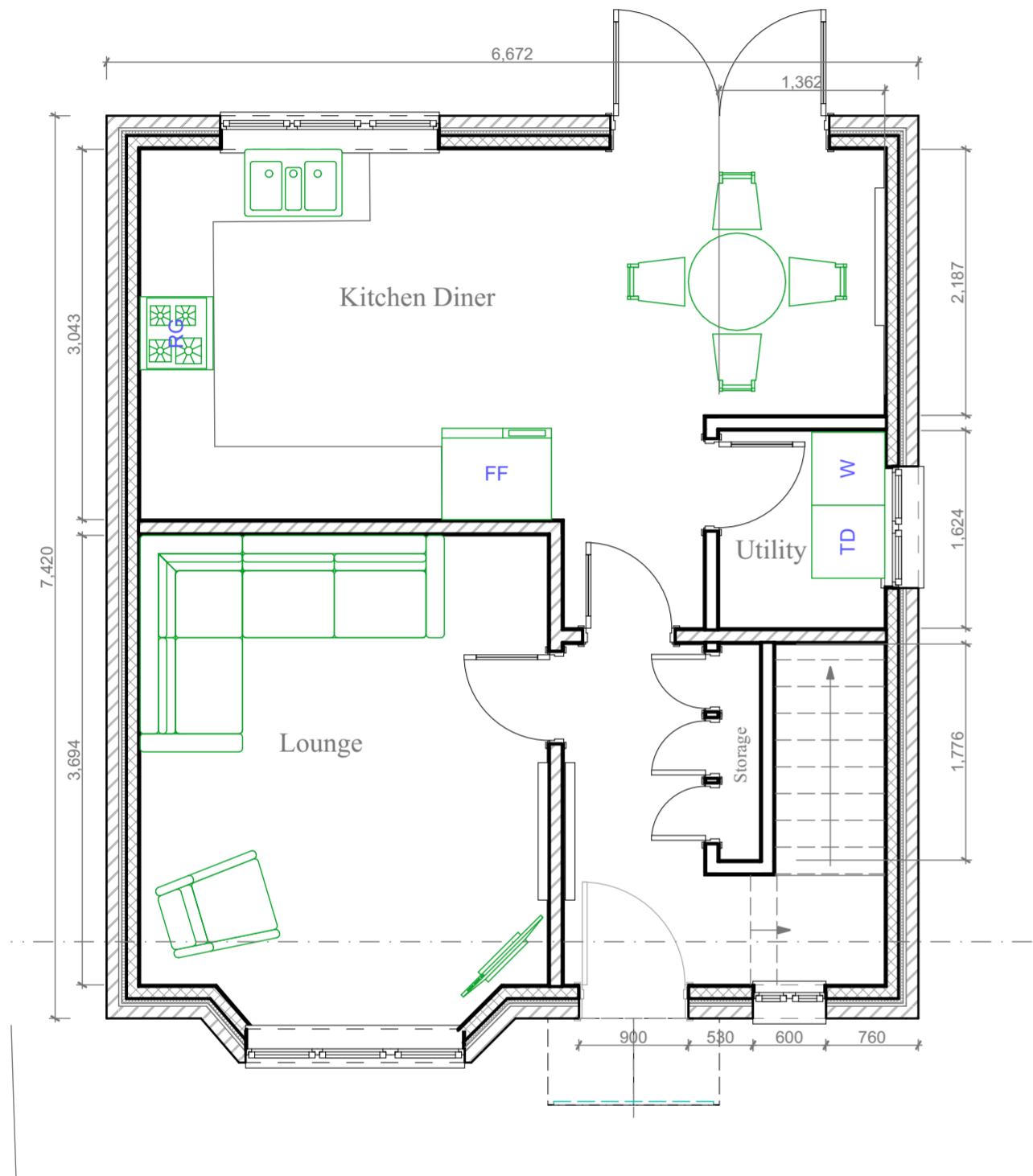
Construction Risks Maintenance/cleaning Risks Demolition/adaptation Risks

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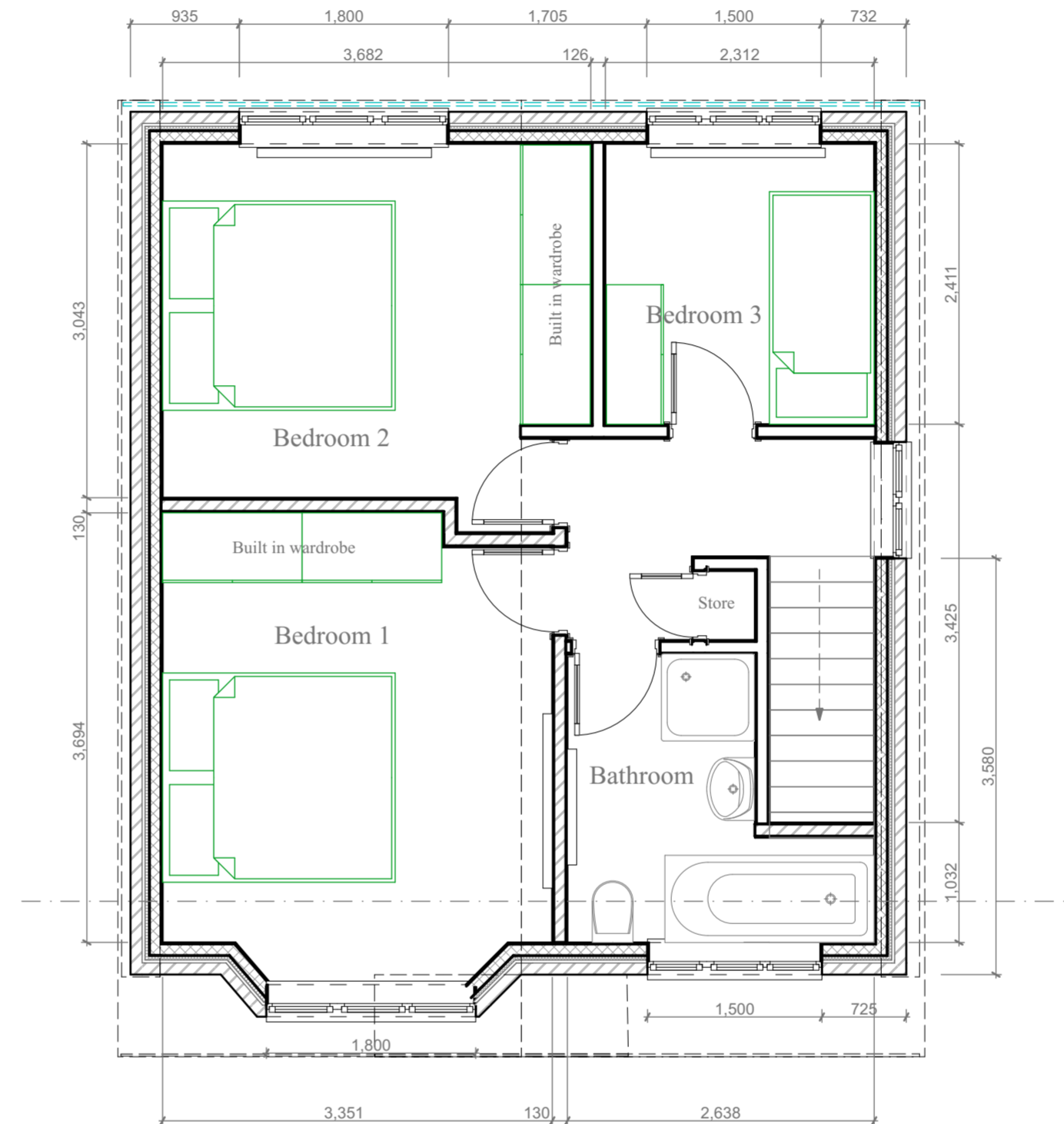
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GF-Ground Floor (2)
1:50



01-First Floor (1)
1:50

RevID	Transmittal Set ID	Transmittal Set Name	Issue Date	Issuer-Ints	Status	Approved by
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Scales @ A2 1:50	Issuing Office Blueprint Architectural Planning Services	Project No. BP2023
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Client Approval

A - Approved
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C - Do Not Use

Status #Layout Status Code	Purpose of Issue For Approval
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Originator
CEN DAVIES B.A

Project
Proposed new dwelling
102 Coney Hill Road,

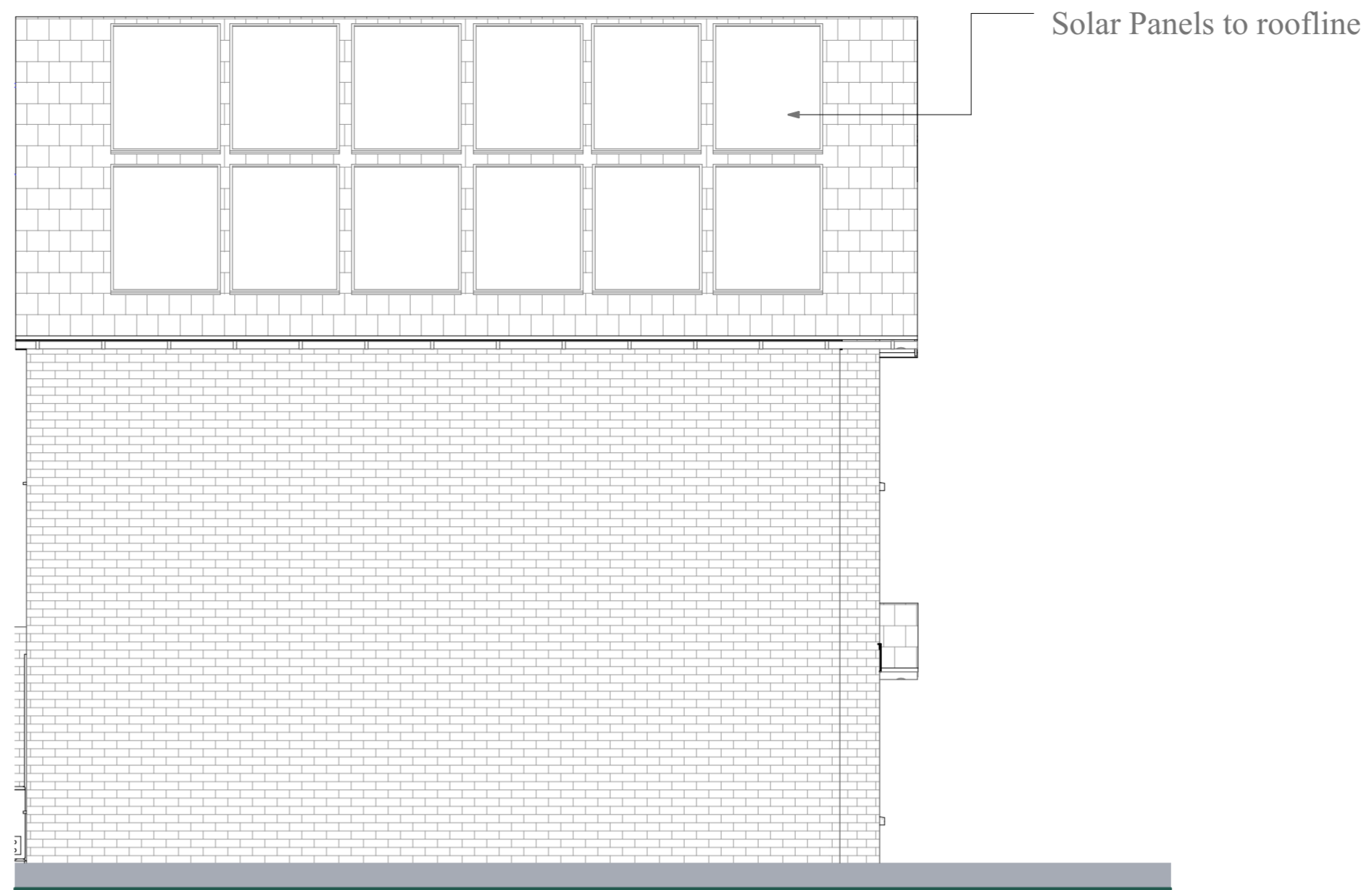
Layout Title
Proposed Floor Plans

Client
Mr B Bishop & Mr D Jenkins

Drawing Number							number	rev	
project	originator	volume	level	type	role				
BP2023	-ORIG-	#Layout	Volume	#Layout	Level	#Layout	-CA-	BP2023 PFP	0



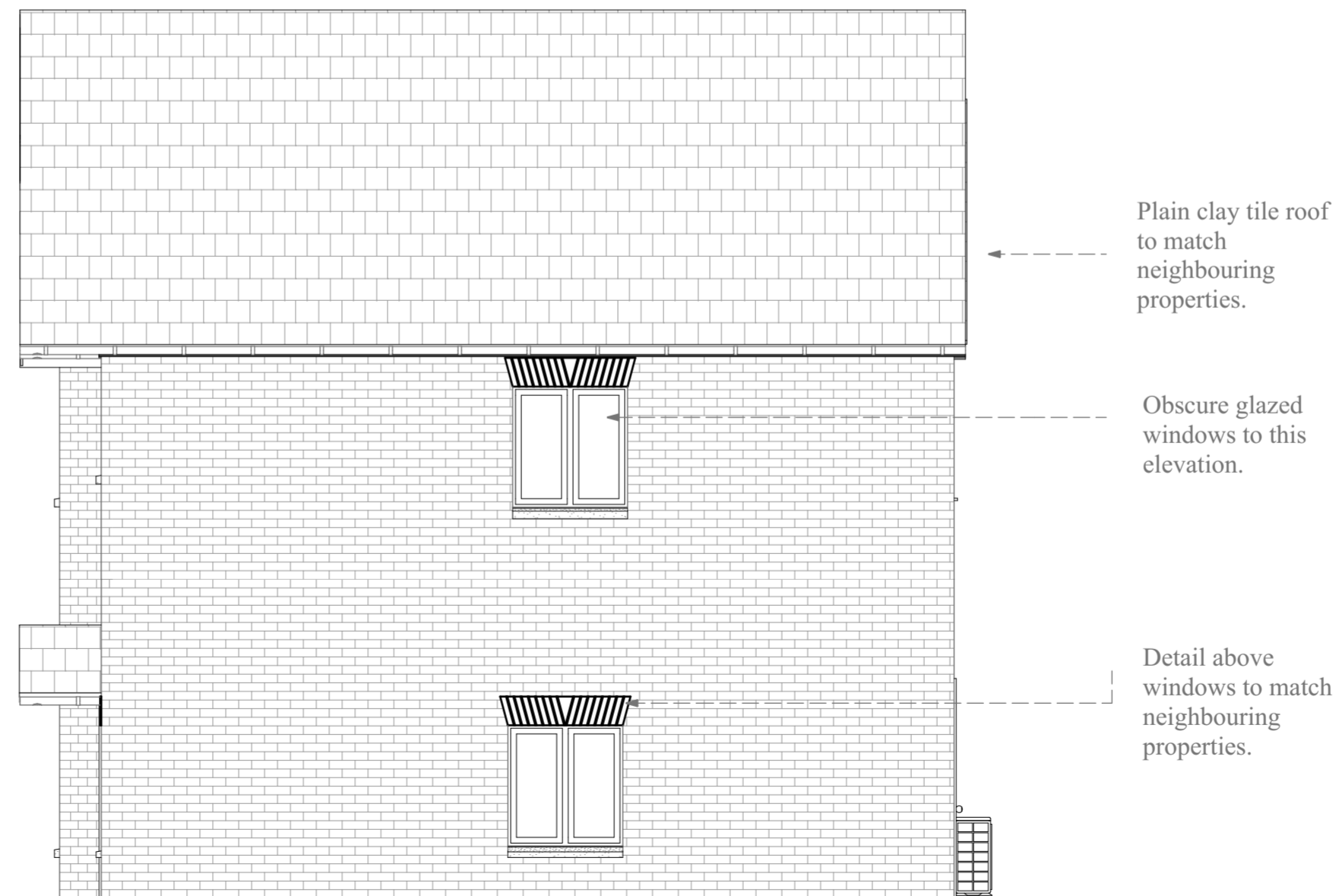
Proposed South East Elevation



Proposed South West Elevation



Proposed North West Elevation



Proposed North East Elevation

Construction Risks Maintenance/cleaning Risks Demolition/adaptation Risks

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Scales @ A2 1:50	Issuing Office Blueprint Architectural Planning Services	Project No. BP2023
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Status	Purpose of Issue
For Approval	

Originator	CEN DAVIES B.A
Project	Proposed new dwelling 102 Coney Hill Road,

Layout Title	Proposed Elevations
Client	Mr B Bishop & Mr D Jenkins

Drawing Number							number	rev
project	originator	volume	level	type	role		BP2023 PE	0
BP2023	-ORO-	#Layout	#Layout	#Layout	-A-	Volume Level Type		



ARCHITECTURAL PLANNING SERVICES



Construction Risks Maintenance/cleaning Risks Demolition/adaptation Risks

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Proposed Street Scene

RevID	Transmittal Set ID	Transmittal Set Name	Issue Date	Issuer-Ints	Status	Approved by
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Scale	Issuing Office	Project No.
1:50	Blueprint Architectural Planning Services	BP2023

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Status Code	Purpose of Issue
	For Approval

Originator	CEN DAVIES B.A
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Project	Proposed new dwelling 102 Coney Hill Road,
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Layout Title	Proposed Street Scene
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Client	Mr B Bishop & Mr D Jenkins
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Drawing Number							
project	originator	volume	level	type	role	number	rev
BP2023	-OR0-					BP2023 PE	0