

Application for Approval of Details Reserved by Condition

Town and Country Planning Act 1990 (as amended); Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number	<input type="text" value="15"/>
Suffix	<input type="text"/>
Property Name	<input type="text"/>
Address Line 1	<input type="text" value="Green Lane"/>
Address Line 2	<input type="text"/>
Address Line 3	<input type="text" value="Gloucestershire"/>
Town/city	<input type="text" value="Gloucester"/>
Postcode	<input type="text" value="GL3 3QT"/>

Description of site location must be completed if postcode is not known:

Easting (x)	<input type="text" value="387347"/>	Northing (y)	<input type="text" value="217187"/>
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Description

Applicant Details

Name/Company

Title

Mr

First name

Malcolm

Surname

Rickards

Company Name

Rickards Construction Ltd

Address

Address line 1

Hillsboro

Address line 2

Brockworth Road, Churchdown,

Address line 3

Gloucestershire

Town/City

Gloucester

Country

United Kingdom

Postcode

GL3 2NH

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

***** REDACTED *****

Secondary number

Fax number

Email address

Description of the Proposal

Please provide a description of the approved development as shown on the decision letter

Condition 4
Construction of the new- build dwelling hereby approved shall not proceed beyond finished - floor/slab level until a schedule of external materials, finishes and fenestration details has been submitted to and approved in writing by the local planning authority. As a minimum the materials schedule shall include the manufacturer and material name, details of the colour (where relevant) and a photographic example of the material/finish. Thereafter, the development shall be completed and maintained in accordance with the approved details.

Reference number

Date of decision (date must be pre-application submission)

Please state the condition number(s) to which this application relates

Condition number(s)

Has the development already started?

- Yes
 No

Part Discharge of Conditions

Are you seeking to discharge only part of a condition?

- Yes
 No

Discharge of Conditions

Please provide a full description and/or list of the materials/details that are being submitted for approval

Windows and doors white upvc
Roof
Brickwork

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes

No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

The agent

The applicant

Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes

No

Declaration

I / We hereby apply for Approval of details reserved by a condition (discharge) as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

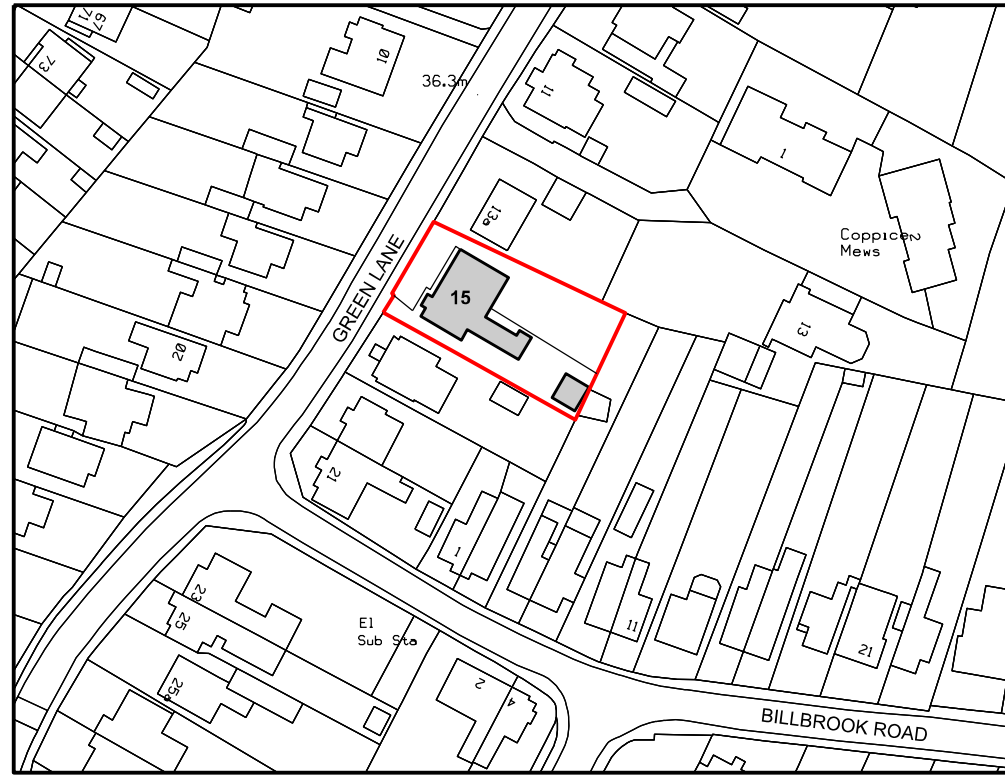
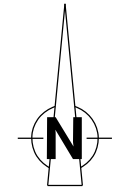
I / We agree to the outlined declaration

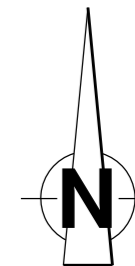
Signed

Malcolm Rickards

Date

05/09/2022







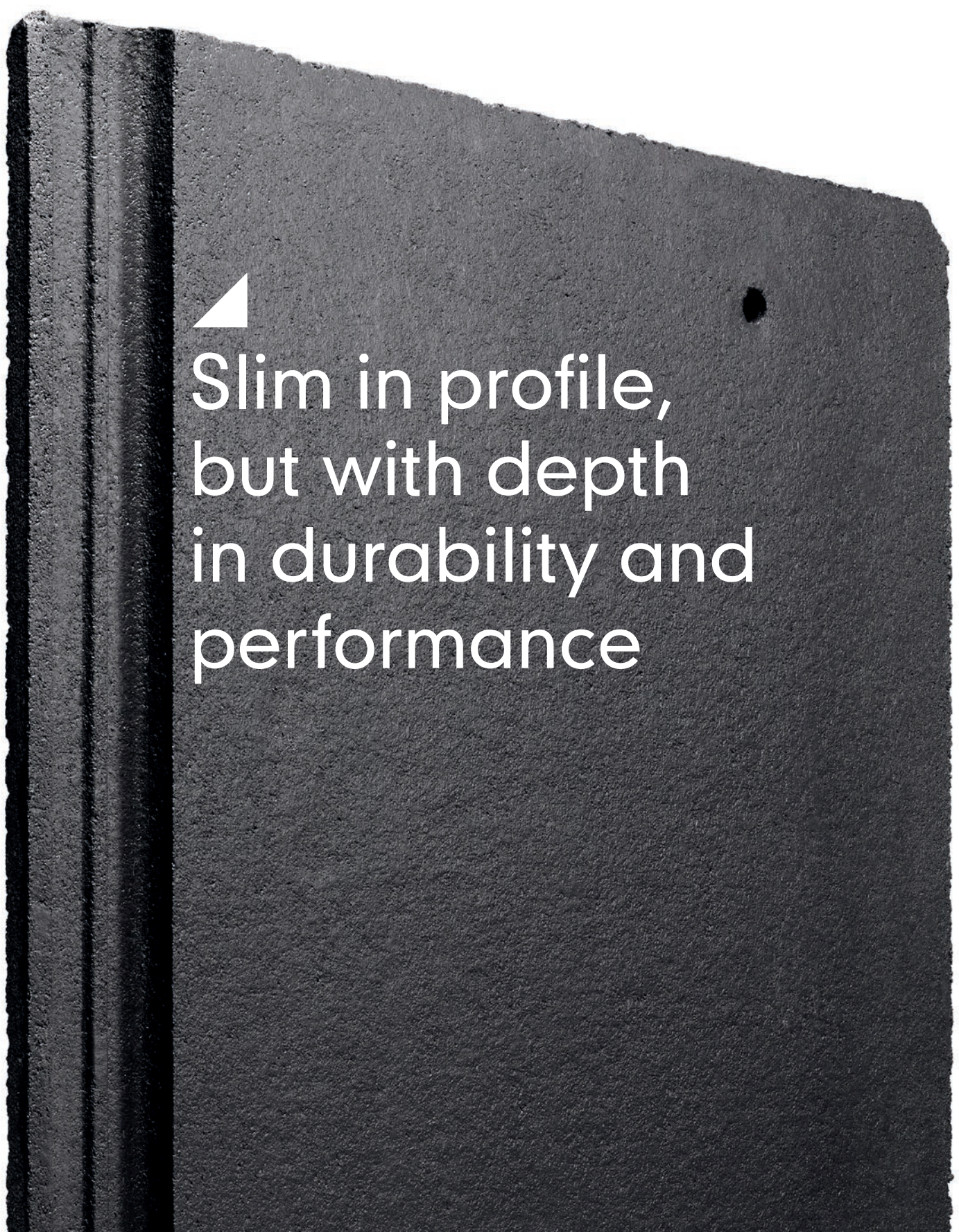


▲ EDGEMERE INTERLOCKING SLATES

 **Marley**

CONTENTS

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- 4 WHY CHOOSE EDGEMERE INTERLOCKING SLATES?
- 6 PRODUCT DATA
- 8 CASE STUDIES
- 18 HERE TO HELP

A dark, textured book cover, possibly made of leather or a similar material. The cover is shown from a slightly angled perspective, highlighting its thickness. A small, dark circular hole is visible on the upper right side. A white triangle icon is positioned to the left of the text.

▲
Slim in profile,
but with depth
in durability and
performance

- ▲ Where the fabric of our buildings meets the sky and the extremities of weather it unleashes, we need the very best designed and integrated roofing solutions available to us.

And, as well as being at the leading edge of a building's performance, roofs form a central visual contribution to the way we see our homes, streets and our cities, and therefore how we relate to our environment.

Combining these two elements – performance and visual appeal, correctly attuned to the specific environment – is critical to the art and science of roofing.





Why choose Edgemere Interlocking Slates?

FEATURES

- 01 Available in three versions
- 02 Thin leading edge
- 03 A+ rating and BES 6001 certification
- 04 Large format
- 05 17.5° low minimum pitch
- 06 Range of fittings and accessories

BENEFITS

- To suit a range of roofscapes
- For slate-like appearance and kerb appeal
- For environmental excellence
- For quick and easy installation
- For versatility of application
- Providing a low maintenance system



The thin (18mm) leading edge of Standard, Riven and Duo Edgemere slates, offers a range of low profile and slate-like solutions, providing an affordable upgrade to standard interlocking tiles, or a cost-effective alternative to natural slate.





EDGEMERE INTERLOCKING SLATES

TILEFIX

marley.co.uk/tilefix

CAD

marley.co.uk/cad

NBS specs

marley.co.uk/specrite

FIXING GUIDE

marley.co.uk/resources

TECHNICAL DATA

Size	420mm x 330mm	
Minimum pitch*	22.5° (75mm lap)	17.5° (100mm lap)
Maximum pitch	90°	
Minimum lap	75mm (22.5° and above)	100mm (below 22.5°)
Maximum gauge	345mm	
Tile thickness	18mm (nominal)	
Cover width	298mm (nominal)	
Hanging length	395mm (nominal)	
Covering capacity (net)	9.7 slates/m ² at 75mm lap	10.5 slates/m ² at 100mm lap
Weight of slating (approx.)	44 kg/m ² (0.43 kN/m ²) at 75mm lap	47.5 kg/m ² (0.47 kN/m ²) at 100mm lap
Battens required (net) lap	2.9 lin.m/m ² at 75mm lap	3.1 lin.m/m ² at 100mm lap
Batten size recommended (fixed to BS 5534)	38 x 25mm for rafters/supports not exceeding 450mm centres 50 x 25mm for rafters/supports not exceeding 600mm centres	
Fixings	Slate nails (45 x 3.35mm)	
Fixing clips	Eaves, verge and tile clips	
Authority	BS EN 490	

* The minimum recommended pitch and lap may be influenced by special circumstances, please contact the Technical Advisory Service.

SUSTAINABILITY

Green guide rating	A+ (Element refs: 812410007, 812410018, 812410049)
BES 6001	Excellent
Embodied carbon	Low carbon footprint of 10.67 CO ₂ e/m ²

EDGEMERE[†]

Enhanced with a broken bond, provides not only a more slate-like appearance, but an affordable upgrade to standard interlocking tiles.

DUO EDGEMERE[‡]

The addition of a mock bond down the centre of the tile, creates the appearance of a small format slate.

RIVEN EDGEMERE[†]

A randomised texture applied to the surface, ensures an attractive and variegated appearance, providing a finish which even more closely resembles natural slate.

EDGEMERE FITTINGS

Available in all colours to match main slates.

COLOUR AVAILABILITY



SMOOTH GREY (S)

- Edgemere
- Duo Edgemere
- Riven Edgemere



OLD ENGLISH DARK RED (S)

- Edgemere
- Duo Edgemere



SMOOTH BROWN (S)

- Edgemere
- Duo Edgemere



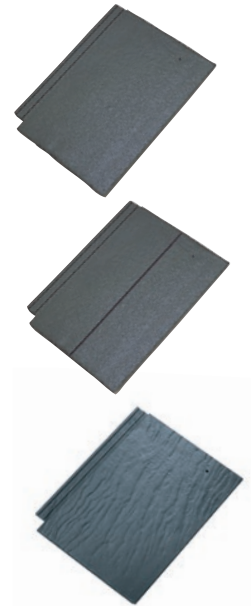
ANTHRACITE (S)

- Edgemere
- Duo Edgemere
- Riven Edgemere

Key (S) Smooth finish

[†] Edgemere and Riven Edgemere should be laid broken bond. The required broken bond pattern is created by the introduction of half slates, to form verges in alternate courses.

[‡] Duo Edgemere should be laid a quarter broken bond. The required broken bond pattern is created by the introduction of three quarter width slates, cut from standard slates on site to form verge slates in alternate courses.



PINE VIEW
CASE STUDY





The natural look of the slate tile works extremely well with the striking nature of the log homes we have built and are very pleasing to the eye. We are delighted with the product and the service we received from Marley, and would thoroughly recommend the Edgemere product.

JEM HUDSON, FOUNDATION MATTERS

Marley's market-leading Edgemere interlocking slate has been specified as part of the construction of two pioneering, pre-fabricated Canadian Log Homes at a campsite for Christian charity, Foundation Matters.

Jem Hudson, who runs Foundation Matters with his family, identified the pre-fabricated log homes solution at the Grand Designs show in Birmingham and immediately set about ordering two dwellings of 700 and 500m² respectively from the Canadian-based supplier. After discussions with the local planning officer, Marley's Edgemere interlocking slate was selected as an aesthetically pleasing and practical roofing solution which would complement the natural look of the log homes.

The main centre used 6,800 Edgemere slates, with the smaller manager's home requiring approximately 2,300 slates in total.

PROJECT INFORMATION

Location/
Derby

Application/
Residential

Product/
Edgemere interlocking
slates in Smooth Grey

Specifier/
Foundation Matters

ABBOTSWOOD PARK

CASE STUDY





Edgemere was the ideal choice for the roof with its thin leading edge, giving the appearance of natural slate at a more cost effective price. We received excellent technical support from Marley and we're really pleased with the end result.

ADAM WATTS, TECHNICAL DIRECTOR, BELLWAY HOMES

The 425 family and affordable homes at Abbotswood Park have been built by Bellway Homes, using both Old English Dark Red and Smooth Grey Edgemere slates, to create a mixture of roof heights and designs, adding rhythm and interest to the streetscape.

Situated next door to Warner Bros studios and steeped in historical, industrial and film making history, there were strict design parameters put in place by the local planning office to ensure the site would be developed to create a clear sense of identity and mixture of homes.

The different roof forms, heights and designs were a key part of creating this identity and Bellway Homes chose Marley's Edgemere slates to give a contemporary, yet cost effective, roof covering that could be used to add character to different parts of the development.

PROJECT INFORMATION

Location/
Leavesden

Application/
Residential

Product/
Edgemere interlocking slates
in Smooth Grey
and Old English Dark Red

Specifier/
Bellway Homes

HAYFIELD GRANGE

CASE STUDY





The Hayfield Grange development is in a picturesque setting and we needed to use a roof tile that both complemented the contemporary style of the homes and blended in with the local surroundings. The Marley Duo Edgemere slate gives the properties a premium, slate-like finish more cost effectively and is quicker and easier to install.

GRAHAM ROSS, MARLEY CONTRACT SERVICES

Marley's Duo Edgemere slates have been used to give a slate-like finish on an award winning roofing project for ten prestigious new build homes in the highly desirable Cults area of Aberdeen.

The Cala Homes development at Hayfield Grange includes ten detached luxury properties finished with a distinctive exterior. Marley Contract Services was appointed to complete the roofing contract and specified the Duo Edgemere tiles in Smooth Grey to complement the stone finish of the homes. Marley's concrete plain tiles were also used around the dormer windows on the luxury homes.

PROJECT INFORMATION

Location/
Aberdeen

Application/
Residential

Product/
Duo Edgemere interlocking
slates in Smooth Grey

Specifier/
Marley Contract Services

LARK PLACE

CASE STUDY



PROJECT INFORMATION

Location/
Soham

Application/
Residential

Product/
Riven Edgemere interlocking
slates in Smooth Grey

Specifier/
Hopkins Homes

Leading East Anglian independent property developer, Hopkins Homes, specified the Marley Riven Edgemere for its latest 67 home development in Cambridgeshire. Set on the outskirts of the picturesque town of Soham, the Riven Edgemere offered a natural textured slate roof finish to the variety of stylish houses and apartments on site, complementing the local vernacular.





Here to help

Getting our knowledge to you and your project smoothly and efficiently

▲ CUSTOMER SERVICES

Marley is committed to providing outstanding customer care and is staffed by experienced personnel: Tel 01283 722588 or e-mail info@marley.co.uk

To find your nearest stockist, please visit: marley.co.uk/stockists

▲ TECHNICAL ADVISORY SERVICE

Specifiers require prompt, knowledgeable and detailed responses to a vast range of enquiries covering everything from the embodied energy of a typical roof tile, to the different ventilation options available.

Our Technical Advisory Service is staffed by a qualified team with specialist knowledge not only of all Marley products, but also crucially, how those systems integrate with other roofing components and comply with Building Regulations, Health and Safety, environmental and other critical roofing criteria.

Tel 01283 722588, E-mail info@marley.co.uk or visit marley.co.uk/resources

▲ ACTING RESPONSIBLY AND DELIVERING SUSTAINABLE QUALITY

BES 6001

Demonstrating our commitment to sustainable building, all our roofing products are certified under the BES 6001 standard for responsible sourcing and therefore contribute to extra credits under BREEAM and The Code for Sustainable Homes.

QUALITY STANDARD

All our factories in the UK are ISO 9001, 14001 and ISO OHSAS 18001 accredited. They achieve the highest standards in quality, health & safety and the environment.

CE MARKING

All of our products covered by EN Standard carry an appropriate CE Mark. This means that our products meet the required safety standards and have a guaranteed level of quality.

▲ TOOLS

Tools and assets that make design and specification as straightforward as possible.

SPECRITE

Produce instant NBS clauses that meet the recommendations of British Standards and Codes of Practice: marley.co.uk/specrite

TILEFIX

Tool to create fixing specifications based on the geographical location and building dimensions of specific roofing projects: marley.co.uk/tilefix

ROOFING ESTIMATOR

Create a complete bill of materials for your project based on a wide range of building and roof types: marley.co.uk/estimator

BIM

BIM Space is a set of free-to-download Building Information Modelling (BIM) objects that provide a standard range of build ups for all of our products: marley.co.uk/bim

CAD DETAILS

Access to over 2,000 CAD drawings illustrating how specific tile and slate details can be formed: marley.co.uk/cad

ROOF SYSTEM SELECTOR

Easy-to-use and comprehensive system finder delivering results from choice of pitch, material or tile type: marley.co.uk/productselector

▲ RESOURCES AND TRAINING

SAMPLES

Samples of clay and concrete interlocking and plain tiles are available on request. Call 01283 722588 or visit marley.co.uk/samples

FIXING INSTRUCTIONS AND LITERATURE

Comprehensive sitework, fixing and installation literature and videos: marley.co.uk/resources
All current product and technical literature can be downloaded: marley.co.uk/downloads

CPDS

A range of Continuous Professional Development roofing seminars accredited by the RIBA CPD Certification Service. For more information or to make a booking: marley.co.uk/cpd

TRAINING

Theoretical, practical, engaging and informative training available at three locations nationwide. marley.co.uk/training

This publication is based on the latest data available at the time of printing. Due to product changes, improvements and other factors, the Company reserves the right to change or withdraw information contained herein without prior notice. For specific applications users should refer to the Technical Advisory Service and relevant Standards and Codes of Practice for guidance. The photography shown in the document should not necessarily be taken as recommendations of good practice. The printing process restricts the exact representation of colours. For true colour reference, please request product samples.



Tell me more



Or visit marley.co.uk

Marley, Lichfield Road, Branston, Burton upon Trent, DE14 3HD





BRICK: Avon Smooth



TRADITIONAL BRICK



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PVC DOORS

Our PVCu Residential and French door ranges are available in both Tritec 60mm and Total70 70mm systems – meaning that what ever the style of property we have a door to suit. From the colour coded gasket on the 60mm system to over 13 stock colours to choose from on the 70mm system we are able to offer a solution to cater for even the most demanding of customers needs.

All our doors have been tested to the British Standard Institute kite mark BS 7412 PAS 24, this includes tests for air permeability, water tightness, wind resistance, door slamming and heavy abuse - ensuring the most secure door range.

Through the multi-chamber design, used on both systems, we are able to significantly reduce heat loss, noise pollution and with Yale locking and BS7412 PAS24 certification, this enables us to provide stunningly detailed products without any compromise on security.

For more information, or to receive your free quotation, download our brochure or order form below!



60mm DOOR
ORDER FORM



70mm DOOR
ORDER FORM



PVC DOOR
BROCHURE



SAME DAY QUOTATION SERVICE



DELIVERIES DIRECT TO SITE



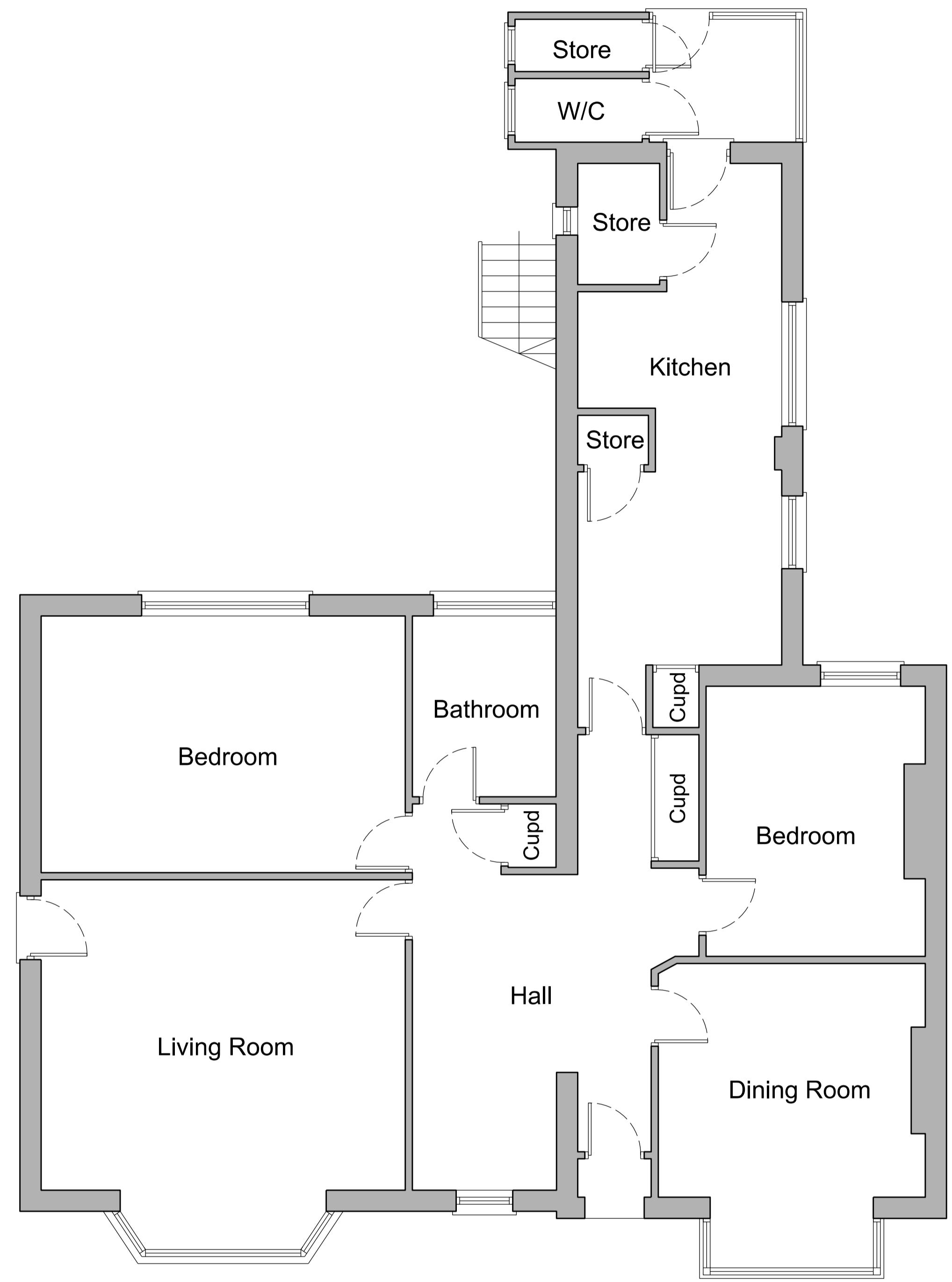
SKIP FACILITIES



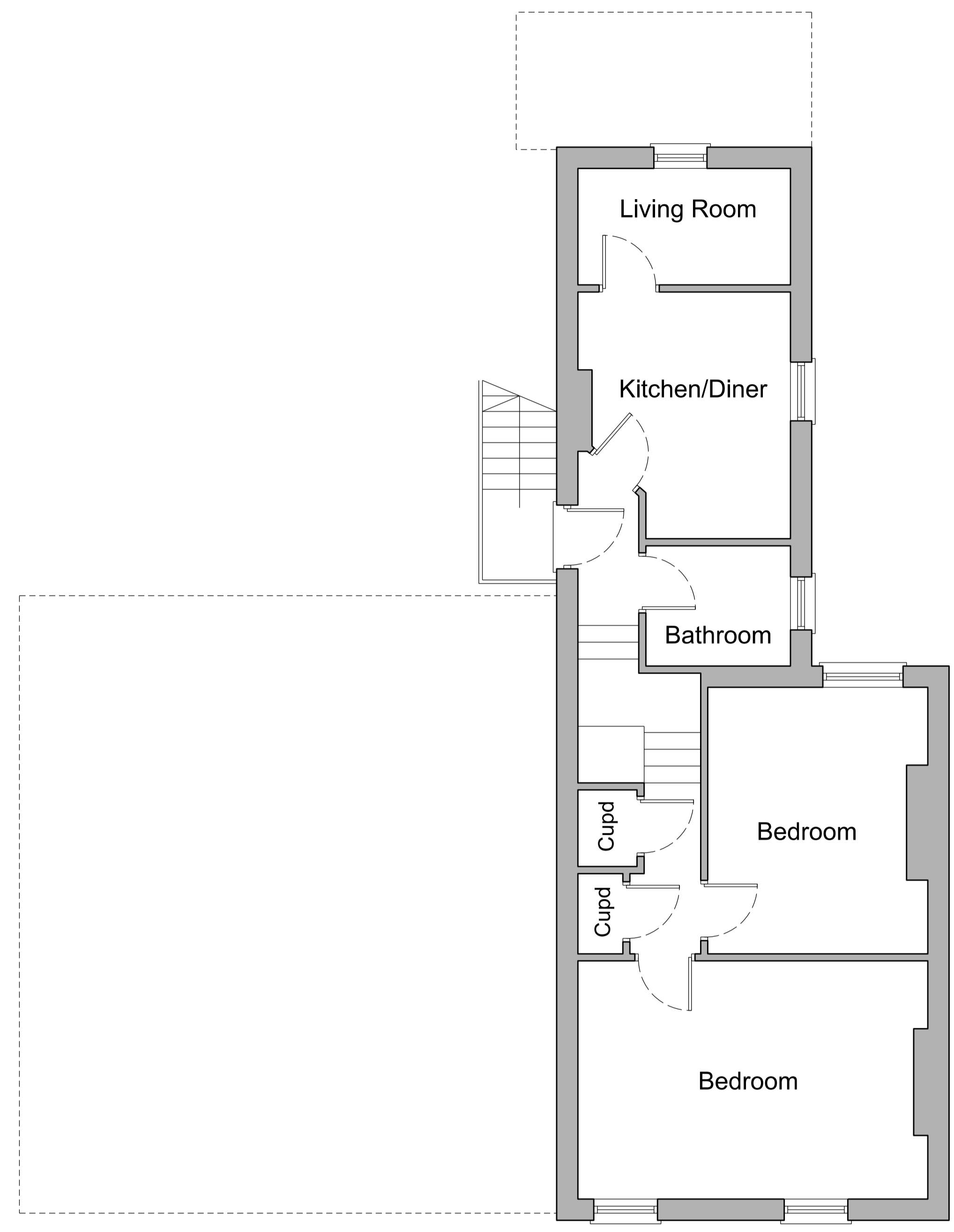
10 YEAR GUARANTEE



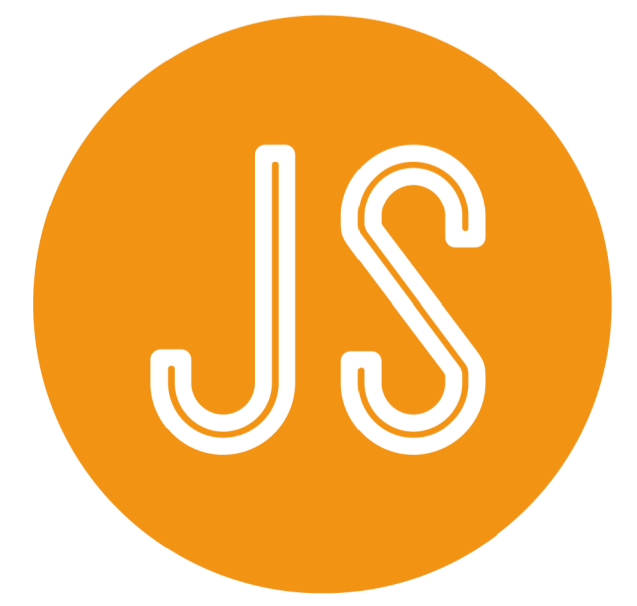
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Existing Ground Floor Plan



Existing First Floor Plan



When plotted correctly, at A1, this line will measure 100mm at full size

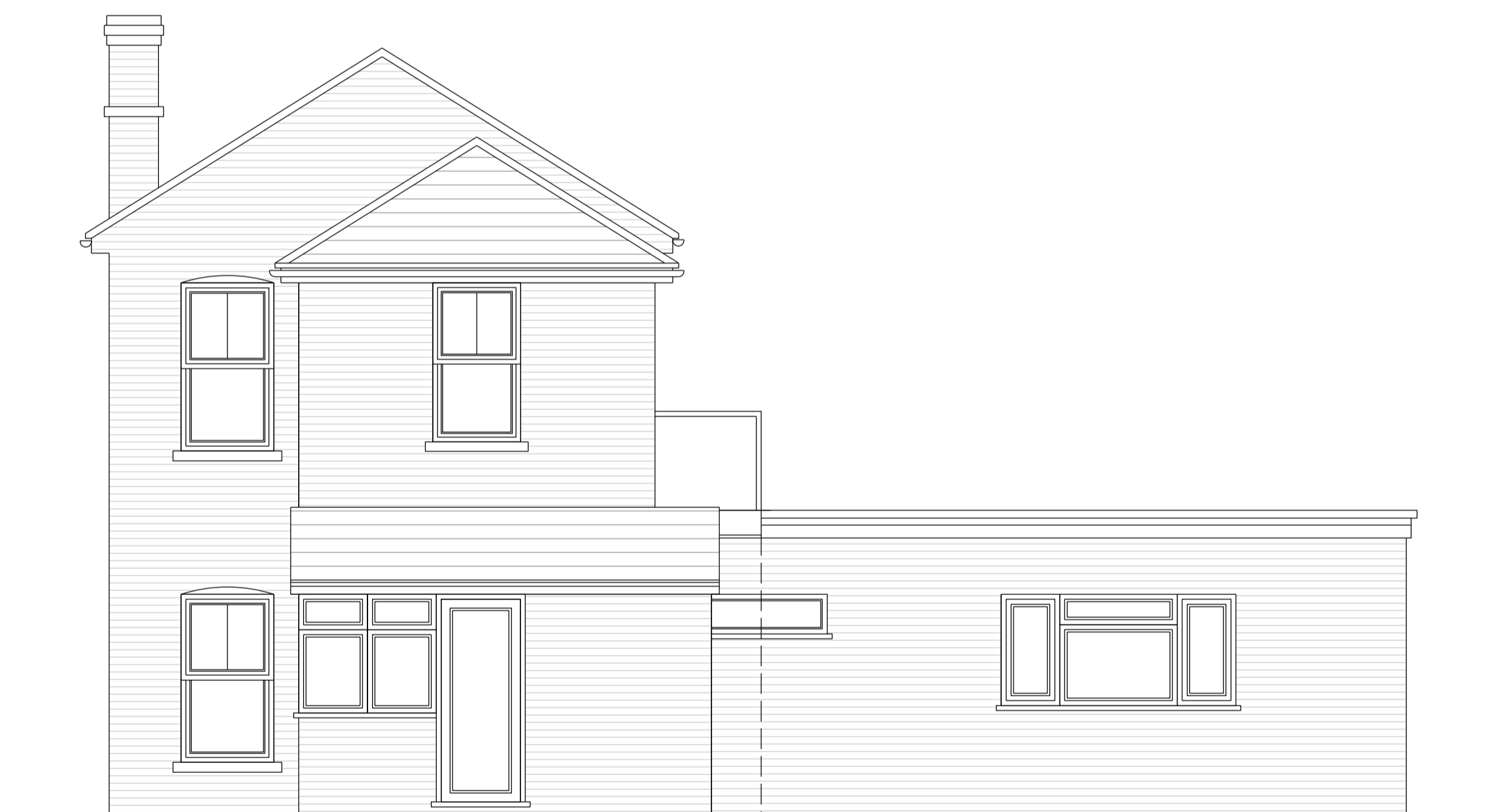
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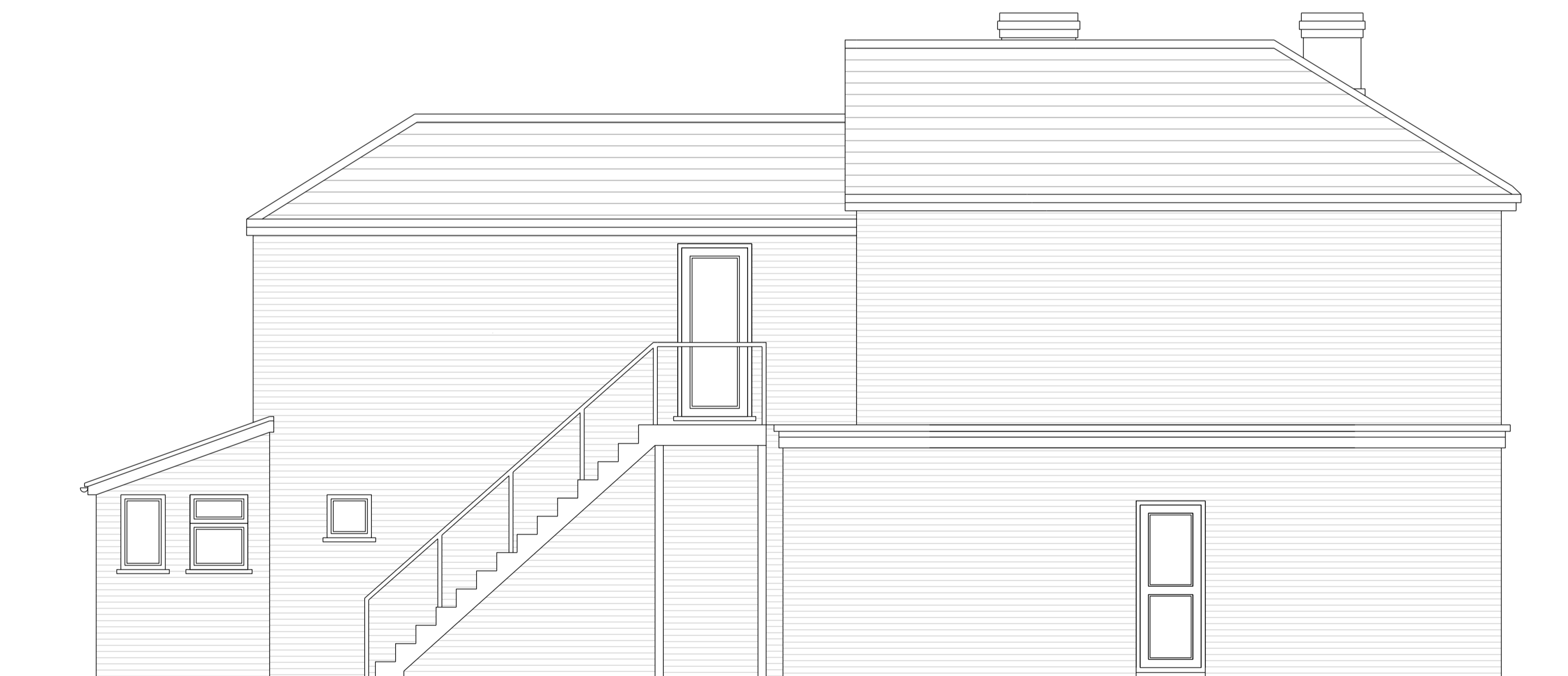
Existing Front Elevation



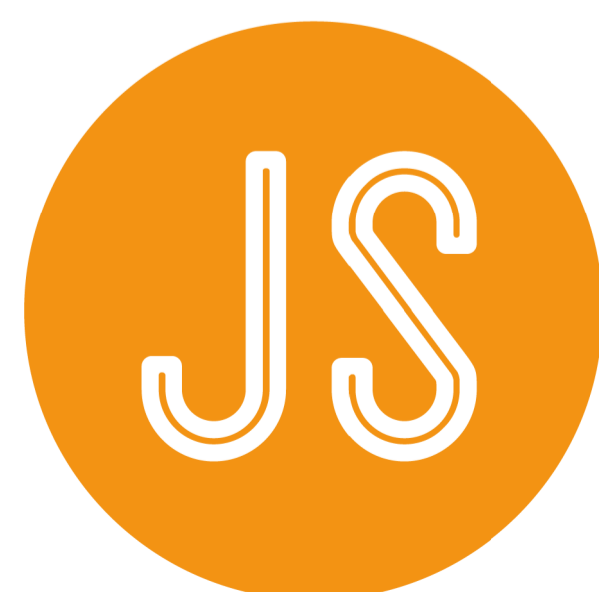
Existing Side Elevation



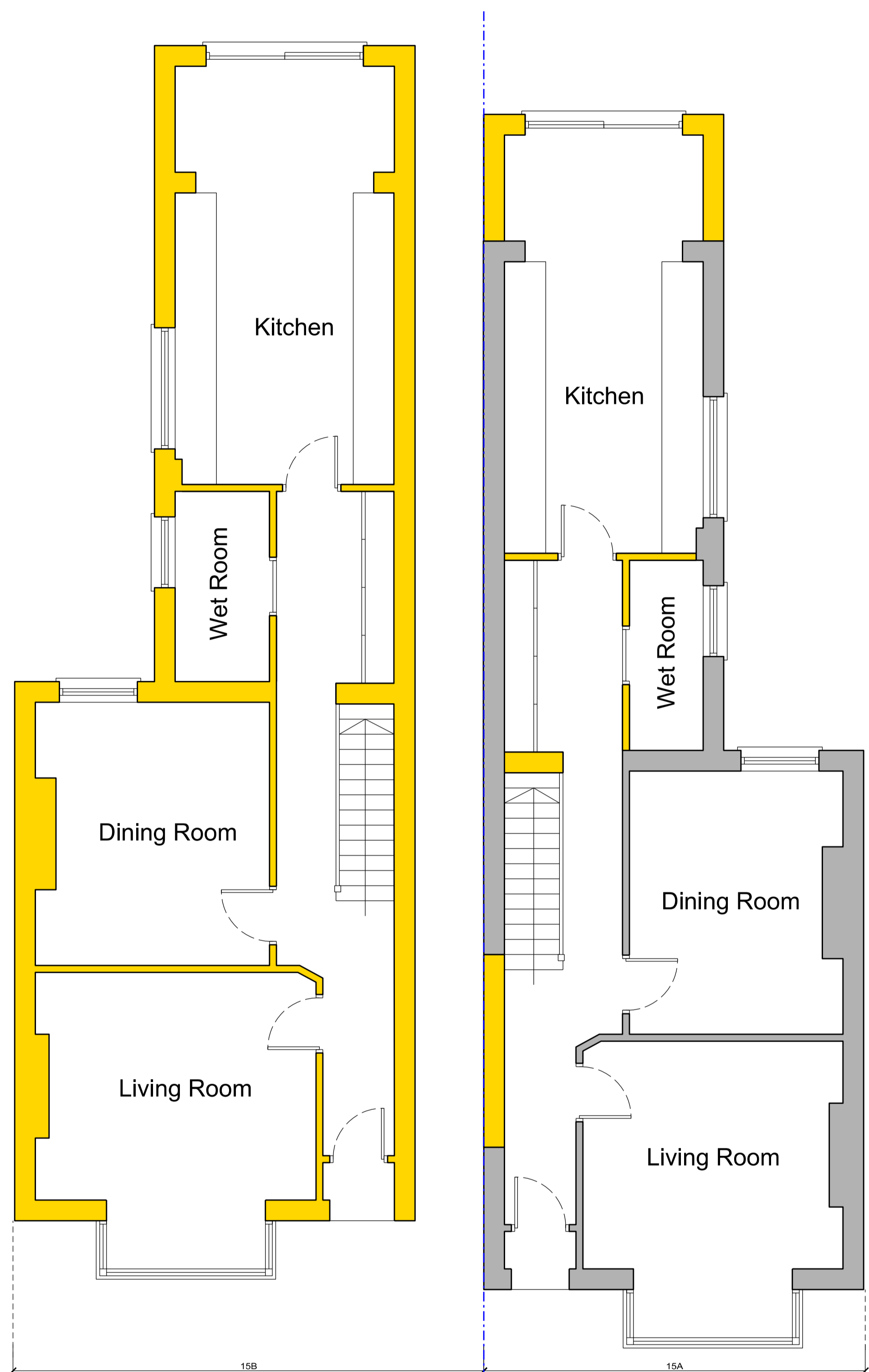
Existing Rear Elevation



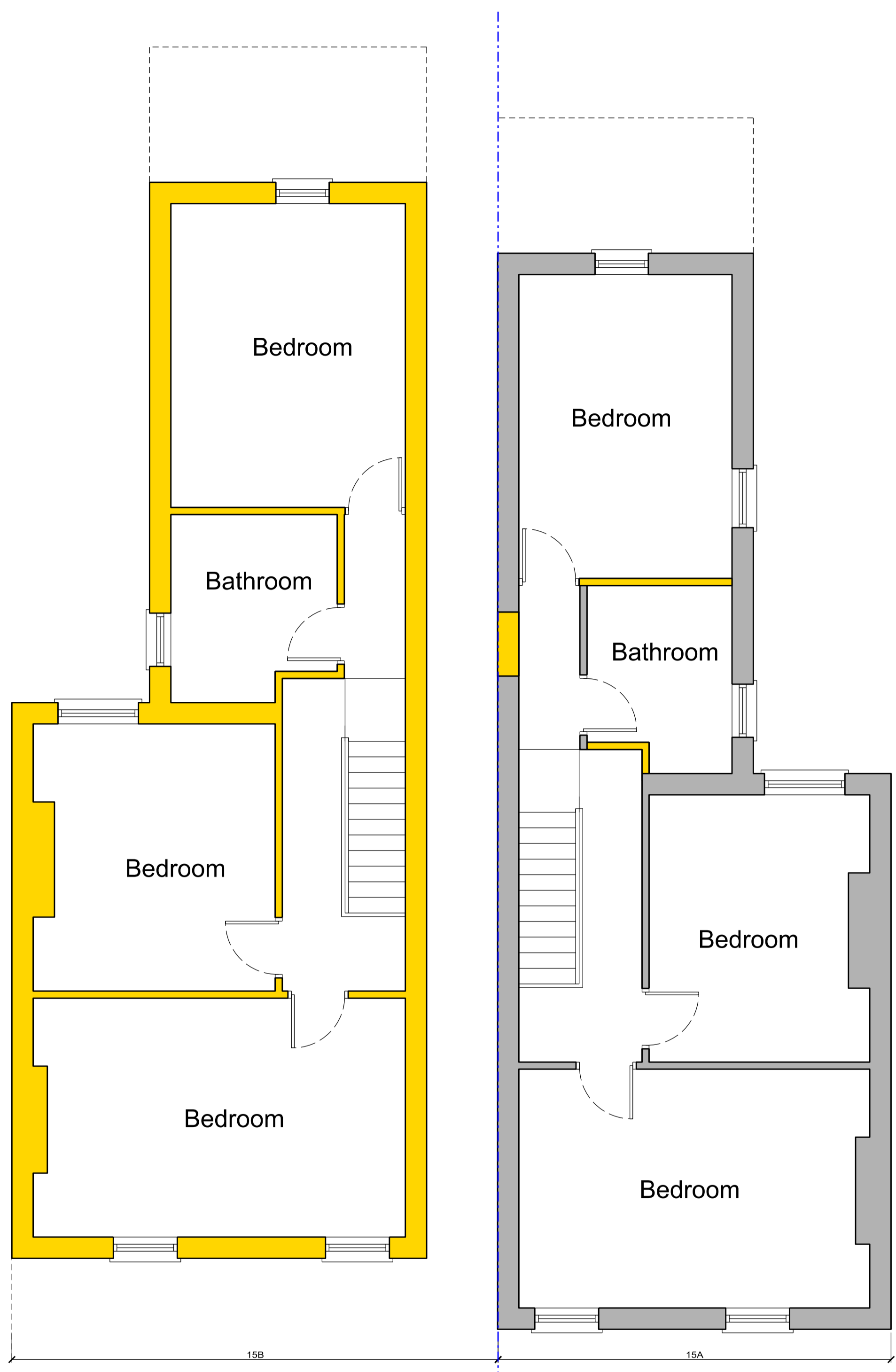
Existing Side Elevation



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Proposed Ground Floor Plan



Proposed First Floor Plan



When printed correctly, at A1, this line will measure 100mm at 1:1 size



Proposed Front Elevation



Proposed Side Elevation



Proposed Rear Elevation



Proposed Side Elevation

