

## Application for Planning Permission

### Town and Country Planning Act 1990 (as amended)

#### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

### Site Location

**Disclaimer:** We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)  Northing (y)

Description

## Applicant Details

### Name/Company

Title

Mr

First name

M

Surname

Cornell

Company Name

### Address

Address line 1

C/O Urban Aspects Ltd

Address line 2

7 Bath Mews

Address line 3

Bath Parade

Town/City

Cheltenham

County

Country

Postcode

GL53 7HL

Are you an agent acting on behalf of the applicant?

Yes

No

### Contact Details

Primary number

Secondary number

Fax number

Email address

## Agent Details

Name/Company

Title

First name

Surname

Company Name

## Address

Address line 1

Address line 2

Address line 3

Town/City

County

Country

Postcode

## Contact Details

Primary number

\*\*\*\* REDACTED \*\*\*\*

Secondary number

\*\*\*\* REDACTED \*\*\*\*

Fax number

Email address

\*\*\*\* REDACTED \*\*\*\*

## Site Area

What is the measurement of the site area? (numeric characters only).

1.03

Unit

Hectares

## Description of the Proposal

Please note in regard to:

- **Fire Statements** - From 1 August 2021, planning applications for buildings of over 18 metres (or 7 stories) tall containing more than one dwelling will require a 'Fire Statement' for the application to be considered valid. There are some exemptions. [View government planning guidance on fire statements](#) or [access the fire statement template and guidance](#).
- **Permission In Principle** - If you are applying for Technical Details Consent on a site that has been granted Permission In Principle, please include the relevant details in the description below.
- **Public Service Infrastructure** - From 1 August 2021, applications for certain public service infrastructure developments will be eligible for faster determination timeframes. See help for further details or [view government planning guidance on determination periods](#).

### Description

Please describe details of the proposed development or works including any change of use

Proposed erection of a new 50 seat grandstand, a new canopy stand, a new double turnstile plus the addition of a 1.94m close board fence surrounding ground.

Has the work or change of use already started?

Yes

No

## Existing Use

Please describe the current use of the site

Football ground

Is the site currently vacant?

- Yes  
 No

**Does the proposal involve any of the following? If Yes, you will need to submit an appropriate contamination assessment with your application.**

Land which is known to be contaminated

- Yes  
 No

Land where contamination is suspected for all or part of the site

- Yes  
 No

A proposed use that would be particularly vulnerable to the presence of contamination

- Yes  
 No

## Materials

Does the proposed development require any materials to be used externally?

- Yes  
 No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

**Type:**

Boundary treatments (e.g. fences, walls)

**Existing materials and finishes:**

**Proposed materials and finishes:**

Close boarded timber fence

Are you supplying additional information on submitted plans, drawings or a design and access statement?

- Yes  
 No

If Yes, please state references for the plans, drawings and/or design and access statement

See drawings and Design & Access Statement attached

## Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicular access proposed to or from the public highway?

- Yes  
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes  
 No

Are there any new public roads to be provided within the site?

- Yes  
 No

Are there any new public rights of way to be provided within or adjacent to the site?

- Yes  
 No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

- Yes  
 No

## Vehicle Parking

Does the site have any existing vehicle/cycle parking spaces or will the proposed development add/remove any parking spaces?

- Yes  
 No

## Trees and Hedges

Are there trees or hedges on the proposed development site?

- Yes  
 No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

- Yes  
 No

**If Yes to either or both of the above, you may need to provide a full tree survey, at the discretion of the local planning authority. If a tree survey is required, this and the accompanying plan should be submitted alongside the application. The local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.**

## Assessment of Flood Risk

Is the site within an area at risk of flooding? (Check the location on the Government's [Flood map for planning](#). You should also refer to national [standing advice](#) and your local planning authority requirements for information as necessary.)

- Yes  
 No

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

- Yes  
 No

Will the proposal increase the flood risk elsewhere?

- Yes  
 No

How will surface water be disposed of?

- Sustainable drainage system  
 Existing water course

- Soakaway
- Main sewer
- Pond/lake

## Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

To assist in answering this question correctly, please refer to the help text which provides guidance on determining if any important biodiversity or geological conservation features may be present or nearby; and whether they are likely to be affected by the proposals.

a) Protected and priority species

- Yes, on the development site
- Yes, on land adjacent to or near the proposed development
- No

b) Designated sites, important habitats or other biodiversity features

- Yes, on the development site
- Yes, on land adjacent to or near the proposed development
- No

c) Features of geological conservation importance

- Yes, on the development site
- Yes, on land adjacent to or near the proposed development
- No

### Supporting information requirements

Where a development proposal is likely to affect features of biodiversity or geological conservation interest, you will need to submit, with the application, sufficient information and assessments to allow the local planning authority to determine the proposal.

Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the local planning authority has been submitted.

Your local planning authority will be able to advise on the content of any assessments that may be required.

## Foul Sewage

Please state how foul sewage is to be disposed of:

- Mains sewer
- Septic tank
- Package treatment plant
- Cess pit
- Other
- Unknown

Are you proposing to connect to the existing drainage system?

- Yes
- No
- Unknown

## Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

Yes

No

Have arrangements been made for the separate storage and collection of recyclable waste?

Yes

No

## Trade Effluent

Does the proposal involve the need to dispose of trade effluents or trade waste?

Yes

No

## Residential/Dwelling Units

Does your proposal include the gain, loss or change of use of residential units?

Yes

No

## All Types of Development: Non-Residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

Note that 'non-residential' in this context covers all uses except Use Class C3 Dwellinghouses.

Yes

No

## Employment

Are there any existing employees on the site or will the proposed development increase or decrease the number of employees?

Yes

No

## Hours of Opening

Are Hours of Opening relevant to this proposal?

Yes

No

## Industrial or Commercial Processes and Machinery

Does this proposal involve the carrying out of industrial or commercial activities and processes?

- Yes  
 No

Is the proposal for a waste management development?

- Yes  
 No

## Hazardous Substances

Does the proposal involve the use or storage of Hazardous Substances?

- Yes  
 No

## Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes  
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent  
 The applicant  
 Other person

## Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes  
 No

## Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff  
(b) an elected member  
(c) related to a member of staff  
(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes  
 No

## Ownership Certificates and Agricultural Land Declaration

### Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes  
 No

Can you give appropriate notice to all the other owners/agricultural tenants? (Select 'Yes' if there are no other owners/agricultural tenants)

- Yes  
 No

### Certificate Of Ownership - Certificate B

I certify/ The applicant certifies that:

- I have/The applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner\* and/or agricultural tenant\*\* of any part of the land or building to which this application relates; or  
 The applicant is the sole owner of all the land or buildings to which this application relates and there are no other owners\* and/or agricultural tenants\*\*.

\* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

\*\* "agricultural tenant" has the meaning given in section 65(8) of the Town and Country Planning Act 1990

Owner/Agricultural Tenant

<p><b>Name of Owner/Agricultural Tenant:</b> ***** REDACTED *****</p> <p><b>House name:</b> Herbert Warehouse</p> <p><b>Number:</b></p> <p><b>Suffix:</b></p> <p><b>Address line 1:</b> The Docks</p> <p><b>Address Line 2:</b></p> <p><b>Town/City:</b> Gloucester</p> <p><b>Postcode:</b> GL1 2EQ</p> <p><b>Date notice served (DD/MM/YYYY):</b> 03/01/2023</p> <p><b>Person Family Name:</b></p>
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Person Role

- The Applicant  
 The Agent

Title

First Name

Surname

Ranford

Declaration Date

05/01/2023

Declaration made

## Declaration

I / We hereby apply for Full planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

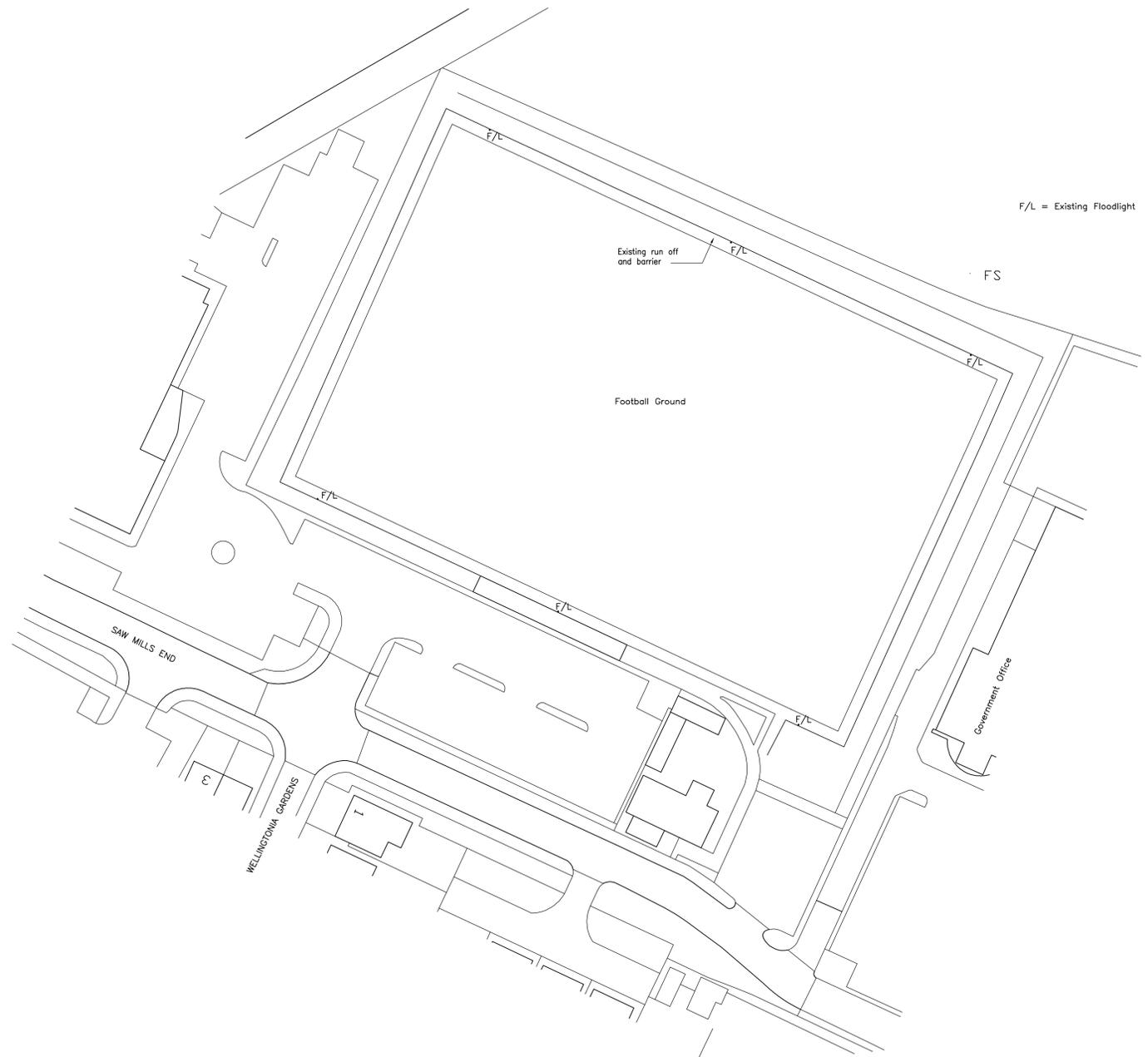
I / We agree to the outlined declaration

Signed

Russell Ranford

Date

05/01/2023

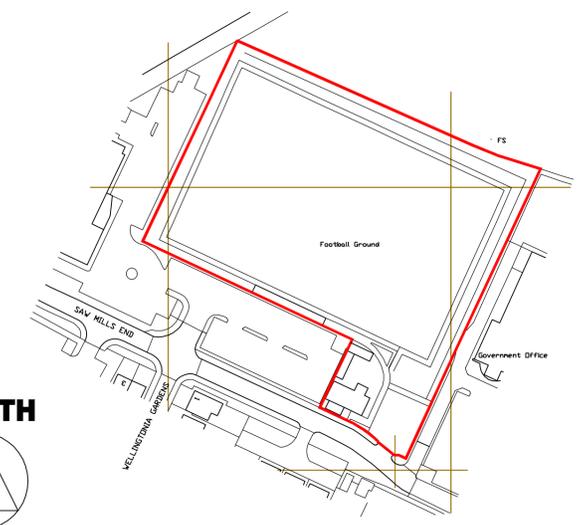


Scale 1:500  
0m 5m 10m 15m 20m

**EXISTING SITE PLAN 1:500**



F/L = Existing Floodlight



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SCALE 1:1250  
0m 25m 50m 75m 100m

**LOCATION PLAN 1:1250**

	DRAWING ISSUE
FEASIBILITY	<input type="checkbox"/>
PLANNING	<input checked="" type="checkbox"/>
BUILDING REGULATIONS	<input type="checkbox"/>
CONSTRUCTION	<input type="checkbox"/>

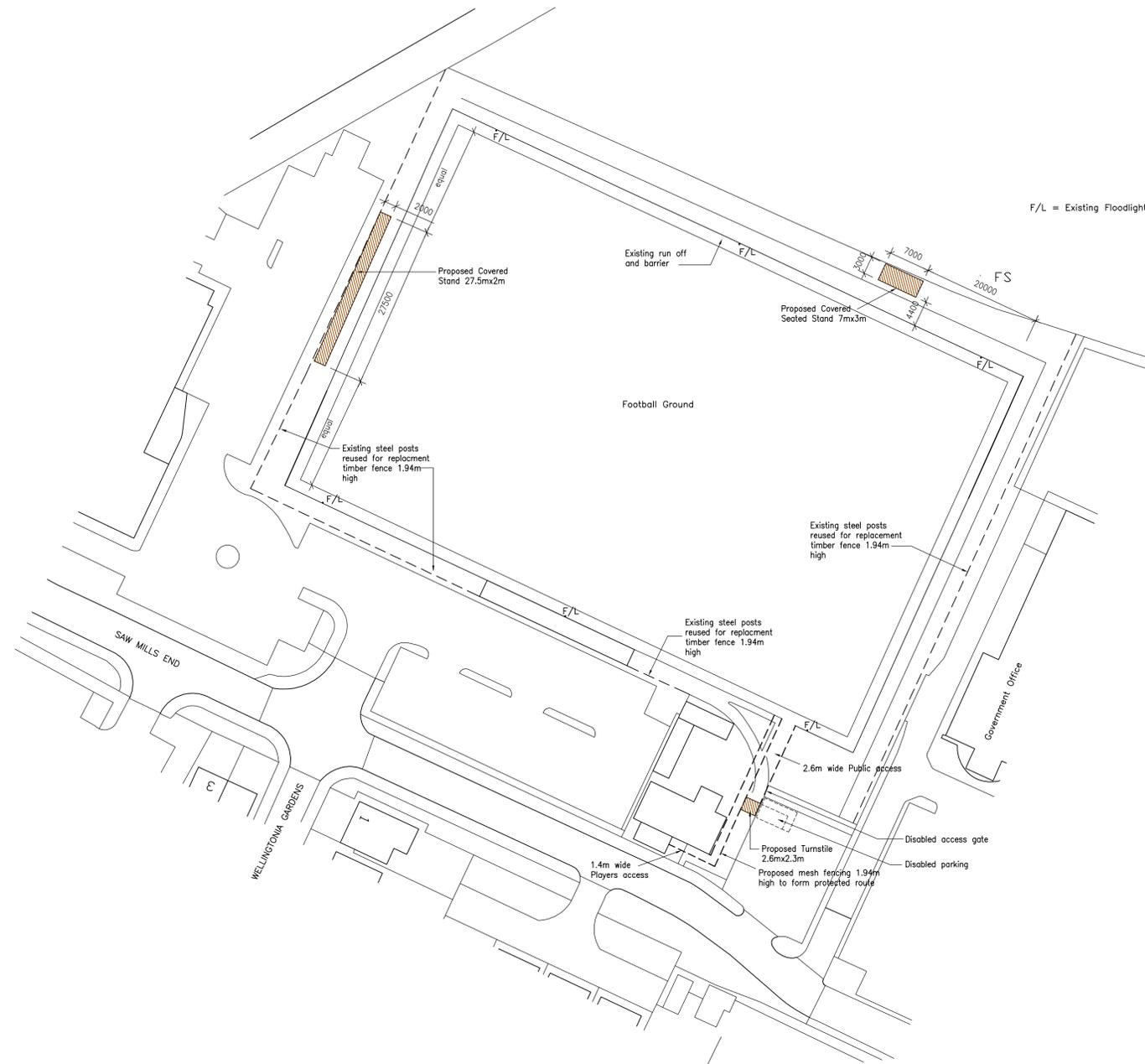
GOOD-DESIGN-ING Ltd



11 SARACEN WAY,  
NEWARK ROAD,  
PETERBOROUGH,  
PE1 5WS.

PROJECT	DRAWING
Proposed Development at Longlevens FC Saw Mills End Gloucester GL4 3DG	Location Plan Existing Site Plan
	June 2022

Scale 1:1250 1:500 @ A1 size  
drawing number : 221315-02 REV B



F/L = Existing Floodlight

	DRAWING ISSUE
FEASIBILITY	<input type="checkbox"/>
PLANNING	<input checked="" type="checkbox"/>
BUILDING REGULATIONS	<input type="checkbox"/>
CONSTRUCTION	<input type="checkbox"/>

GOOD-DESIGN-ING Ltd

11 SARACEN WAY,  
NEWARK ROAD,  
PETERBOROUGH,  
PE1 5WS.

PROJECT: Proposed Development at Longlevens FC, Saw Mills End, Gloucester, GL4 3DG  
DRAWING: Proposed Site Plan  
June 2022

Scale 1:500 @ A1 size  
drawing number : 221315-01 rev A

Scale 1:500  
0m 5m 10m 15m 20m

NORTH



**PROPOSED SITE PLAN 1:500**

Development Control Manager  
Planning Services  
Gloucester City Council  
The Docks  
Gloucester  
GL1 2EQ

5th January 2023

Dear Sirs

Re: Longlevens Amateur Football Club, Saw Mills End, Barnwood, Gloucester, GL4 3BP - Proposed erection of a new 50 Seat Grandstand, a new canopy stand, a new double turnstile plus the addition of a 1.94m close board fence surrounding ground.

Please find attached the following drawings and document to accompany the planning application:

- Completed Online Planning Application Forms and Certificates
- Location Plan and Existing Site Plan
- Proposed Site Plan
- 27.5M canopy Stand Drawings
- 50 Seat Grandstand Drawings
- Double Turnstile – Front View
- Side View Double Turnstile
- Fence Details
- Design & Access Statement

The fee has been paid online.

To support the future ambitions of Longlevens Football Club to progress to the next level of Non-League Football hierarchy the facilities require an additional covered seating area, additional covered standing area as well as a new double turnstile.

Furthermore, it is also necessary to provide a permanent means of enclosure which will prevent individuals from viewing the game from outside of the ground. To meet these requirements, it is intended to add close board fencing up to 1.94m in height whilst maintaining the high-level netting above which prevents the ball from exiting the grounds. The existing upright steel posts will be utilised as the framework for the new close boarded fence to be fixed to.

The proposed fencing will also make the grounds more secure. Unfortunately it has been quite simple for youngsters to just cut the mesh fencing to date which has often led to misuse of the pitch and facilities.

Longlevens Football Club currently operates 34 sides and are growing at around 4 sides per season based on their junior section which has been enhanced considerably with the growth of the girls age group teams.

The club currently have over 500 signed on players, with their 1<sup>st</sup> team playing in the Hellenic Premier League. The alterations that form this application will allow the club to meet the grading requirements for Southern League Football which is the clubs longer term aim.

Currently the Men's and Women's first teams as well as the Men's Development Team and under 18's play at the ground.

Overall, it is considered that these proposals are in accordance with Policy C3: Public open space, playing fields and sports facilities of the Gloucester City Plan.

These proposals will enhance an existing sports pitch and built facility in accordance with the Gloucester City Council Playing Pitch Strategy and the Gloucester City Council Built Sports Facilities Strategy.

The proposed stands will be of a traditional canopy design and their appearance will not have any adverse impact on the character of the area. Similarly, the proposed fencing will not have any adverse impact in terms of visual appearance and is considered a softer alternative than metal fence cladding.

The proposal is consistent with government guidance in the National Planning Policy Framework (NPPF) together with development plan policies and it is respectfully submitted that the planning application should be approved.

I trust that we have provided you with all the necessary documentation to validate and process this application at your earliest convenience.

Yours faithfully



**Russell Ranford** BA (Hons) Dip TP MRTPI  
Partner

For and on behalf of Urban Aspects Ltd

## **Longlevens Football Club, Saw Mills End, Barnwood, Gloucester, GL4 3BP**

Proposed erection of a new 50 seat grandstand, a new canopy stand, a new double turnstile plus the addition of a 1.94m close board fence surrounding ground.

# **Design & Access Statement**

### Use

- 1.1 It is proposed to erect a new 50 Seat Grandstand, a new canopy stand (for standing spectators), a new double turnstile plus the addition of a 1.94m close board fence surrounding grounds.
- 1.2 This will be an upgrade to the existing facilities providing more covered seating and standing areas.

### Amount

- 1.3 The covered standing area is 27.5 m long and 2.055 metres deep (56.5m covered) The covered Grandstand seating area proposed is 6.60 m long and 3 m deep (19.8 covered). This will providing enough seating for 50 people.
- 1.4 The turnstile is only 2.6m x 2.3m so covers a floor area of 5.98 square metres
- 1.5 There is ample room for these additional stands on the perimeter of the pitch without having any harmful impact on the amenity of neighbouring users or spectators.
- 1.6 The addition of the 1.94 close boarded fence around the perimeter of the ground is essential to meet Football Association requirements that prevent the matches being viewed from outside of the ground..

### Design & Layout

- 1.7 The site layout shows that the proposed stands have been positioned to provide alternatives and compliment the current stand that is provided on site, that is located on the southern side of the pitch adjacent to the Ibis Hotel Car Park.
- 1.8 The new grandstand will be positioned on the opposite side of the pitch on the northern side.
- 1.9 The new covered standing stand is proposed to be behind the goal at the western end of the pitch.
- 1.10 The close board fence is proposed to be added where there are currently views from the public realm on the south, east and west of the grounds

### Scale

- 1.11 The grandstand will not exceed 3.3m and the covered stand will not exceed 2.5m

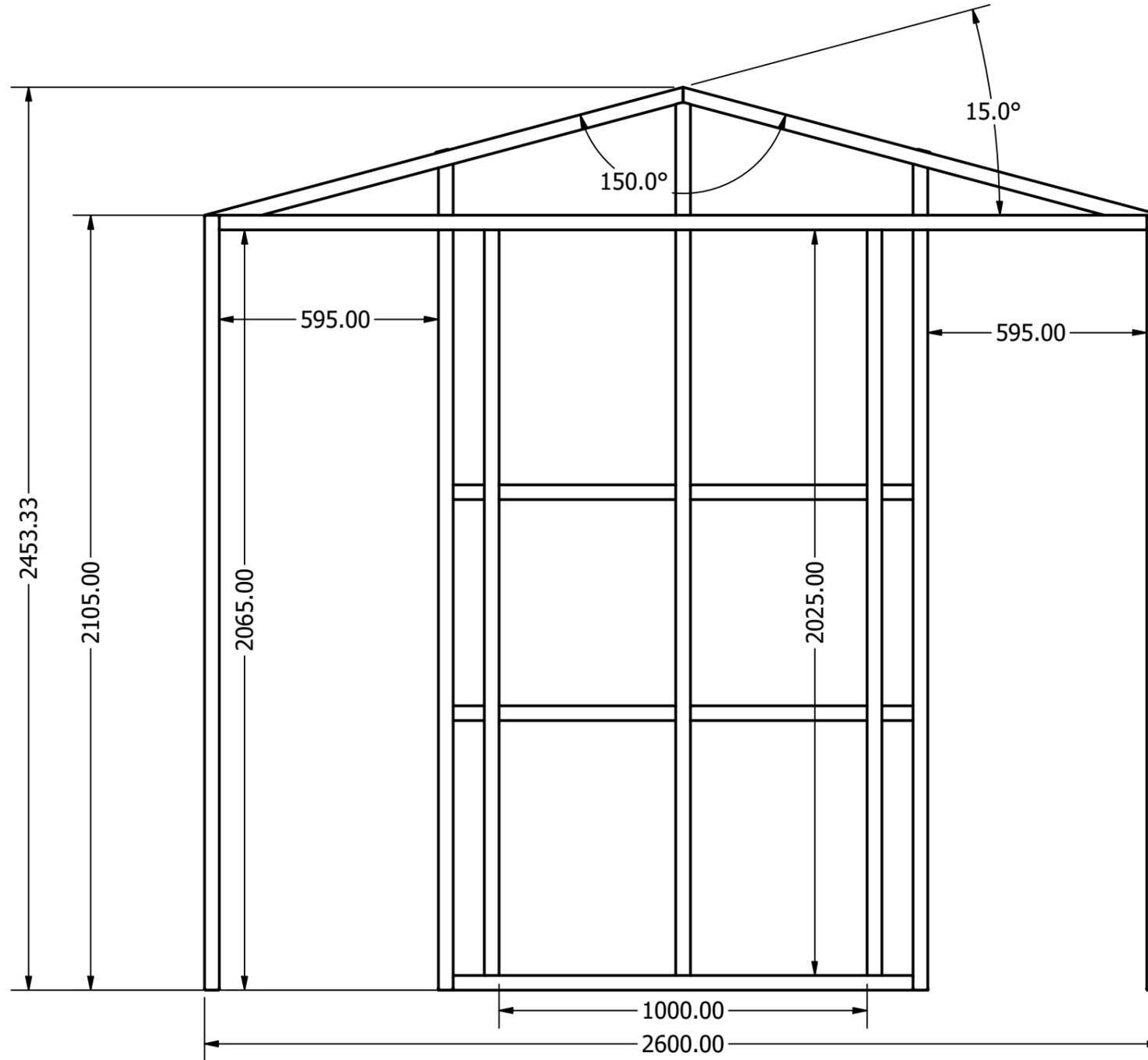
### Access

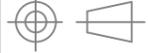
- 1.12 Pedestrians will access the site in the same location as they currently do, but a new segregated walkway from the players access requires visitors to access through the turnstiles.
- 1.13 A new disabled access point is proposed. Disabled access to ground is adjacent to the disabled parking spaces in the small car park to the east. Using this access means that wheelchair users will not have to go through the turnstile.

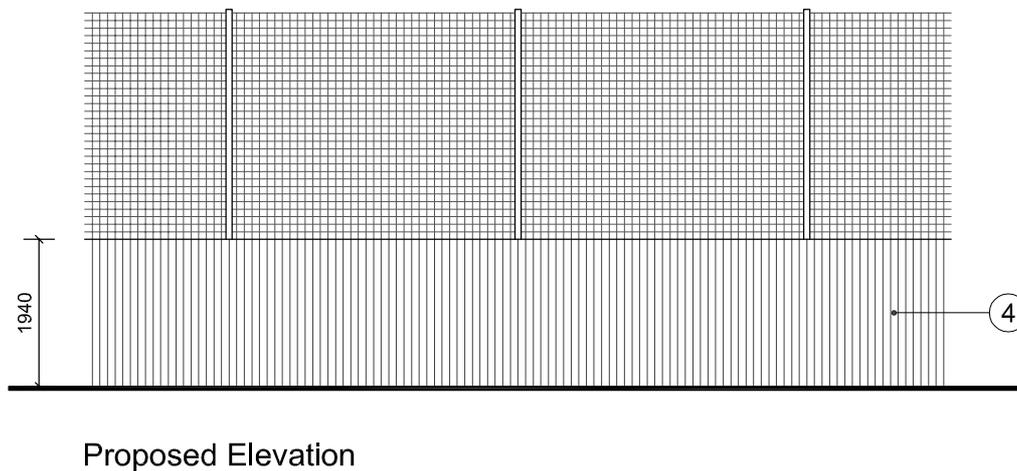
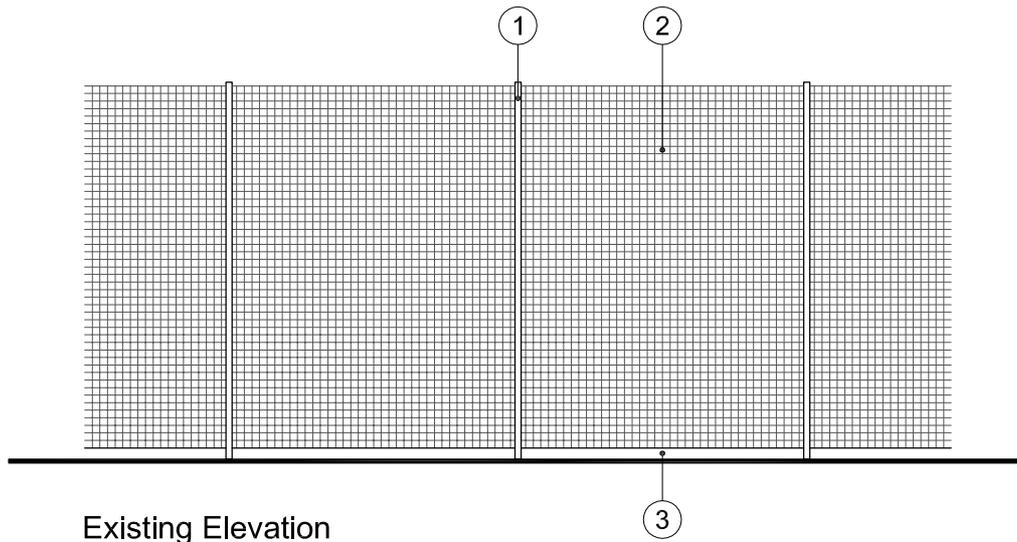
Front Veiw

40mm x 40mm Box Section

40mm x 5mm Flat Bar



Sports Ground Development						DRAWN		DATE	03/11/2020	TITLE			
						CHECKED	Sports Ground Development	DATE		Double Turstile			
TOLERANCES UNLESS OTHERWISE STATED						MAT'L/ FINISH		SCALE	1 / 15	DRAWING NO.		ISSUE	SHEET
FOLDED		MACHINED		FABRICATED		HOLE CENTRES		<b>REMOVE ALL BURRS AND SHARP EDGES</b>		Front View Double Turnstile			A3
± 0.20		0 ± 0.20 0.0 ± 0.10 0.00 ± 0.05		Up to 500 ± 0.50 Over 500 ± 1.00		± 0.20 ANGLES ± 0.20~		<b>DO NOT SCALE FROM PRINT.</b>		 THIRD ANGLE PROJECTION		ALL DIMENSIONS ARE IN mm, UNLESS OTHERWISE STATED.	
<small>THIS DRAWING AND THE SUBJECT MATTER THEREOF IS PROPERTY OF Sports Ground Development AND IS CONFIDENTIAL INFORMATION. DISCLOSURE OR USE OF SUCH INFORMATION WITHOUT THE WRITTEN CONSENT OF Sports Ground Development IS PROHIBITED. EXCEPT AS PROVIDED BY SEPARATE WRITTEN AGREEMENT, Sports Ground Development MAKES NO WARRANTY EXPRESSED, IMPLIED OR STATUTORY AS TO THIS DRAWING.</small>													

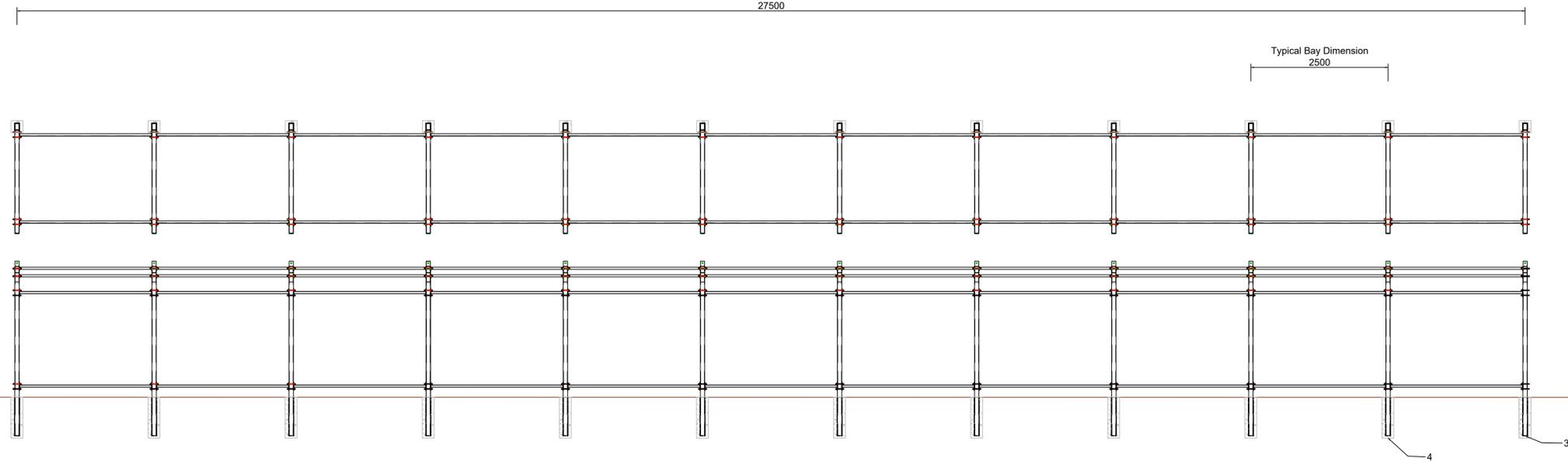


- ① Existing 5m high steel posts
- ② Existing netting
- ③ Existing gravel board
- ④ New timber close boarded fence fixed to existing steel posts

This drawing, design and the illustrated works are the copyright of Urban Aspects Limited and may not be reproduced either wholly or in part without written consent.

Client						
Project						
Drawing Title						
<p style="text-align: center;"><b>Longlevens Football Club</b></p> <p style="text-align: center;"><b>Sawmills End, Gloucester</b></p> <p style="text-align: center;"><b>Fence Details</b></p>				Job No.	Drg No.	Rev.
Date	Scale	Drawn	Status	LFC22.01	01	-
Dec 2022	1:100 @ A4	GMP	PA			

### PLAN VIEW (Cladding omitted for clarity)

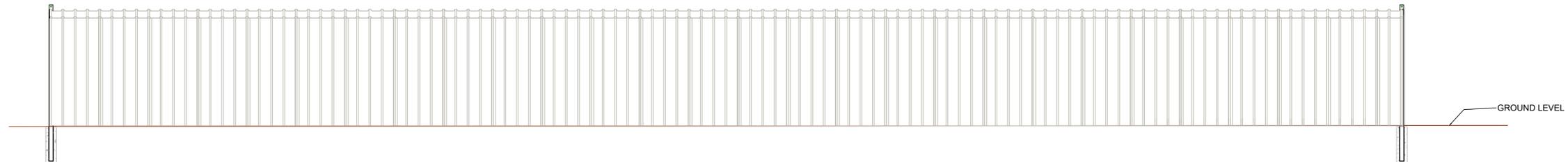


### FRONT ELEVATION (Cladding omitted for clarity)

### PLAN VIEW (With Cladding)



### REAR ELEVATION (With Cladding)



#### GENERAL DETAIL:

1. ALL POSTS 120x80x5 SHS
2. ALL BRACING 40x40x3 EA
3. POST SOCKETS FABRICATED FROM 6MM PLATE CONCRETE
4. ALL BRACING BOLTS M12 U.N.O
5. CLADDING - TF 32/1000 4R Box Profile Plastisol .7
7. ALL STEELWORK PAINTED BLACK

REV	DESCRIPTION	REV BY	DATE
1	Issue Close		

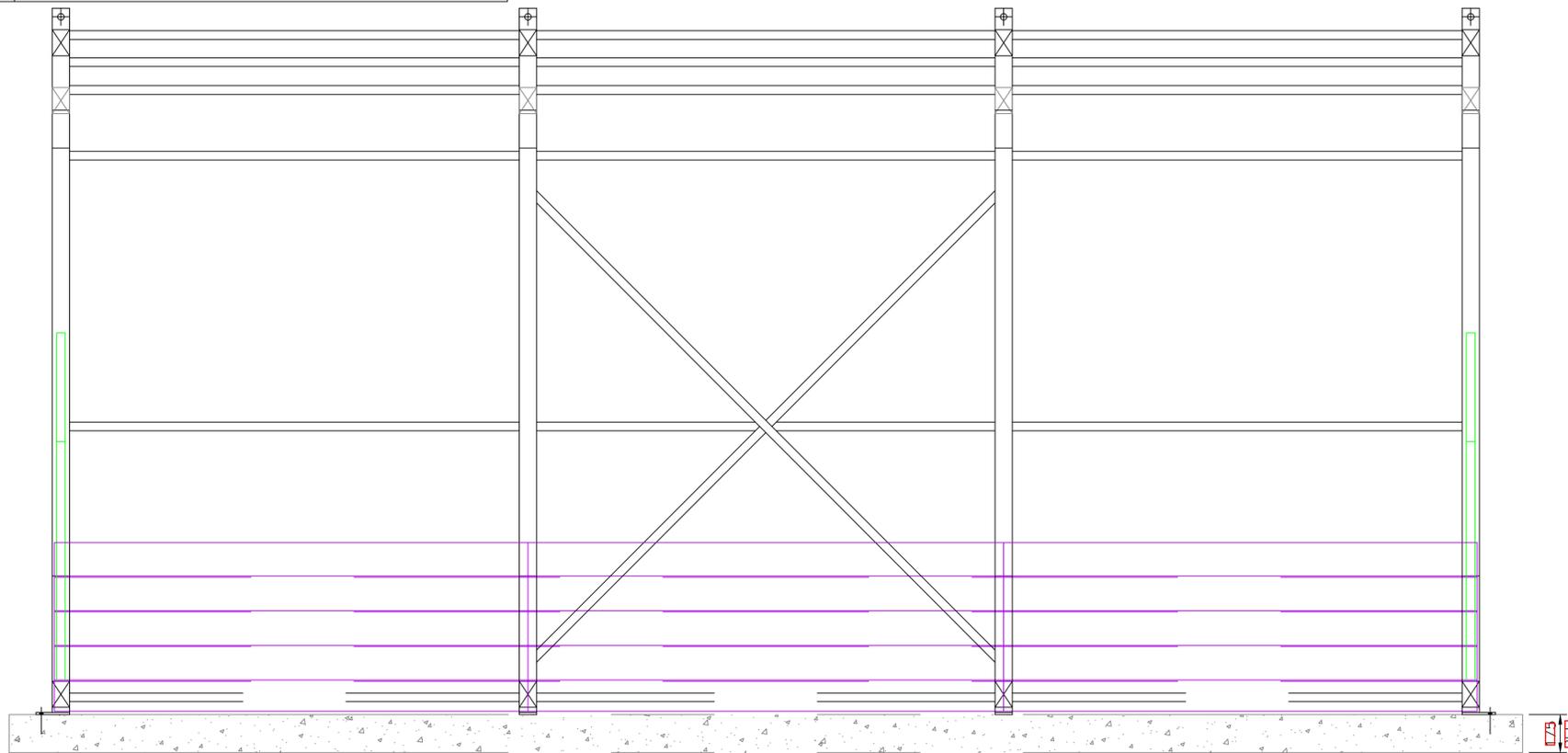
**MOORE STEEL**

Station Road, Thorney  
Peterborough, PE6 0GB

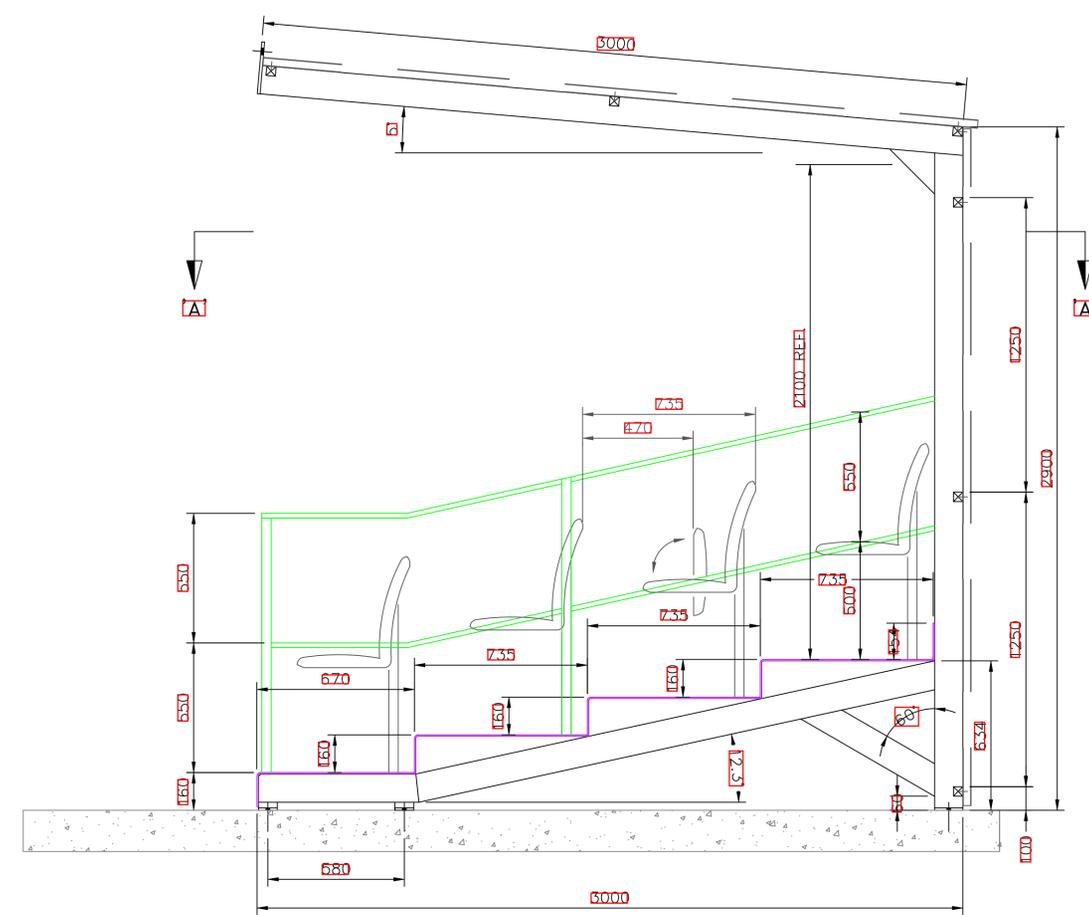
CONTRACT: No. PART: No. DRAWN BY: CHECKED BY: DATE

FILE NAME: WSH-11-CANOPY-GA02 WSH-11-GA002

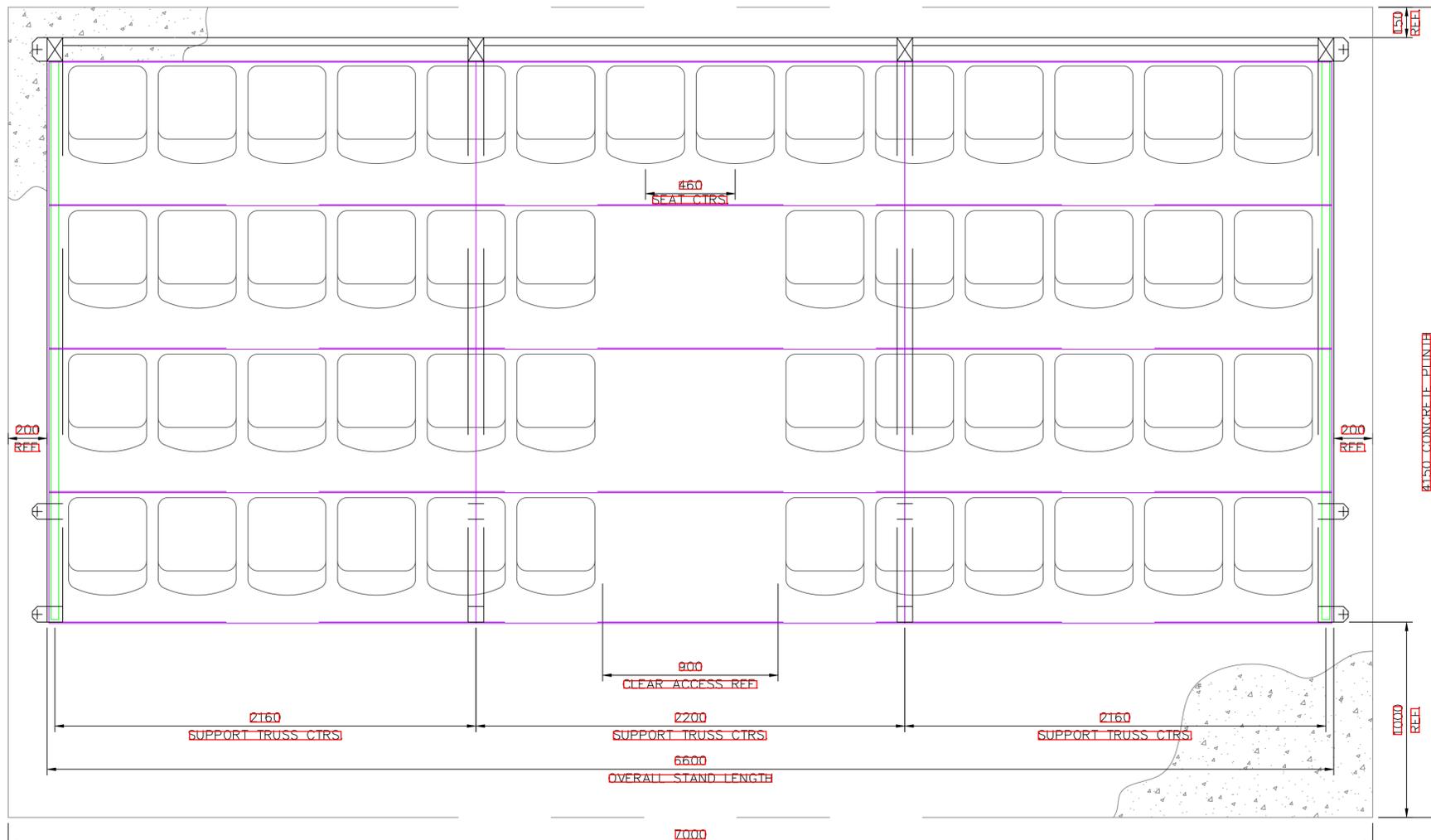
A1 DO NOT SCALE - IF IN DOUBT ASK!



VIEW ON FRONT  
(SEATS and CLADDING OMITTED FOR CLARITY)



VIEW ON END



PLAN VIEW ~ SECTION 'A' - 'A'

GENERAL NOTES

STEELWORK: WELDED STEEL STRUCTURE CONSISTING OF:

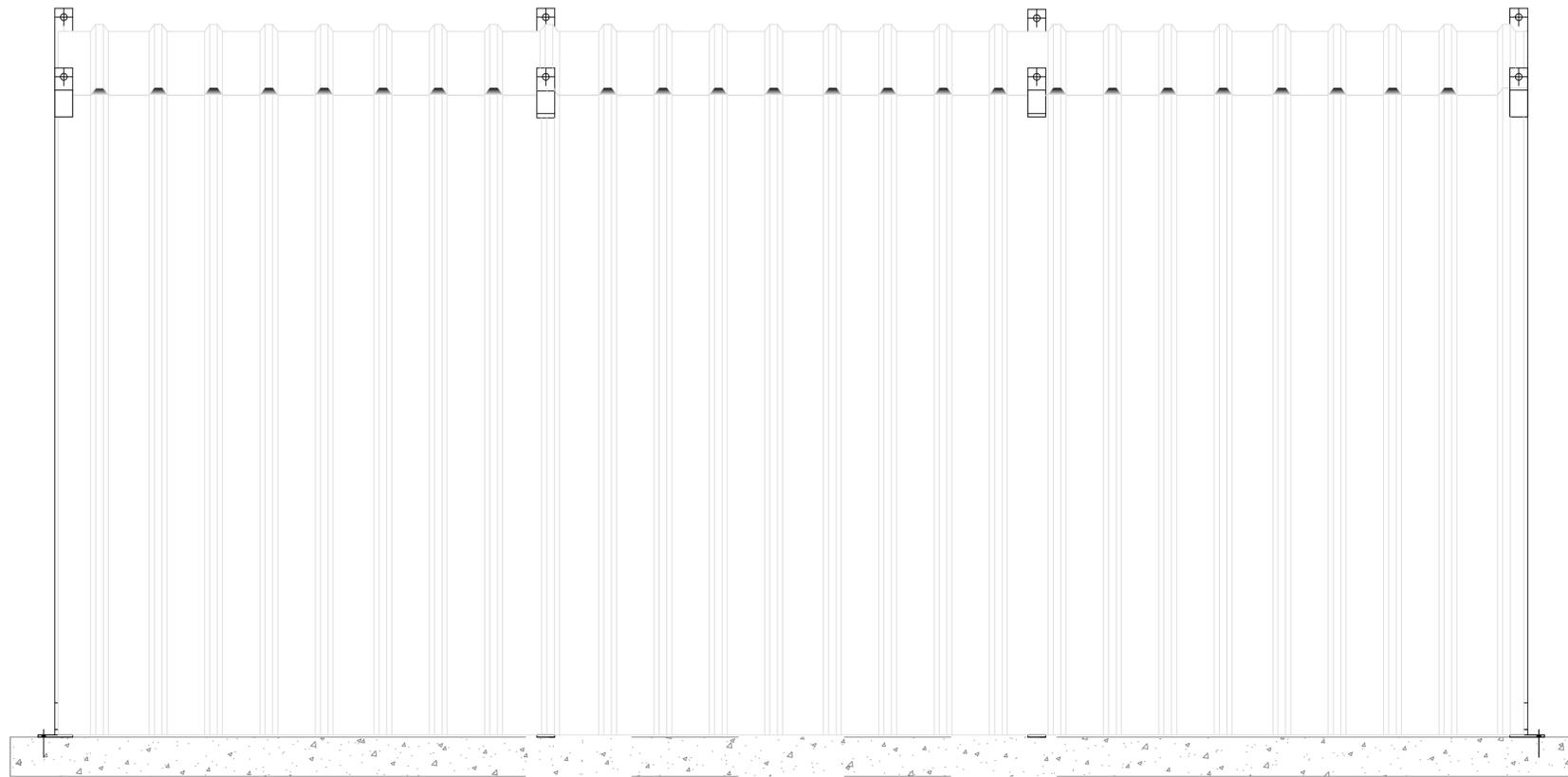
- 120 x 80 x 5 THK. SUPPORT TRUSSES
- 40 x 40 x 4 THK. S.H.S. HORIZONTAL MEMBERS
- 40 x 40 x 4 THK. S.H.S. CROSS BRACING MEMBERS
- 40 x 40 x 4 THK. S.H.S. SIDE BARRIER SUPPORT POST
- 40 x 20 x 3 THK. R.H.S. SIDE BARRIER HAND RAILS

FLOOR: WELDED STRUCTURE CONSISTING OF:

- 6 THK. FOLDED STEEL DURBAR (CHECKER PLATE)
- 6 THK. PLATE GUSSET SUPPORT / END PLATES

REV		DESCRIPTION	REV BY/DATE
CAD DRAWING - MUST NOT BE MODIFIED MANUALLY			
		11 Dale Close Peterborough PE2 5HB	
		Station Road, Thorney Peterborough, PE6 0QE	
		FIRST ANGLE PROJECTION	ALL DIMENSIONS IN mm UNLESS OTHERWISE STATED
SCALE	DRAWING TITLE		
1:15	50 SEAT GRANDSTAND (TYPE A50) GENERAL ARRANGEMENT		
PROJECT TITLE			
CLIENT/SITE			
CONTRACT No	PART No	DRAWN BY	CHECKED BY
		MSD=CM	
		DATE	04/11/2018
EXECUTION CLASS	FILE NAME	DRAWING No	REV
EXC.2	MSD=STAND=TYPE=A50=001	MSD=STAND=TYPE=A50=001	001

A1 DO NOT SCALE - IF IN DOUBT ASK

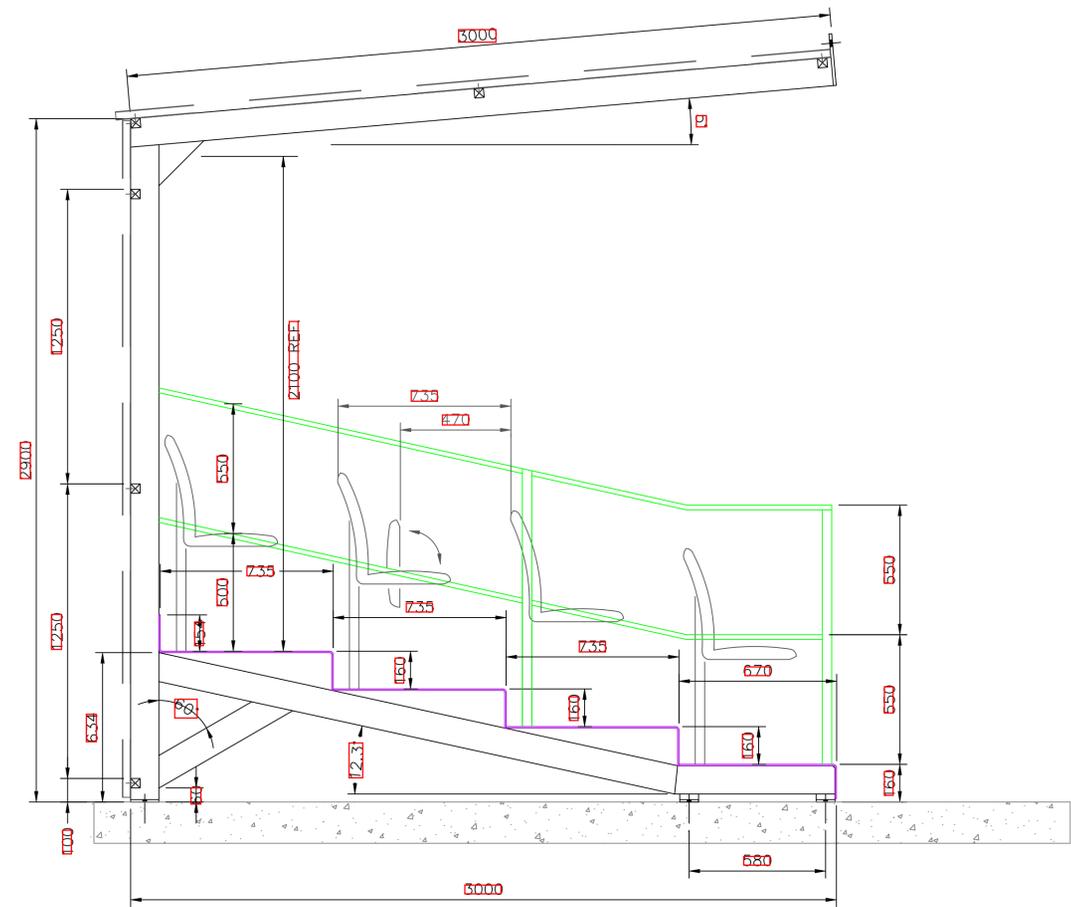


VIEW FROM REAR

VIEW FROM TOP



PITCH FACING



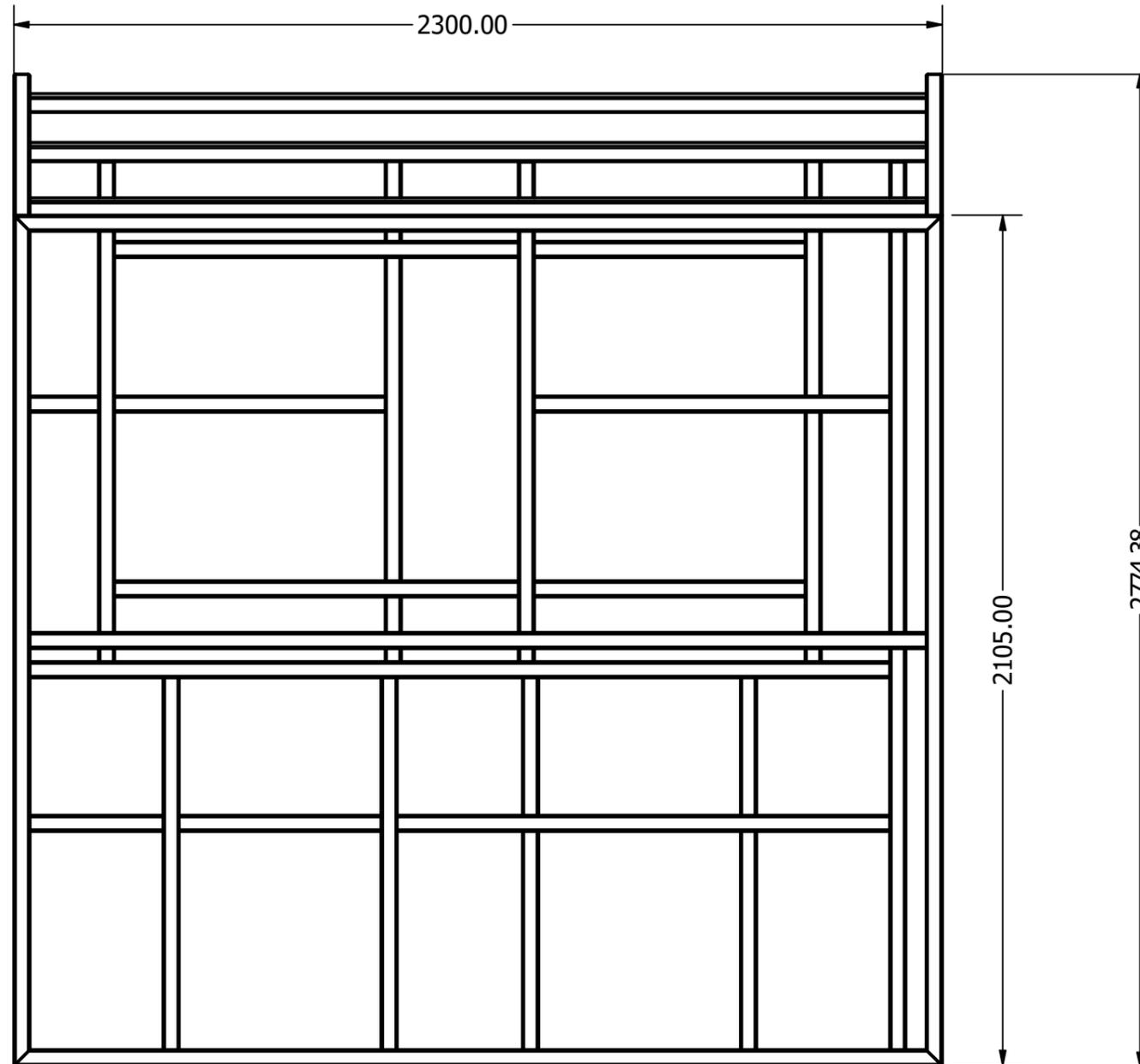
VIEW ON END

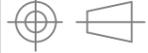
REV	DESCRIPTION	REV BY/DATE
	CAD DRAWING - MUST NOT BE MODIFIED MANUALLY	
	 Dale Close Peterborough PE2 5HB [Redacted]	
	 Station Road, Thorney Peterborough, PE6 0QE [Redacted]	
	 FIRST ANGLE PROJECTION	ALL DIMENSIONS IN mm UNLESS OTHERWISE STATED
SCALE	DRAWING TITLE	
1:15	50 SEAT GRANDSTAND (TYPE A50) GENERAL ARRANGEMENT (Additional Views)	
PROJECT TITLE		
CLIENT/SITE		
CONTRACT NO.	PART NO.	DRAWN BY
		MSD=MD
		CHECKED BY
		DATE
		05/01/2021
EXECUTION CLASS	FILE NAME	DRAWING NO.
EXC.2	MSD-STAND=TYPE=A50=002	MSD-STAND=TYPE=A50=002
		REV
		001

Side View

40mm x 40mm Box Section

40mm x 5mm Flat Bar



Sports Ground Development						DRAWN		DATE	05/11/2020	TITLE		
						CHECKED	Sports Ground Development	DATE		Double Turnstile		
TOLERANCES UNLESS OTHERWISE STATED				MAT'L/ FINISH		SCALE	1 / 15	DRAWING NO.		ISSUE	SHEET	
							Side View Double Turnstile		A3			
FOLDED	MACHINED	FABRICATED	HOLE CENTRES	<b>REMOVE ALL BURRS AND SHARP EDGES</b>				 THIRD ANGLE PROJECTION				
± 0.20	0 ± 0.20 0.0 ± 0.10 0.00 ± 0.05	Up to 500 ± 0.50 Over 500 ± 1.00	± 0.20 ANGLES ± 0.20~	<b>DO NOT SCALE FROM PRINT.</b>				ALL DIMENSIONS ARE IN mm, UNLESS OTHERWISE STATED.				
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