

Householder Application for Planning Permission for works or extension to a dwelling, and for relevant demolition of an unlisted building in a conservation area

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number	<input type="text" value="11"/>
Suffix	<input type="text"/>
Property Name	<input type="text"/>
Address Line 1	<input type="text" value="Honyatt Road"/>
Address Line 2	<input type="text"/>
Address Line 3	<input type="text" value="Gloucestershire"/>
Town/city	<input type="text" value="Gloucester"/>
Postcode	<input type="text" value="GL1 3EB"/>

Description of site location must be completed if postcode is not known:

Easting (x)	Northing (y)
<input type="text" value="383830"/>	<input type="text" value="219121"/>

Description

Applicant Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

Secondary number

Fax number

Email address

Agent Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Contact Details

Primary number

Secondary number

Fax number

Email address

Description of Proposed Works

Please describe the proposed works

Has the work already been started without consent?

Yes

No

Explanation for Proposed Demolition Work

Why is it necessary to demolish all or part of the building(s) and/or structure(s)?

Materials

Does the proposed development require any materials to be used externally?

Yes

No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

Type:

Walls

Existing materials and finishes:

Red Brick

Proposed materials and finishes:

Red Brick

Type:

Roof

Existing materials and finishes:

Slate

Proposed materials and finishes:

Slate

Type:

Other

Other (please specify):

Rooflights

Existing materials and finishes:

n/a

Proposed materials and finishes:

conservation roof lights in new extension roof

Type:

Windows

Existing materials and finishes:

Single glazed, timber framed windows (black)

Proposed materials and finishes:

FRONT ELEVATION - Proposed slimline double glazed, white timber sash windows to match existing. REAR & SIDE ELEVATION - Proposed double glazed, anthracite grey uPVC windows and double glazed, anthracite grey metal framed bifold patio doors.

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

- 204 00 site location plan
- 204 01 existing and proposed site and roof plan
- 204 02 existing floor plans
- 204 03 existing elevations
- 204 04 proposed floor plans
- 204 05 proposed elevations

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

- Yes
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes
 No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

- Yes
 No

Parking

Will the proposed works affect existing car parking arrangements?

- Yes
 No

Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

- Yes
 No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

- Yes
 No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
 The applicant
 Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes
 No

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes
- No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes
- No

Is any of the land to which the application relates part of an Agricultural Holding?

- Yes
- No

Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

- The Applicant
- The Agent

Title

Miss

First Name

Emma

Surname

Smith

Declaration Date

09/06/2022

Declaration made

Declaration

I / We hereby apply for Householder planning & demolition in a conservation area as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

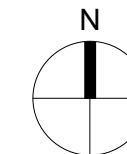
Emma Smith

Date

09/06/2022

0 10 20 30 40 50 M

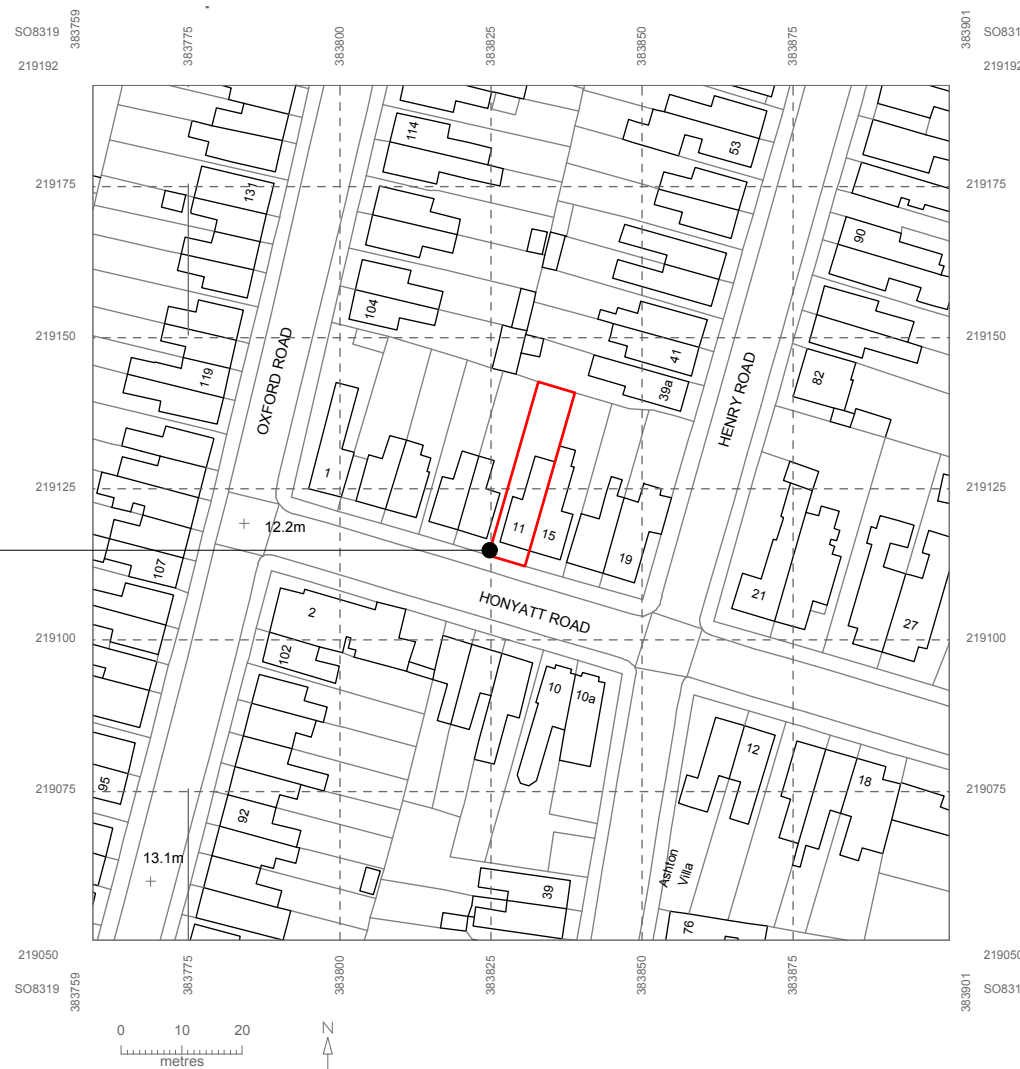
Scale Bar: 1:1250 @ A3



General notes:

1. Contractor to check all dimensions on site prior to production of any shop drawings, fabrication and commencement on site.
2. All work to comply with current Building Regulations and all relevant regulations.
3. Proposals subject to review by suitably qualified structural engineer.
4. Proposals subject to review on site by qualified plumber to ensure adequate drainage can be achieved to all bathrooms.

Site outlined in red.



1 site location plan
1:1250 @ A3

rev	date	note
-	08.06.22	Issued for Planning
-	30.05.22	Draft issued to client

PLANNING



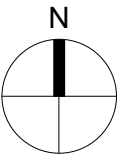
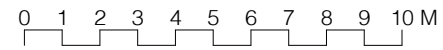
project
11 HONYATT ROAD
GLOUCESTER
GLOUCESTERSHIRE
GL1 3EB

drawing
SITE LOCATION PLAN

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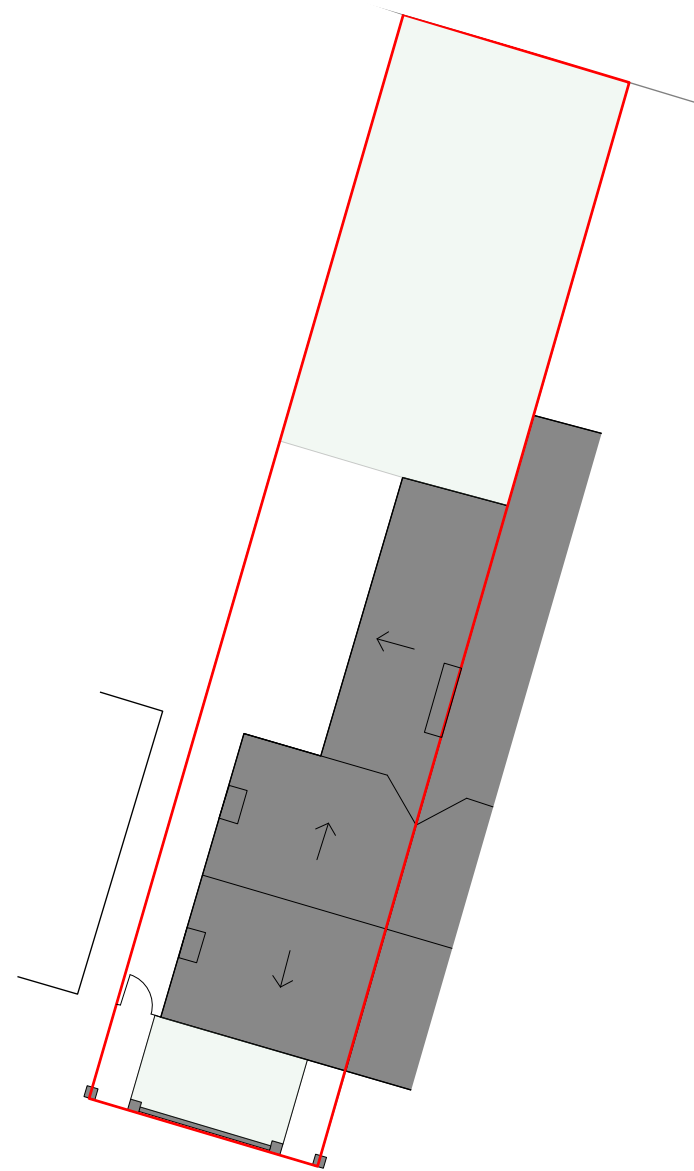
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1:1250@A3	204-00	-

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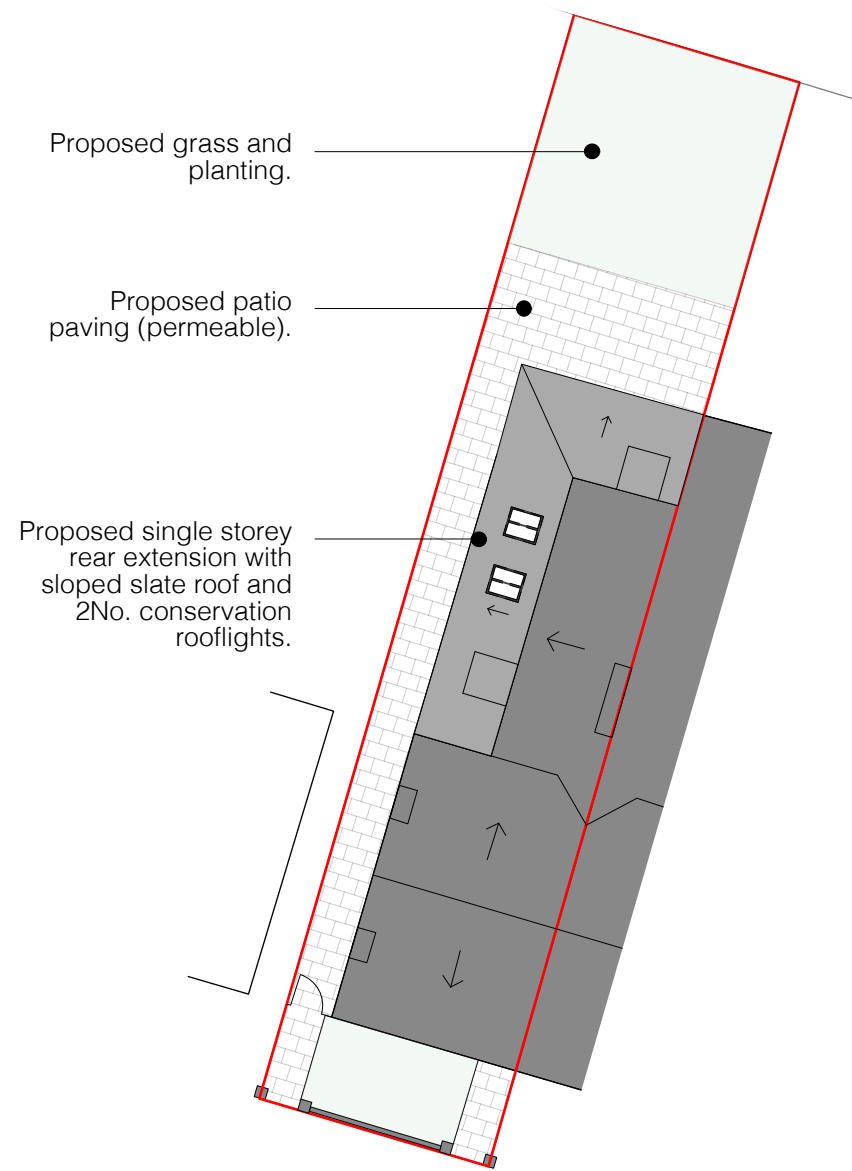


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1 existing site layout plan
1:200 @ A3



2 proposed site layout plan
1:200 @ A3

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rev	date	note
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PLANNING

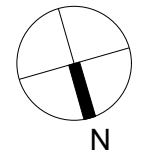
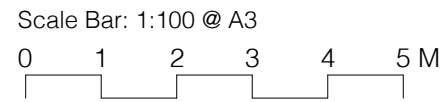
PEDERSEN SMITH⁺
architects

project
11 HONYATT ROAD
GLOUCESTER
GLOUCESTERSHIRE
GL1 3EB

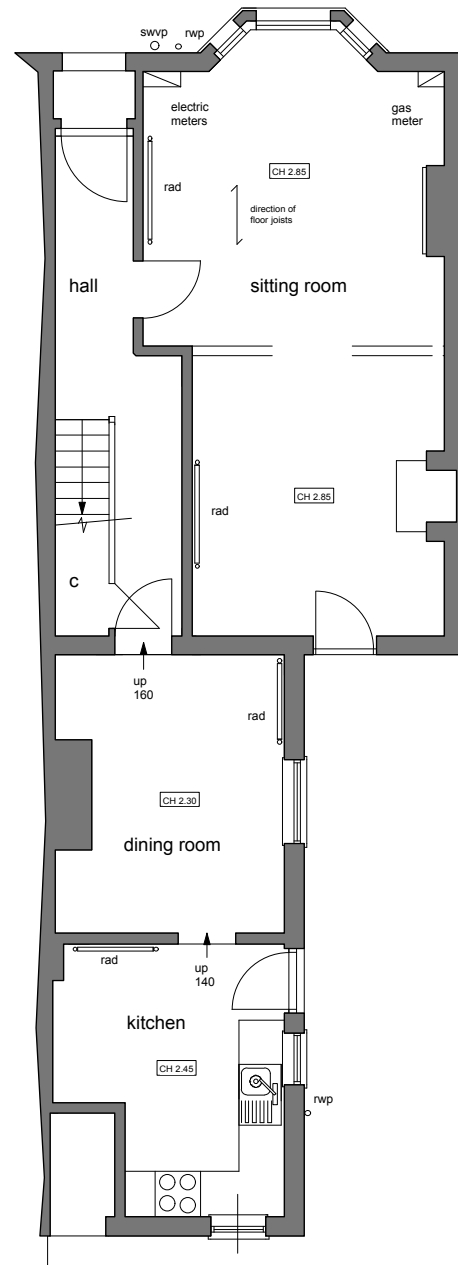
drawing
EXISTING & PROPOSED SITE
LAYOUT & ROOF PLANS

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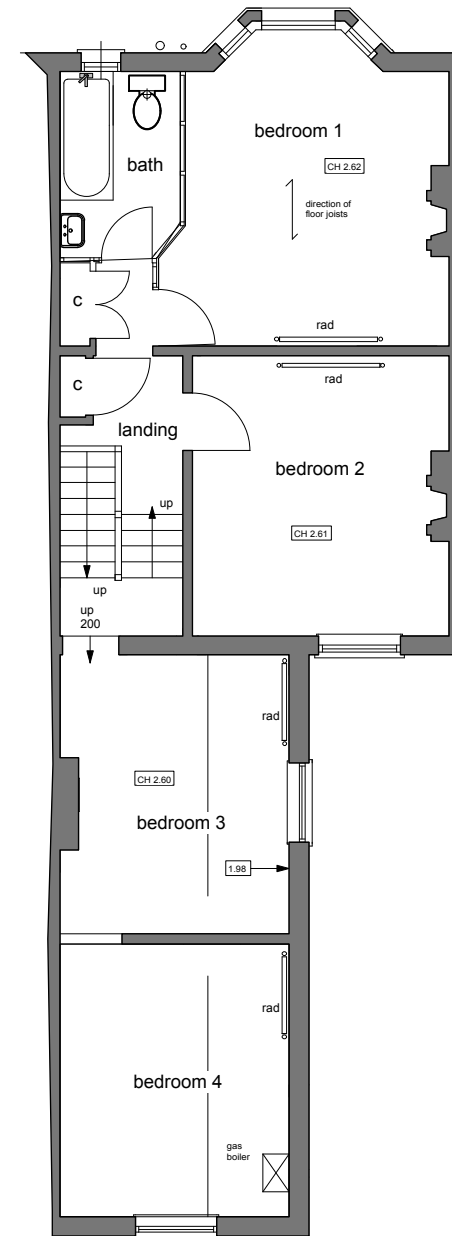
scale	dwg no	rev
1:200@A3	204-01	A



Front elevation with Honyatt Road in front.



1 existing ground floor
1:100 @ A3



2 existing first floor
1:100 @ A3

Rear elevation with garden behind.



- General notes:
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PEDERSEN SMITH⁺
architects

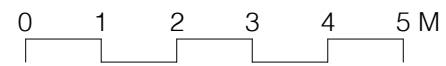
project
11 HONYATT ROAD
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GLOUCESTERSHIRE
GL1 3EB

drawing
EXISTING FLOOR PLANS

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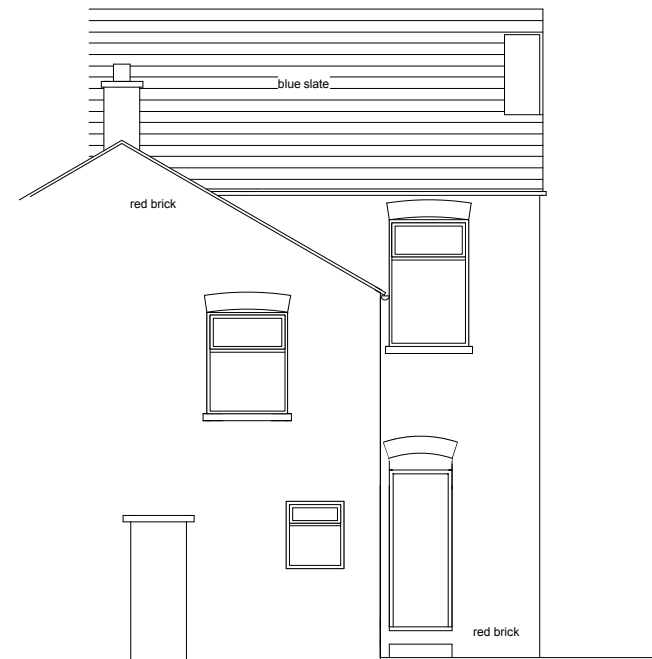
Scale Bar: 1:100 @ A3



Existing single glazed painted black timber windows with painted white window surrounds and stonework.



1 existing front elevation
1:100 @ A3



2 existing rear elevation
1:100 @ A3



3 existing side elevation
1:100 @ A3

General notes:

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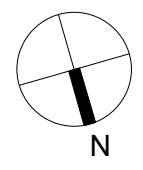
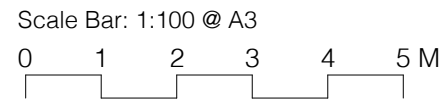
PEDERSEN SMITH⁺
architects

project
11 HONYATT ROAD
GLOUCESTER
GLOUCESTERSHIRE
GL1 3EB

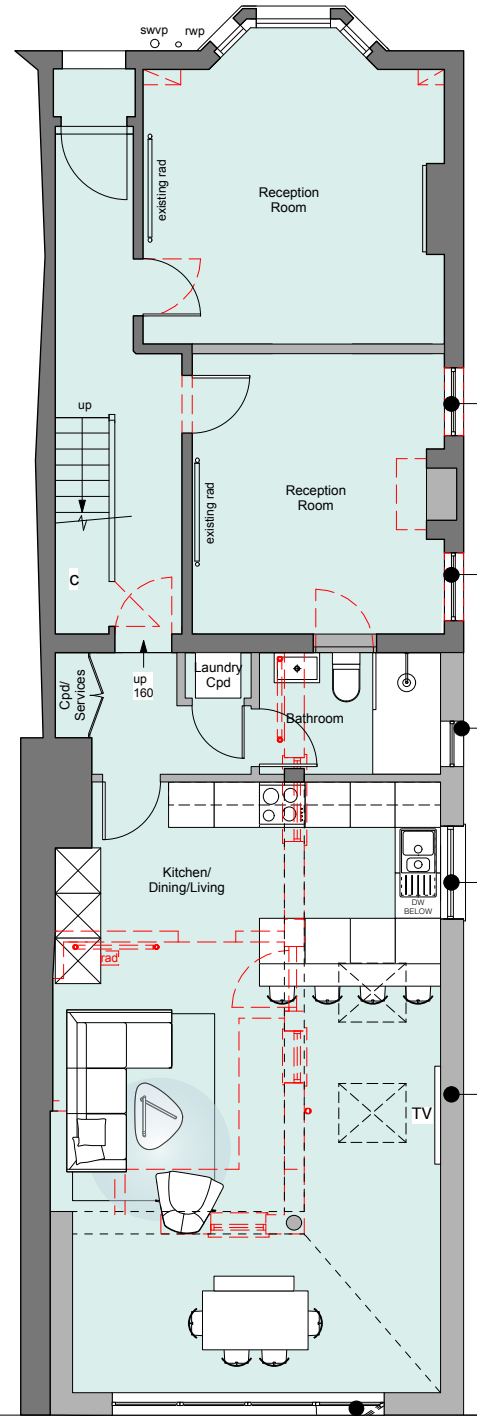
drawing
EXISTING ELEVATIONS

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scale	dwg no	rev
1:100@A3	204-03	-



Front elevation with Honyatt Road in front.



Proposed 2No. double glazed, uPVC (anthracite grey) side windows onto the existing private side path.

Proposed opaque bathroom window.

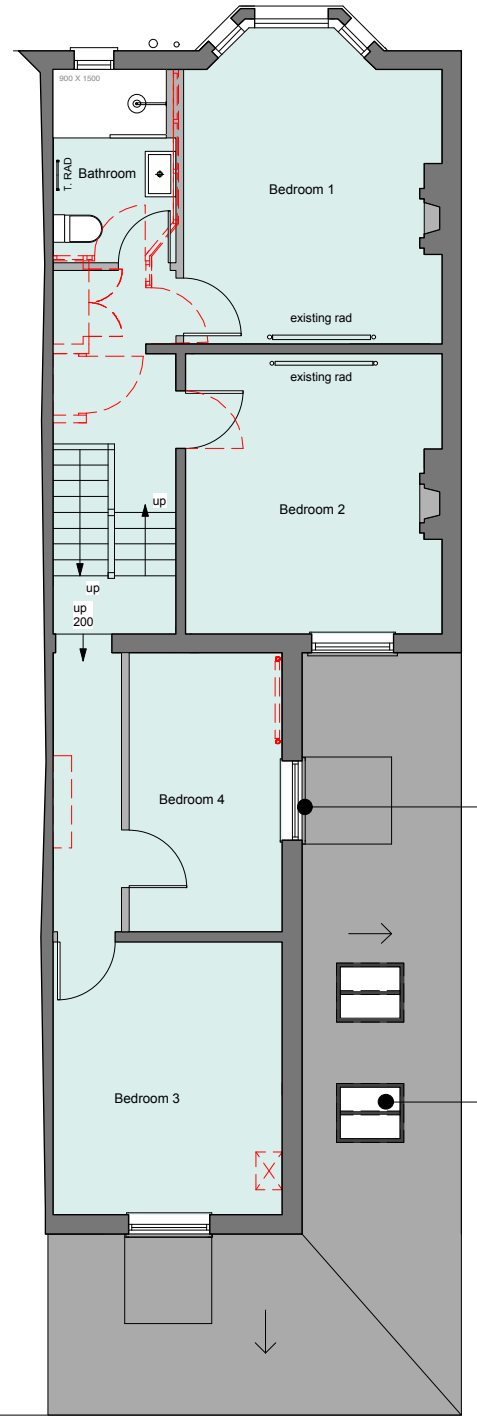
Proposed doubled glazed uPVC window (anthracite grey).

Proposed single storey rear extension in materials to match existing (brick and slate roof).

Proposed double glazed metal framed bifold patio doors (anthracite grey).

1 proposed ground floor
1:100 @ A3

Rear elevation with garden behind.



Existing rear windows replaced with double glazed, uPVC (anthracite grey) windows.

2no. proposed conservation style rooflights in pitched roof above single storey rear side extension. Pitched slate roof.

2 proposed first floor
1:100 @ A3

- General notes:
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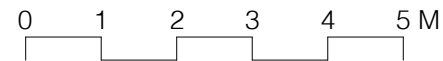
project
11 HONYATT ROAD
GLOUCESTER
GLOUCESTERSHIRE
GL1 3EB

drawing
PROPOSED FLOOR PLANS

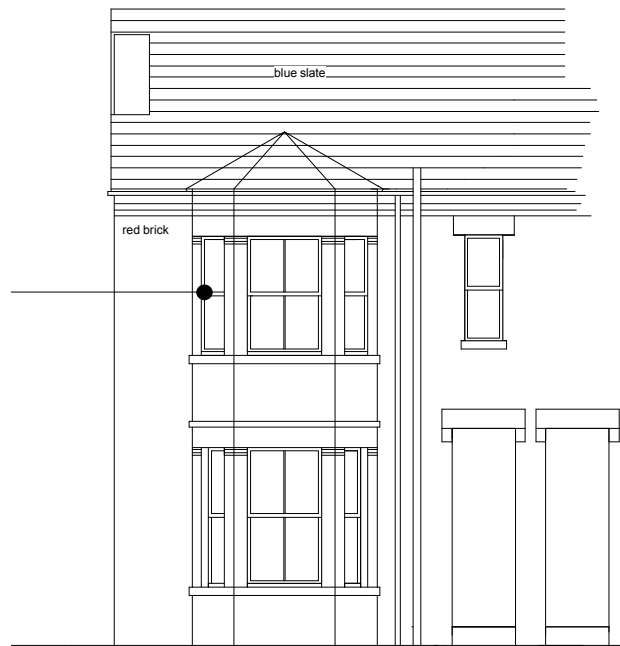
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1:100@A3	204-04	A

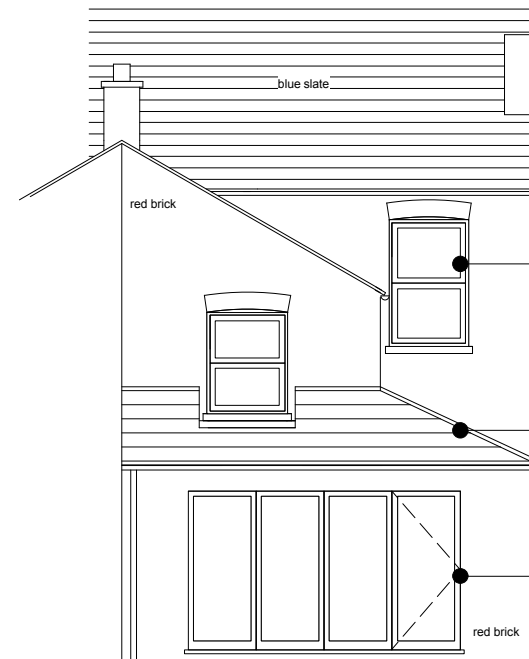
Scale Bar: 1:100 @ A3



Existing front elevation windows replaced with slimline, double glazed timber sash windows (white) to match existing.



1 proposed front elevation
1:100 @ A3



Existing rear windows replaced with double glazed, uPVC (anthracite grey) windows.

Proposed single storey, brick rear extension in materials to match existing (brick & slate).

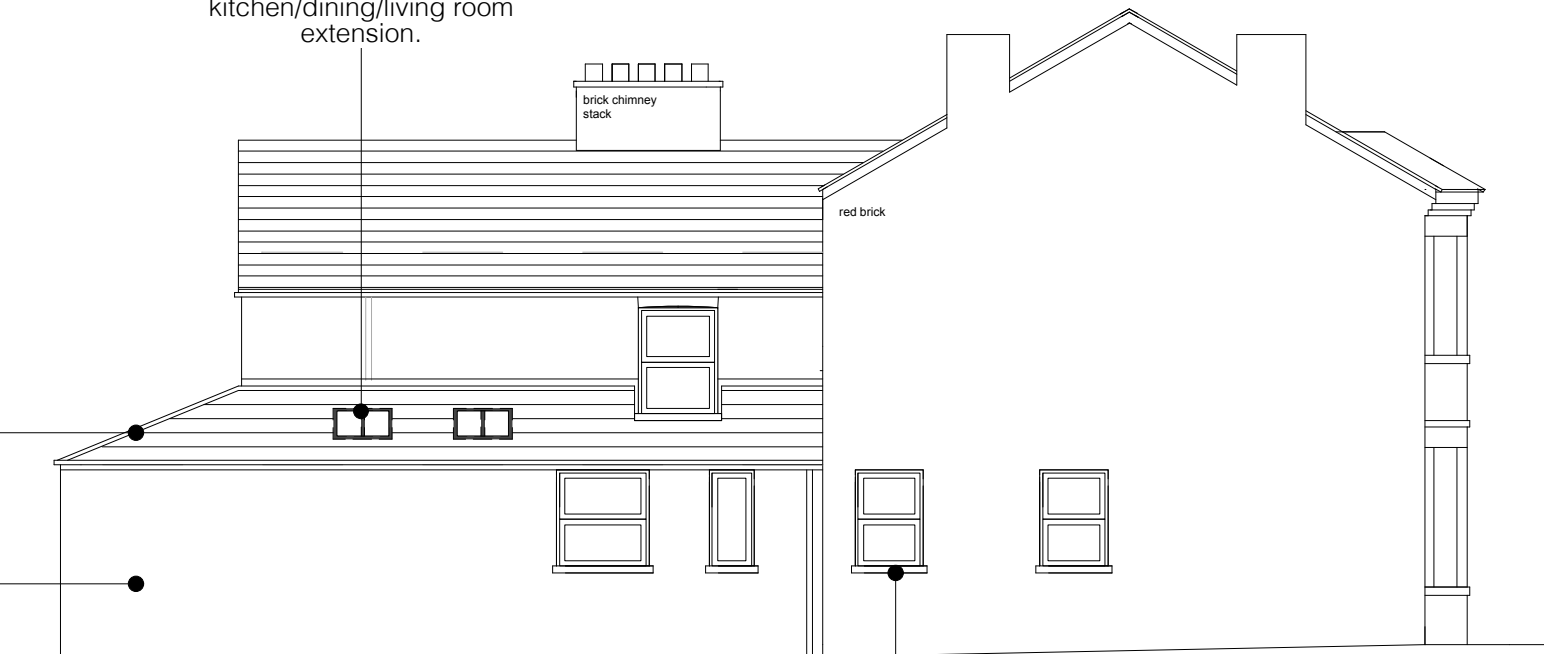
Proposed double glazed metal framed bifold patio doors (anthracite grey).

2 proposed rear elevation
1:100 @ A3

Flush fitting conservation rooflights above kitchen/dining/living room extension.

Proposed slate roof tiles

Proposed single storey rear brick extension in materials to match existing.



Proposed 4No. anthracite grey UPVC double glazed windows to the side and rear.

3 proposed side elevation
1:100 @ A3

General notes:

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PLANNING

PEDERSEN SMITH⁺
architects

project
11 HONYATT ROAD
GLOUCESTER
GLOUCESTERSHIRE
GL1 3EB

drawing
PROPOSED ELEVATIONS

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scale 1:100@A3 dwg no 204-05 rev A

design & access statement



ERECTION OF SINGLE STOREY REAR EXTENSION AND INSERTION OF 2NO. SIDE WINDOWS

11 Honyatt Road, Gloucester, Gloucestershire GL1 3EB

09/06/2022

1.0 Introduction

1.1 The applicant is applying to Gloucester City Council for full planning permission to erect a single storey rear extension with 2no. rooflights and insertion of 2no. side windows to the rear reception room.

1.2 This Design and Access Statement has been prepared by Pedersen Smith Architects Ltd and sets out information concerning the design and access principles for the proposed development.

2.0 Site & Existing Property

2.1 The existing property is a two storey semi detached property located on the northern side of Honyatt Road approximately 0.6 miles from Gloucester City Centre via footpaths. The immediate surrounding area is residential in character and comprises mainly of two storey late Victorian detached, semi-detached and terraced properties of a similar design. The property is currently a single family dwelling.

2.2 The property is located within the Denmark Road Conservation Area and identifies as a 'positive building' as shown in Image 2 below. The property is not listed, nor in the immediate vicinity of a listed building.

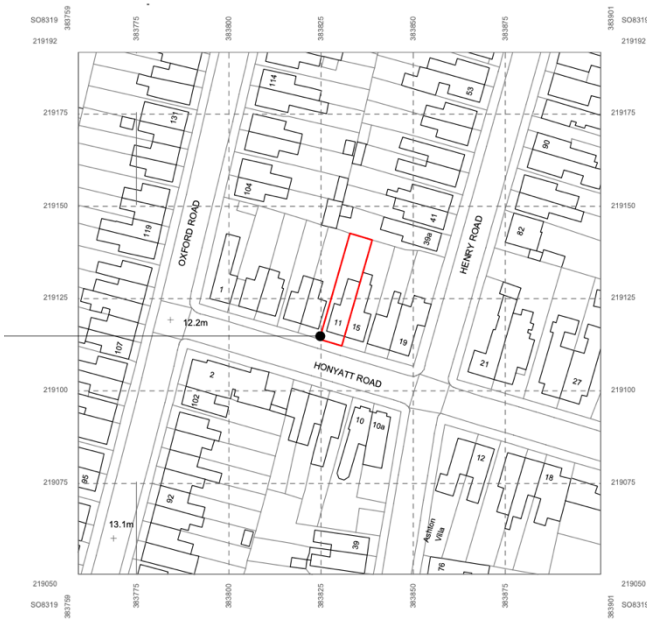


Image 1: Site location plan with site outlined in red. Not to scale.

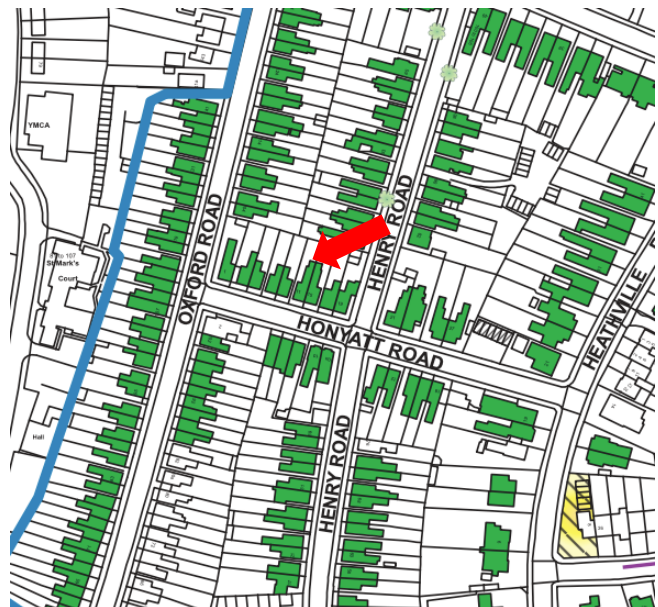


Image 2: Extract from Gloucester City Conservation Area Appraisals, Denmark Road Conservation Area Boundary map, Townscape Appraisal map. Not to scale.

- Listed buildings
- Positive buildings
- Neutral buildings
- Negative buildings

2.3 The existing front elevation, as shown in image 3, is red brick with black timber single glazed windows surrounded by painted white stone lintels and cills with a slate tiled roof. The existing windows throughout are black timber single glazed windows.

2.4 Generally the original external character remains. It is noted there is currently no Article 4's in place to remove permitted development rights as stated in the Denmark Road Conservation Area (Conservation Area No.14) Appraisal and Management Proposals.



Image 3: Photo of the front elevation of the property.

3.0 Planning History & Planning Policy

3.1 Due to Gloucester's cyber incident within the planning department (as stated on the council's website) we are unfortunately unable to view any previous planning history for the property. However it is believed the property remains unchanged since its original construction.

3.2 The proposals in this application have been designed in accordance with all relevant planning policy and guidance including the Interim Adoption 'Home Extension Guide' Supplementary Planning Document and the Denmark Road Conservation Area (Conservation Area 14) Appraisal and Management Proposals. As a result, a high quality rear extension is proposed which is appropriate to the character and appearance of the existing property.

3.3 The proposed extension design is similar in footprint and depth to the previously approved rear extension at 84 Oxford Road (ref: 21/00197/FUL) which was approved on the 17th February, 2021. This previously approved scheme on a neighbouring road also features the insertion of 2No. proposed side windows as also proposed in this application.

4.0 The Proposals - Layout, Scale & Appearance

4.1 The proposed single storey rear extension has been sensitively designed to be similar in design to the existing property, with a pitched roof and red facing brick. The proposed rear extension design will comprise of a slate tiled roof with 2no. flush conservation style roof lights and brick elevations to match the existing property.

4.2 The other proposals within this application are to replace the windows throughout with slimline double glazed, white timber replacement sash windows to the front and double glazed, anthracite grey uPVC windows to the side and rear including the installation of 2no. additional ground floor windows to the side elevation within the rear reception room. Overall, these changes will improve the overall appearance of the property, contribute positively to the wider Conservation Area and have no impacts on the neighbouring properties or occupiers. There is currently no Article 4's in place with regards to windows.

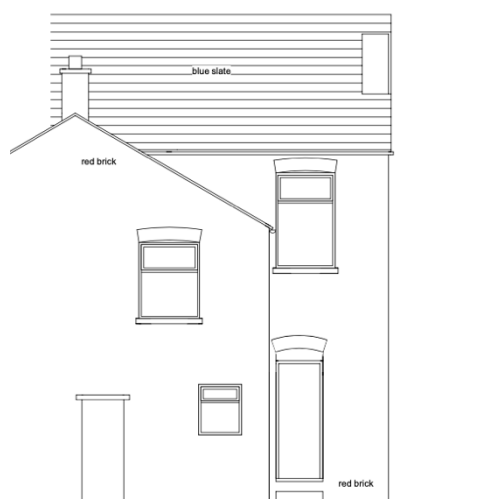


Image 5: Existing rear elevation

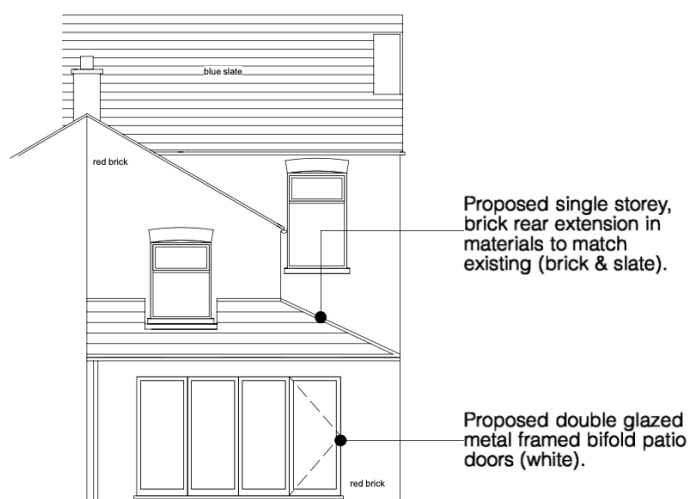


Image 6: Proposed rear elevation

5.0 Landscaping, Access & Waste Facilities

5.1 Pedestrian access to the property remains as existing. The landscaping and brick boundary walls at the front of the property are to be retained and repaired where necessary. The timber side gate is to remain also and be redecorated to preserve its life expectancy. There are no changes to bin storage. At the rear, it is proposed to undertake a light re-landscaping of the garden (no removal of trees) with permeable surfaces which is not subject to a full planning application.

6.0 Conclusion

6.1 The proposals within this application have been sensitively designed in accordance with all relevant planning policy and offer improvements to the external appearance of the property and wider conservation area as demonstrated within this statement. From Honyatt Road, the front elevation will benefit from new windows which will be an improvement from the existing windows which are in poor condition and have a poor thermal performance. At the rear the new single storey rear extension will be sensitive in design to the conservation area and provide a large open plan kitchen, dining and living area which better meets modern living standards. The proposals within this application do not impact the surrounding properties, occupants or their amenity.