

## Application for a Lawful Development Certificate for a Proposed Use or Development

### Town and Country Planning Act 1990 (as amended)

#### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

### Site Location

**Disclaimer:** We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)  Northing (y)

Description

## Applicant Details

### Name/Company

Title

Mr & Mrs

First name

Surname

Gray

Company Name

### Address

Address line 1

3 Ranmoor

Address line 2

Address line 3

Gloucestershire

Town/City

Gloucester

Country

Postcode

GL4 5BQ

Are you an agent acting on behalf of the applicant?

Yes

No

### Contact Details

Primary number

Secondary number

Fax number

Email address

## Agent Details

Name/Company

Title

First name

Surname

Company Name

## Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

## Contact Details

Primary number

Secondary number

Fax number

Email address

## Description of Proposal

Does the proposal consist of, or include, the carrying out of building or other operations?

- Yes  
 No

Does the proposal consist of, or include, a change of use of the land or building(s)?

- Yes  
 No

Has the proposal been started?

- Yes  
 No

## Grounds for Application

### Information about the existing use(s)

Please explain why you consider the existing or last use of the land is lawful, or why you consider that any existing buildings, which it is proposed to alter or extend are lawful

Please list the supporting documentary evidence (such as a planning permission) which accompanies this application

Select the use class that relates to the existing or last use.

**Please note that following changes to Use Classes on 1 September 2020:** The list includes the now revoked Use Classes A1-5, B1, and D1-2 that should not be used in most cases. Also, the list does not include the newly introduced Use Classes E and F1-2. To provide details in relation to these or any 'Sui Generis' use, select 'Other' and specify the use where prompted. See help for more details on Use Classes.

### Information about the proposed use(s)

Select the use class that relates to the proposed use.

**Please note that following changes to Use Classes on 1 September 2020:** The list includes the now revoked Use Classes A1-5, B1, and D1-2 that should not be used in most cases. Also, the list does not include the newly introduced Use Classes E and F1-2. To provide details in relation to these or any 'Sui Generis' use, select 'Other' and specify the use where prompted. See help for more details on Use Classes.

Is the proposed operation or use

- Permanent  
 Temporary

Why do you consider that a Lawful Development Certificate should be granted for this proposal?

Rear single storey extension to property with no previous extension, extension 3m.

## Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes  
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent  
 The applicant  
 Other person

## Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes  
 No

## Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff  
(b) an elected member  
(c) related to a member of staff  
(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes  
 No

## Interest in the Land

Please state the applicant's interest in the land

- Owner  
 Lessee  
 Occupier  
 Other

## Declaration

I / We hereby apply for Lawful development: Proposed use as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

Glenn Church

Date

08/07/2022

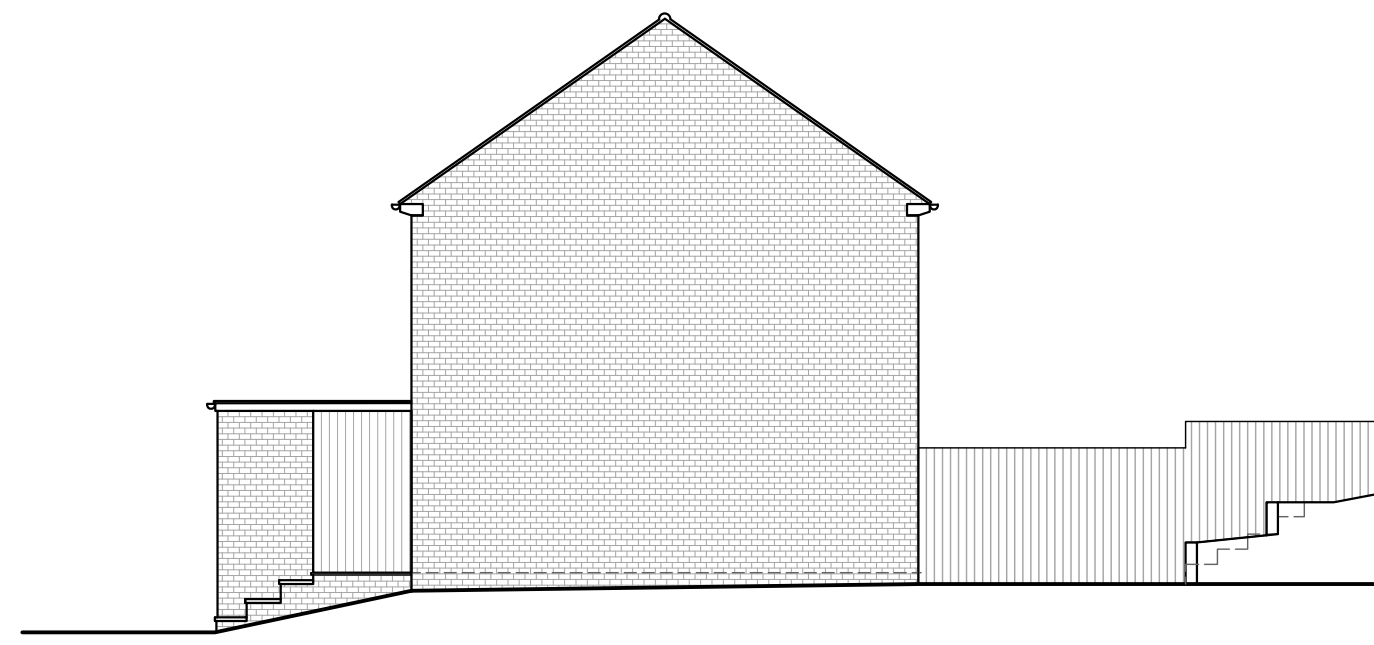
# FOR PLANNING ONLY



AS EXISTING FRONT ELEVATION - 1:100



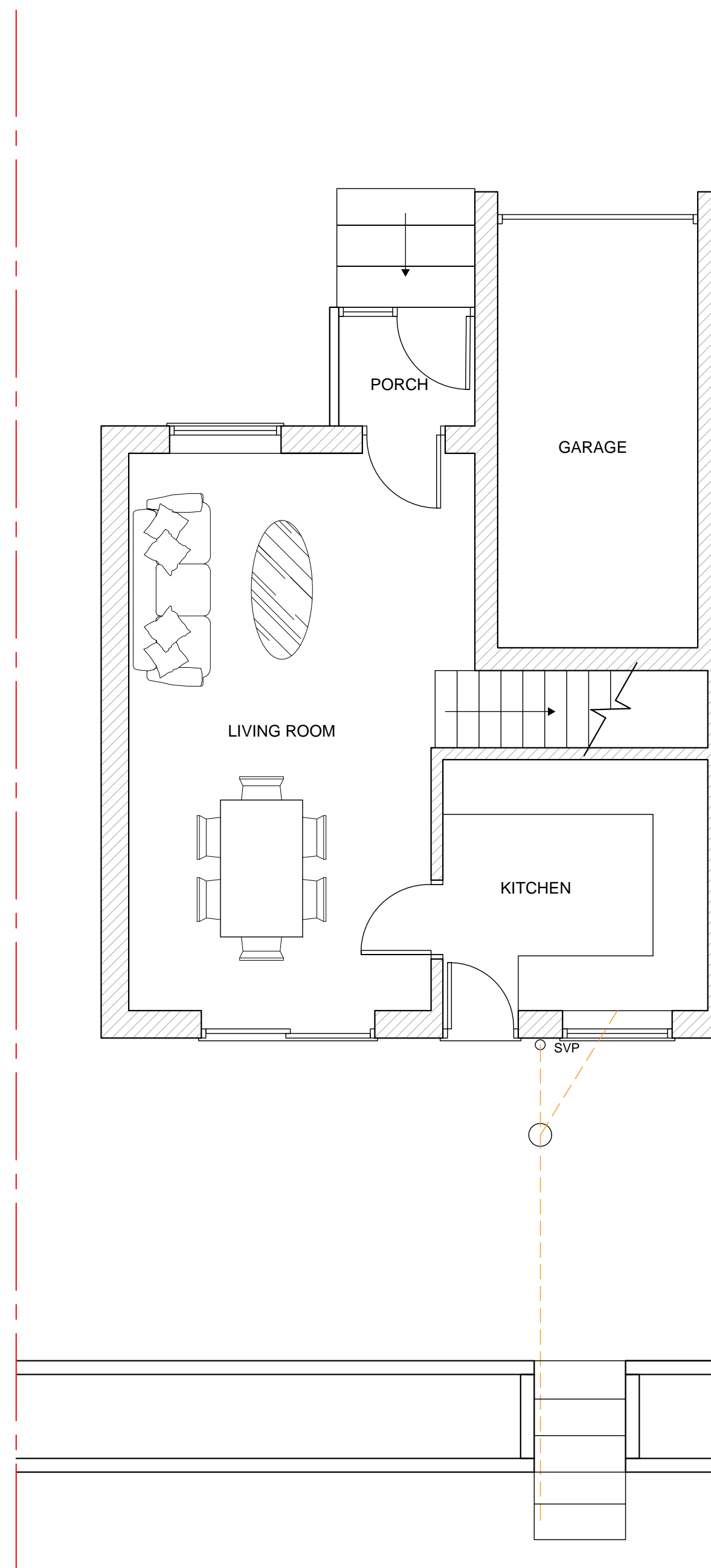
THIS BAR SHOULD SCALE 5M @ 1:100



AS EXISTING SIDE ELEVATION - 1:100



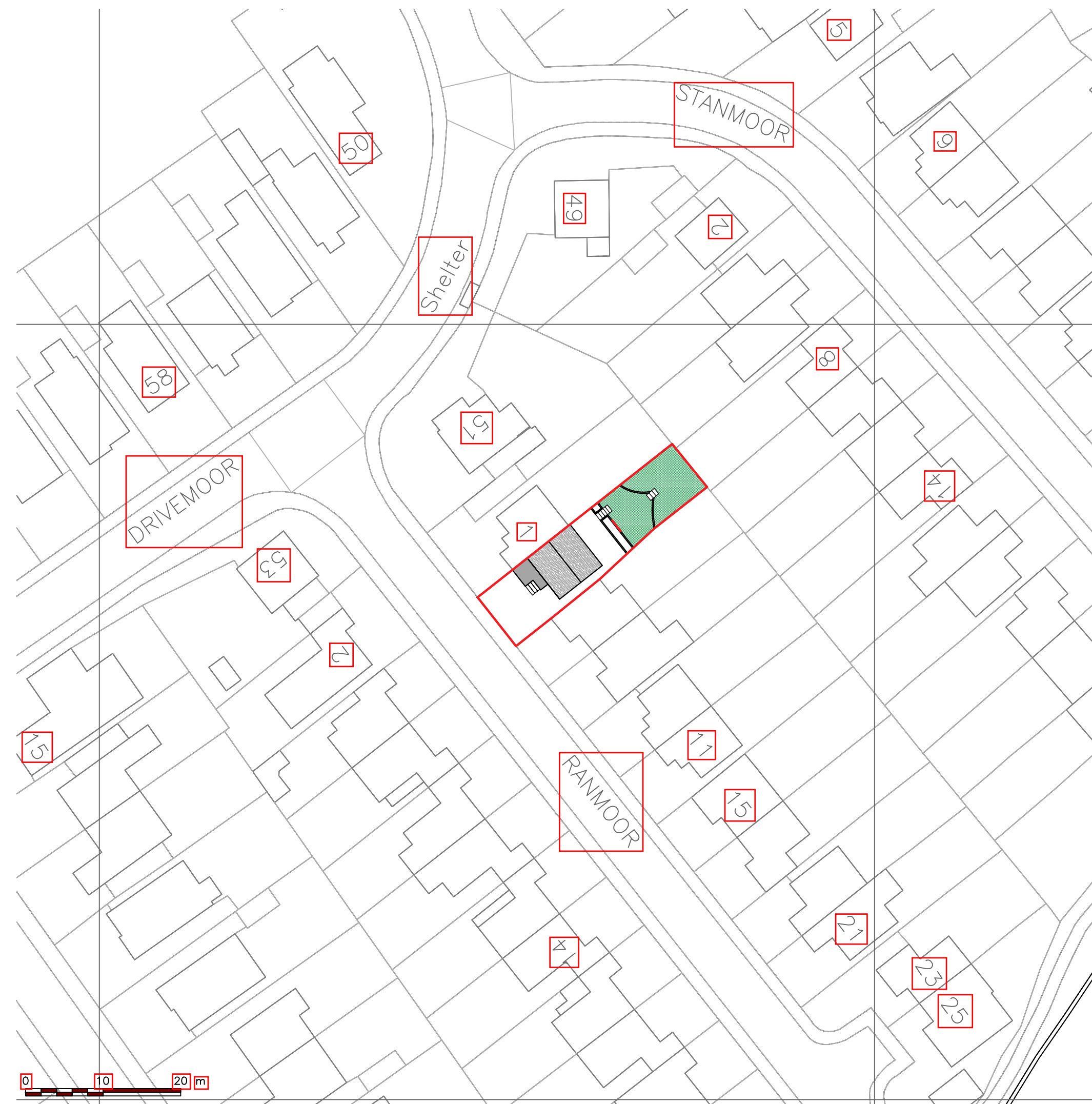
AS EXISTING REAR ELEVATION - 1:100



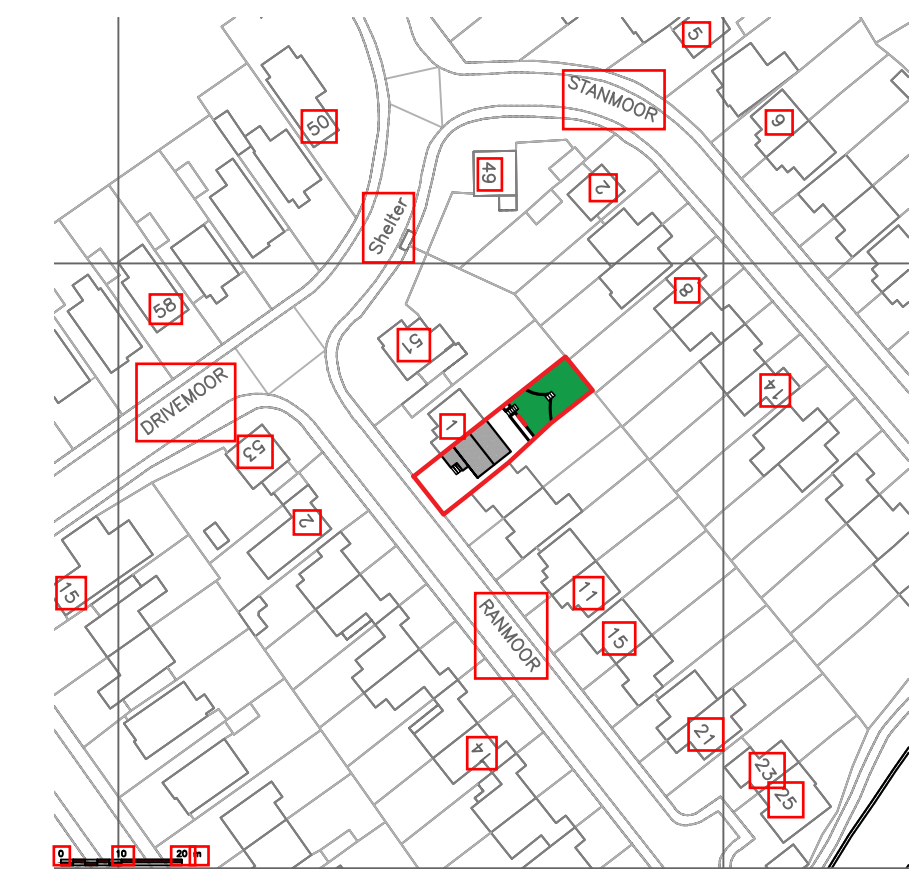
AS EXISTING GROUND FLOOR PLAN - 1:50



THIS BAR SHOULD SCALE 5M @ 1:50



AS EXISTING BLOCK PLAN - 1:500



AS EXISTING SITE PLAN - 1:1250

- NOTES
- 1) ALL DIMENSIONS TO BE CHECKED ONSITE PRIOR TO CONSTRUCTION (INTERNAL DIMS MAY CHANGE DEPENDING ON EXTERNAL WALL CONSTRUCTION METHOD)
  - 2) A STRUCTURAL ENGINEER MUST BE CONSULTED FOR ALL STRUCTURAL WORKS
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CLIENT/PROJECT:

MR & MRS GRAY

PROPOSED SINGLE STOREY REAR EXTENSION TO 3 RANMOOR, ABBEYDALE, GLOUCESTER, GL4 5BQ

TITLE:

AS EXISTING PLAN & ELEVATIONS

SCALE:

1:125, 1:500, 1:100 & 1:50 @ A1

DATE:

JULY 2022



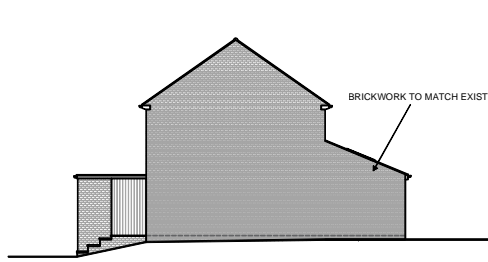


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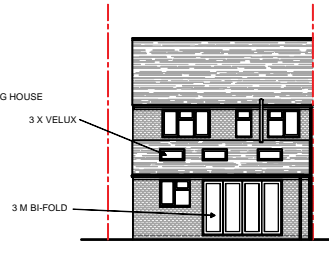


AS PROPOSED FRONT ELEVATION - 1:100

THIS BAR SHOULD SCALE 5M @ 1:100



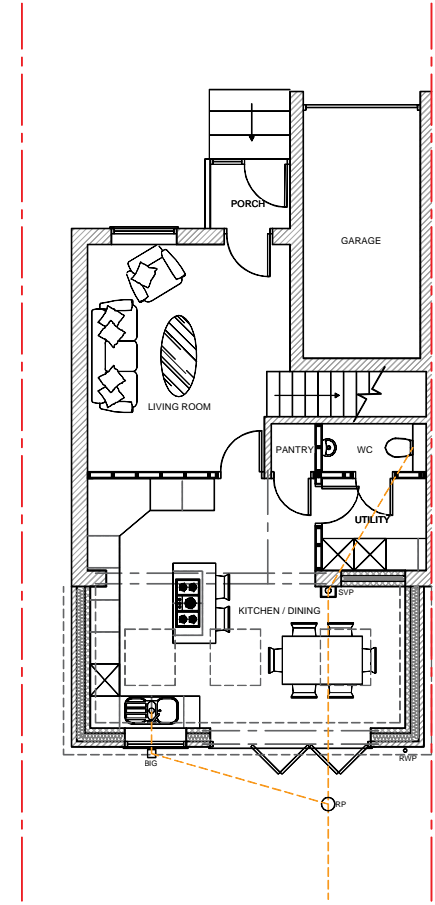
AS PROPOSED SIDE ELEVATION - 1:100



AS PROPOSED REAR ELEVATION - 1:100



AS PROPOSED BLOCK PLAN - 1:500



AS PROPOSED GROUND FLOOR PLAN - 1:50

THIS BAR SHOULD SCALE 5M @ 1:50

**EXISTING STRUCTURE**  
Existing structure including foundations, beams, walls and lintels carrying new and altered loads are to be exposed and checked for adequacy prior to commencement of work and as required by the Building Control Officer.

**TRENCH FOUNDATION**  
Provide 750mm x 600mm trench fill foundations, concrete mix to conform to BS EN 206-1 and BS 800-2. All foundations to be a minimum of 1000mm below ground level, exact depth to be agreed on site with Building Control Officer to suit site conditions. All construction in accordance with 2004 Building Regulations A1/2 and BS 8004:1986 Code of Practice for Foundations. Existing foundations are constructed below invert level of any adjacent drains. Base of foundations supporting internal walls to be min 600mm below ground level. Suitable resistant cement to be used if required. Please note that should any adverse soil conditions or difference in soil type be found or any major tree roots in excavations, the Building Control Officer is to be contacted and the advice of a structural engineer should be sought.

**WALLS BELOW GROUND**  
All new walls to have Class A blockwork below ground level or alternatively semi engineering brickwork in 1:4 masonry cement or equal approved specification. Cavities below ground level to be filled with lean mix concrete min 220mm below damp proof course. Or provide lean mix chaffert at base of cavity wall (150mm below damp course) but to fall to weepholes.

**PIPEWORK THROUGH WALLS**  
Where new pipework passes through external walls form rocker joints either side wall face of max length 600mm with flexible joints with short length of pipe bedded in wall. Alternatively provide 75mm deep pre-cast concrete plank lintels over drain to form opening in wall to give 50mm space all round pipe; mask opening both sides with rigid steel material and compressible sealant to prevent entry of fill or vermin.

**UNDERGROUND FOUL DRAINAGE**  
Underground drainage to consist of 100mm diameter UPVC proprietary pipe work to give a 1:40 fall. Surround pipes in 100mm pea shingle. Provide 500mm suitable cover (100mm under drains). Shallow pipes to be covered with 100mm reinforced concrete slab over compressible material. Provide rodding access at all changes of direction and junctions. All below ground drainage to comply with BS EN 1401-1:2006.

**INSPECTION CHAMBERS**  
Underground quality proprietary UPVC 450mm diameter inspection chambers to be provided at all changes of level, direction, connections and every 45m in straight runs. Inspection chambers to have bolt down double sealed covers in buildings and be adequate for vehicle loads in driveways.

**SOLID FLOOR INSULATION UNDER SLAB**  
To meet min U value required of 0.18 W/m<sup>2</sup>K.  
PIA rated D3  
Solid ground floor to consist of 150mm consolidated well-rammed hardcore. Blinded with 50mm sand blinding. Provide a 1200 gauge polythene DPM, DPM to be lapped in with DPC in walls. Floor to be insulated over DPM with 90mm thick Celotex G4000 insulation. 25mm insulation to continue around floor perimeter to avoid thermal bridging. A VCL should be laid over the insulation boards and turned up 100mm at room perimeters behind the skirting, all joints to be lapped 100mm and sealed. Provide 100mm S12 or 60mm ground bearing slab concrete mix to conform to BS 8002-2 over VCL. Finish with 60mm sand/cement screed finished smooth with light mesh reinforcement.

**Where drain runs pass under new floor, provide A142 mesh 1.0m wide within bottom of slab min 50mm concrete cover over length of drain.**  
Where existing suspended timber floor air bricks are covered by new extension, ensure cross ventilation is maintained by connecting to 100mm dia UPVC pipes to terminate at new 60mm x 150mm air bricks built into new cavity wall with 100mm concrete cover laid under the extension. Ducts to be sleeved through cavity with cavity tray over.

**SOLID GROUND FLOOR**  
To meet U value of 0.18 W/m<sup>2</sup>K.  
DPM  
UPVC drainage and external wall with light insulation  
Where Wall crosses a DPC  
A VCL should be laid over insulation  
Where Column/Beam crosses  
DPM should be lapped  
DPM should be lapped

**FULL FILL CAVITY WALL**  
To achieve minimum U value of 0.18 W/m<sup>2</sup>K.  
New cavity wall to comprise of 150mm suitable fabric brick. Fill full the cavity with 150mm Dremix 32 insulation as manufacturer's details. Inner leaf constructed using 100mm lightweight blocks 0.15 W/m<sup>2</sup>K. a. Cavity solar. Thermally stable. Internal finish to be 12.5mm plasterboard on cast. Insulation to be built with 1:1.6 cement mortar.

**WALL TIES**  
All walls constructed using stainless steel vertical twist type retaining wall ties built in at 750mm ctrs horizontally, 450mm vertically and 220mm ctrs at reveals and corners in staggered rows. Wall ties to be suitable for cavity with and in accordance with BS 5262-4:1: 1996 and BS EN 845-1:2003

**CAVITIES**  
Provide cavity trays over openings. All cavities to be closed at eaves and around openings using Thermabrite or similar non-combustible insulated cavity closers. Provide vertical DPCs around openings and abutments. All cavity trays must have 150mm upstands and suitable cavity weep holes (min 2) at max 1000mm centres.

**LINTELS**  
For uniformly distributed loads and standard 2 storey domestic loadings only  
Lintel widths are to be equal to wall thickness. All walls over 750mm sized internal door openings to be 60mm deep pre-stressed concrete plank lintels. 150mm deep lintels are to be used for 800mm sized internal door openings. Lintels have a minimum bearing of 150mm on each end. Any existing lintels carrying additional loads are to be exposed for inspection at commencement of work on site. All pre-stressed concrete lintels to be designed and manufactured in accordance with BS 8110, with a concrete strength of 50 or 40 N/mm<sup>2</sup> and incorporating steel strands to BS 5886 to support loadings assessed to BS 5977 Part 1. For other structural operated overhead proprietary insulated steel lintels suitable for spans and loadings in compliance with Approved Document A and lintel manufacturers standard tables. Stop ends, UPVC trays and weep holes to be provided above all externally located lintels.

**LINTEL AND CAVITY TRAY**

**LEAD WORK AND FLASHINGS**  
All lead flashings, any valleys or gutters to be Code 5 lead and laid according to Lead Development Association. Flashings to be provided to all eaves and below window openings with welded castings. Joints to be lapped min 150mm and ends to be dressed 200mm under eaves, etc. All work to be undertaken in accordance with the Lead Development Association recommendations.

**NEW AND REPLACEMENT DOORS**  
New and replacement doors to achieve a U-Value of 1.4 W/m<sup>2</sup>K. Glazed areas to be double glazed with 16-20mm argon gas and soft low-E glass. Glazes to be toughened or laminated safety glass to BS 6858, BS EN 14779 or BS EN 15224-1 and Part 4 (Part 4 is Volatile) of the current Building Regulations.  
Insulated plasterboard to be used in reveals to abut jambs and to be considered within reveal soffits. Fully insulated and continuous cavity closers to be used around reveals.  
Windows and door frames to be taped to surrounding openings using air sealing tape.

**NEW AND REPLACEMENT WINDOWS**  
New and replacement windows to be double glazed with 16-20mm argon gas and soft low-E glass. Window Energy Rating to be rated B or better and to achieve U-value of 1.4 W/m<sup>2</sup>K. The door and window openings should be limited to 25% of the extension floor area plus the area of any existing openings covered by the extension.  
Insulated plasterboard to be used in reveals to abut jambs and to be considered within reveal soffits. Fully insulated and continuous cavity closers to be used around reveals.  
Windows and door frames to be taped to surrounding openings using air sealing tape. Windows to be fitted with trickle vents to provide adequate background ventilation in accordance with Approved Document F.

**ABOVE GROUND DRAINAGE**  
All new above ground drainage and plumbing to comply with BS EN 12056-2:2000 for sanitary pipework. All drainage to be in accordance with Part H of the Building Regulations. Wastes to have 75mm deep anti-vac bottle traps and rodding eyes to be provided at changes of direction.  
Size of waste pipes and max length of branch connections (if max length is exceeded then fan vacuum traps to be used)  
Wash basin - 1.7m for 22mm pipe 4m for 40mm pipe  
Bath/shower - 2m for 40mm pipe 4m for 50mm pipe  
WC - 6m for 100mm pipe for single WC  
All branch pipes to connect to 115mm soil and vent pipe terminating min 900mm above any openings within 3m.  
Or to 115mm UPVC soil pipe with accessible internal air admittance valve complying with BS EN 12380, placed at a height so that the outlet is above the top of the highest fitting.  
Waste pipes not to connect to 50VP within 200mm of the WVC connection.  
Supply hot and cold water to all fittings as appropriate.

**BACKGROUND AND PURGE VENTILATION**  
Background ventilation - Controllable background ventilation via trickle vents to BS EN 13141-3 within the window frame to be provided to new habitable rooms at a rate of min 5000m<sup>3</sup>/hr, and to kitchens, bathrooms, WCs and utility rooms at a rate of 2000m<sup>3</sup>/hr.  
Purge ventilation - New Windows/outlets to have operative area in excess of 1/20th of their floor area. If the window opens more than 20° or 1100mm of their floor area if the window opens less than 20°.  
Internal doors should be provided with a 10mm gap below the door to aid air circulation.  
Ventilation provision in accordance with the Domestic Ventilation Compliance Guide.

**HEATING**  
External air heating and hot water services from existing and provide new TVRs to radiators. Heating system to be designed, installed, tested and fully certified by a GAS SAFE registered specialist. All work to be in accordance with the Water Authorities eye safe, the Gas Safety (Installation and Use) Regulations 1998 and IEE Regulations.

**EXTRACT TO KITCHEN**  
Kitchens to have mechanical ventilation with an extract rating of 60l/sec or 30l/sec if adjacent to a hot external air, sealed to prevent entry of moisture. Internal doors should be provided with a 10mm gap below the door to aid air circulation. Ventilation provision in accordance with the Domestic Ventilation Compliance Guide. Intermittent extract fans to BS EN 13141-4. Looker tables to BS EN 13141-4. All fixed mechanical ventilation systems, where they can be tested and adjusted, shall be commissioned and a commissioning notice given to the Building Control Body.



AS PROPOSED SITE PLAN - 1:1250

**UNVENTED PITCHED ROOF**  
Pitch 14° 40' imposed load max 0.75 W/m<sup>2</sup>K - dead load max 0.75 W/m<sup>2</sup>K  
To achieve U value of 0.18 W/m<sup>2</sup>K.  
Timber roof structure to be designed by an Engineer in accordance with NBS Technical Requirement R5 Structural Design. Calculations to be based on BS EN 1995-1-1: Roofing ties to match existing on 25 x 30mm untreated wet treated battens on orientable rafters (to be treated with Carbamate). Supported on 4 x 150mm grade C24 rafters at max 400mm centres max span 3.47m. Rafters supported on 100 x 50mm treated SW wall plates. Allow min 20mm air space to allow for escape of breathable air. Insulation to be 100mm Celotex X4000 below rafters and 100mm G4000 under. Fix 12.5mm foil backed plasterboard (joints staggered) to underside of all ceilings using galvanneal plasterboard nails. Finish with 5mm skim coat of finishing plaster.  
Resistant strapping - Ceiling joists need rafters (if spaced closer roof consult structural engineer). 100mm x 50mm wall plate staggered down to walls. Ceiling joists and rafters to be staggered to walls and walls, straps built into cavity, across at least 3 members with nodes. All straps to be 100mm x 6 x 6mm galvanneal straps or other approved to BS EN 1461-4 at 2m centres.  
THE IS A GENERAL GUIDE BASED ON NORMAL LOADING CONDITIONS FOUND IN DOMESTIC CONSTRUCTION. IT IS YOUR RESPONSIBILITY TO ASSESS YOUR DESIGN TO ASCERTAIN WHETHER ENGINEER'S DETAILING CALCULATIONS ARE REQUIRED. PLEASE REFER TO THE TRADOC DOCUMENT - SPAN TABLES FOR SOLID TIMBER MEMBERS IN FLOORS, CEILINGS AND ROOFS FOR DWELLINGS OR ASK YOUR BUILDING CONTROL OFFICER FOR ADVICE.

**ROOF LIGHTS**  
Min U-value of 1.6 W/m<sup>2</sup>K.  
Rooflights to be double glazed with 16mm argon gas and soft low-E glass. Window Energy Rating to be rated C or better. Rooflights to be fitted in accordance with manufacturer's instructions with rafters doubled up to sides and suitable flashings etc.

- NOTES  
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**HOMEPLAN**  
DRAFTING SERVICES

ARCHITECTURE PLANNING DESIGN

**CLIENT/PROJECT:**  
MR & MRS GRAY

**TITLE:**  
PROPOSED SINGLE STOREY REAR EXTENSION TO 3 RANMOOR, ABBEYDALE, GLOUCESTER, GL4 5BQ

**AS PROPOSED PLAN & ELEVATIONS**

**SCALE:**  
1:125, 1:500, 1:100 & 1:50 @ A1

**DATE:**  
JULY 2022

3R-MG-A-002