

Householder Application for Planning Permission for works or extension to a dwelling.
Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Site Address

Number	<input type="text" value="78"/>
Suffix	<input type="text"/>
Property name	<input type="text"/>
Address line 1	<input type="text" value="Oxstalls Drive"/>
Address line 2	<input type="text"/>
Address line 3	<input type="text"/>
Town/city	<input type="text" value="Gloucester"/>
Postcode	<input type="text" value="GL2 9DE"/>

Description of site location must be completed if postcode is not known:

Easting (x)	<input type="text" value="384467"/>
Northing (y)	<input type="text" value="220030"/>

Description

2. Applicant Details

Title	<input type="text"/>
First name	<input type="text" value="carole"/>
Surname	<input type="text" value="cole"/>
Company name	<input type="text"/>
Address line 1	<input type="text" value="78, Oxstalls Drive"/>
Address line 2	<input type="text"/>
Address line 3	<input type="text"/>
Town/city	<input type="text" value="Gloucester"/>
Country	<input type="text"/>

2. Applicant Details

Postcode

Are you an agent acting on behalf of the applicant? Yes No

Primary number

Secondary number

Fax number

Email address

3. Agent Details

Title

First name

Surname

Company name

Address line 1

Address line 2

Address line 3

Town/city

Country

Postcode

Primary number

Secondary number

Fax number

Email

4. Description of Proposed Works

Please describe the proposed works:

Has the work already been started without consent? Yes No

5. Materials

Does the proposed development require any materials to be used externally? Yes No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material):

Walls	
Description of existing materials and finishes (optional):	facing brick
Description of proposed materials and finishes:	facing brick

5. Materials

Roof	
Description of existing materials and finishes (optional):	concrete interlocking tiles
Description of proposed materials and finishes:	concrete interlocking tiles to match and rubber compound flat roof

Windows	
Description of existing materials and finishes (optional):	white upvc
Description of proposed materials and finishes:	white upvc

Doors	
Description of existing materials and finishes (optional):	white upvc
Description of proposed materials and finishes:	grey upvc front door white upvc side door and white aluminium bi-fold doors

Are you supplying additional information on submitted plans, drawings or a design and access statement? Yes No

If Yes, please state references for the plans, drawings and/or design and access statement

cpc001

6. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your proposed development? Yes No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal? Yes No

7. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? Yes No

Is a new or altered pedestrian access proposed to or from the public highway? Yes No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way? Yes No

8. Parking

Will the proposed works affect existing car parking arrangements? Yes No

9. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
- The applicant
- Other person

10. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes No

11. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

Yes No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

12. Ownership Certificates and Agricultural Land Declaration

CERTIFICATE OF OWNERSHIP - CERTIFICATE A - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run. ** 'agricultural holding' has the meaning given by reference to the definition of 'agricultural tenant' in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person role

- The applicant
 The agent

Title

First name

Surname

Declaration date (DD/MM/YYYY)

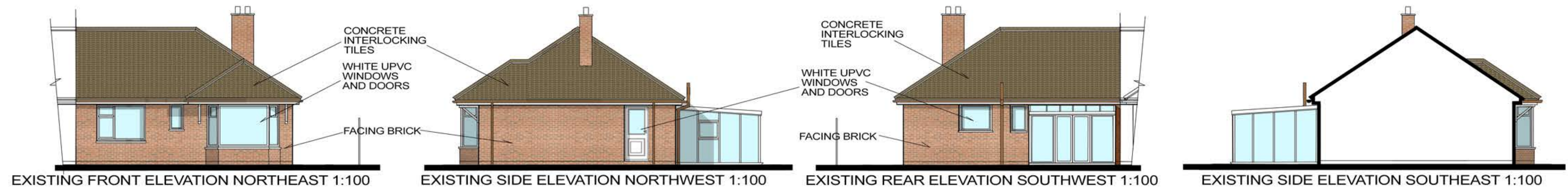
Declaration made

13. Declaration

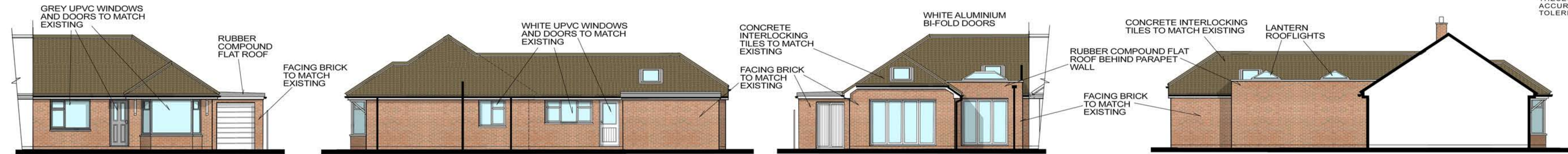
I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

Date (cannot be pre-application)

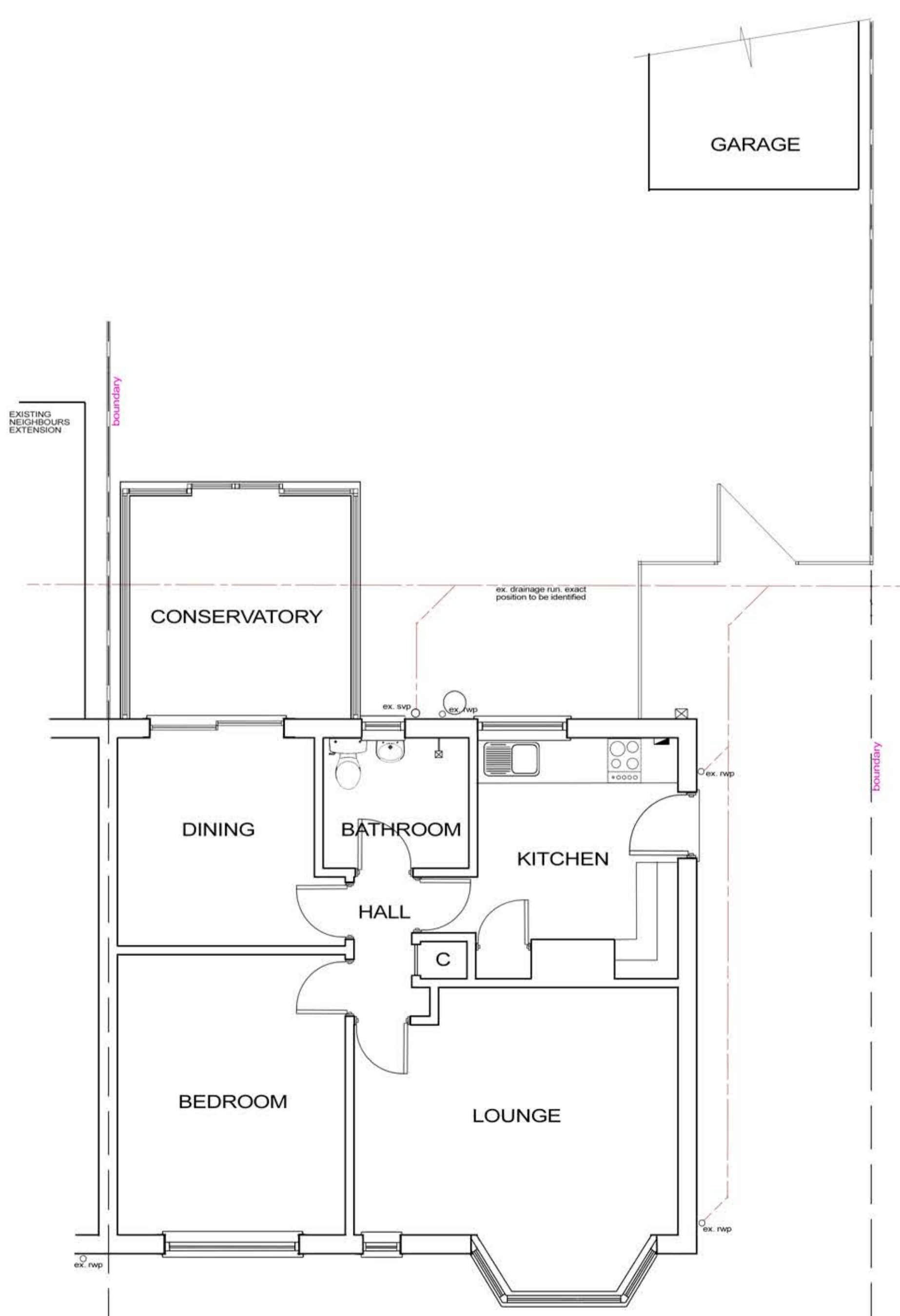
NOTE
 THE CONTRACTOR IS TO CHECK AND VERIFY ALL BUILDING AND SITE DIMENSIONS, LEVELS AND SEWER INVERT LEVELS AT CONNECTION POINTS BEFORE WORK STARTS.
 THE CONTRACTOR IS TO COMPLY IN ALL ASPECTS WITH CURRENT BUILDING LEGISLATION - BRITISH STANDARDS SPECIFICATIONS, BUILDING REGULATIONS ETC. WHETHER OR NOT SPECIALLY STATED ON THIS DRAWING. THIS DRAWING MUST BE READ WITH AND CHECKED AGAINST ANY STRUCTURAL, GEOTECHNICAL OR OTHER SPECIALIST DOCUMENTATION. THIS DRAWING IS NOT INTENDED TO SHOW DETAILS OF FOUNDATIONS, GROUND CONDITIONS OR GROUND CONTAMINANTS. THE CONTRACTOR WILL INVESTIGATE THE BUILDING AREA AND A SUITABLE METHOD OF FOUNDATION FOR THE WHOLE BUILD SHOULD BE PROVIDED ALLOWING FOR EXISTING GROUND CONDITIONS. ANY SUSPECT GROUND CONDITIONS SHOULD BE FURTHER INVESTIGATED BY A SUITABLE EXPERT.
 ALL MEASUREMENTS FOR ORDERING MATERIALS TO BE TAKEN OFF SITE AND NOT SCALED AGAINST THESE DRAWINGS. MEASUREMENTS ARE NOT ACCURATE AND SETTING OUT TO BE DONE WITH A TOLERANCE TO THE MEASUREMENTS



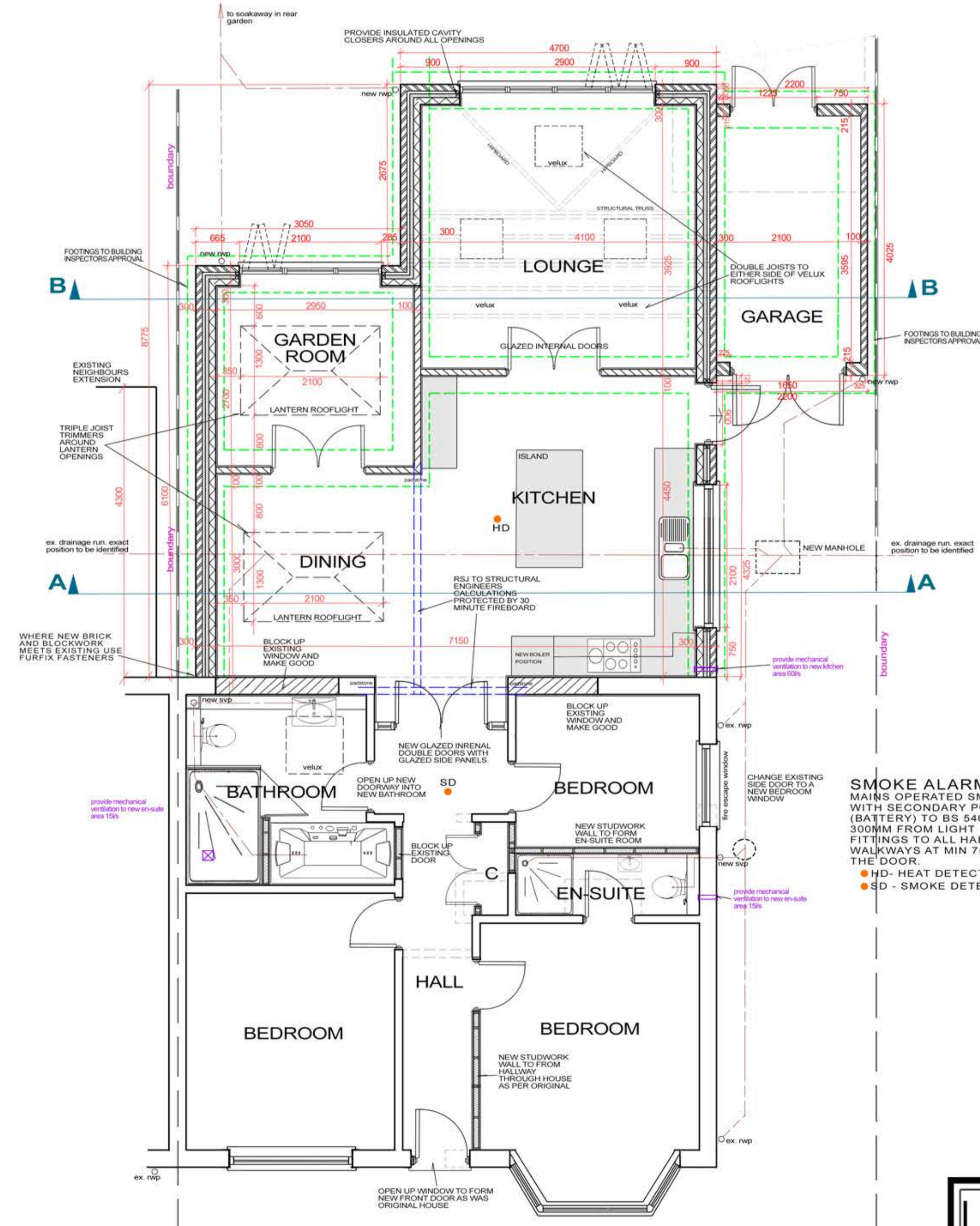
EXISTING FRONT ELEVATION NORTHEAST 1:100 EXISTING SIDE ELEVATION NORTHWEST 1:100 EXISTING REAR ELEVATION SOUTHWEST 1:100 EXISTING SIDE ELEVATION SOUTHEAST 1:100



PROPOSED FRONT ELEVATION NORTHEAST 1:100 PROPOSED SIDE ELEVATION NORTHWEST 1:100 PROPOSED REAR ELEVATION SOUTHWEST 1:100 PROPOSED SIDE ELEVATION SOUTHEAST 1:100



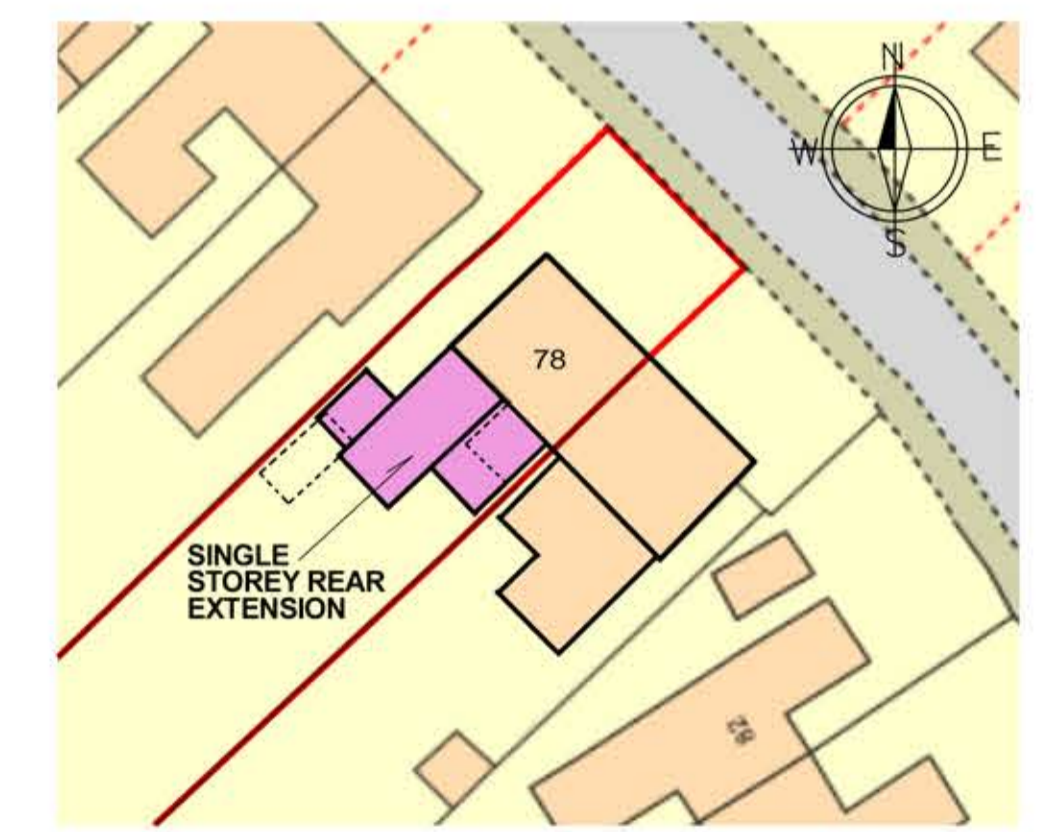
EXISTING GROUND FLOOR PLAN 1:50



PROPOSED GROUND FLOOR PLAN 1:50



SITE LOCATION 1:1250



PROPOSED BLOCK PLAN 1:500

SMOKE ALARMS
 MAINS OPERATED SMOKE ALARMS WITH SECONDARY POWER SUPPLY (BATTERY) TO BS 546. INSTALL MIN. 300MM FROM LIGHT FITTINGS TO ALL HABITABLE WALKWAYS AT MIN 7500MM FROM THE DOOR.
 ● HD - HEAT DETECTOR
 ● SD - SMOKE DETECTOR

<p>RM Architectural Services Design and Planning</p>	Client CAROLE AND PETER COLE	Dwg Title EXISTING AND PROPOSED PLANS AND ELEVATIONS, SITE PLAN AND BLOCK PLAN
	Title SINGLE STOREY REAR EXTENSION TO NO. 78 OXSTALLS DRIVE, LONGLEVENS, GLOS	Scale 1:100 1:50 1:1250 1:500
	Date 	Dwg No. CPC001

**ROOF CONSTRUCTION
FLAT ROOF**

TRADITIONAL WARM FLAT ROOF CONSTRUCTION BUILT ON SITE. FIBREGLASS OR RUBEROID FLAT ROOFING SYSTEM ON 150MM KINGSPAN OR SIMILAR APPROVED DECK INSULATION ON BREATHABLE MEMBRANE ON 22MM MARINE PLYWOOD ON 150 MM X 50MM SW ROOF JOISTS AT 400MM C/C. SUPPORTED AT EAVES BY 100MM X 75 MM WALLPLATES TO BE STRAPPED DOWN 1000MM TO BLOCKWORK WITH 30X55MM GALVANISED STRAPS. ALLOW FOR LATERAL RESTRAINT TIES AT CEILING AND RAFTER LEVEL AT 2000MM CENTRES WITH NOGGINS AND BLOCKS SECURED TO 3 NO. JOIST TO WALLS.

ALL ROOF VENTILATION TO COMPLY WITH BUILDING REGULATIONS DOCUMENT F2

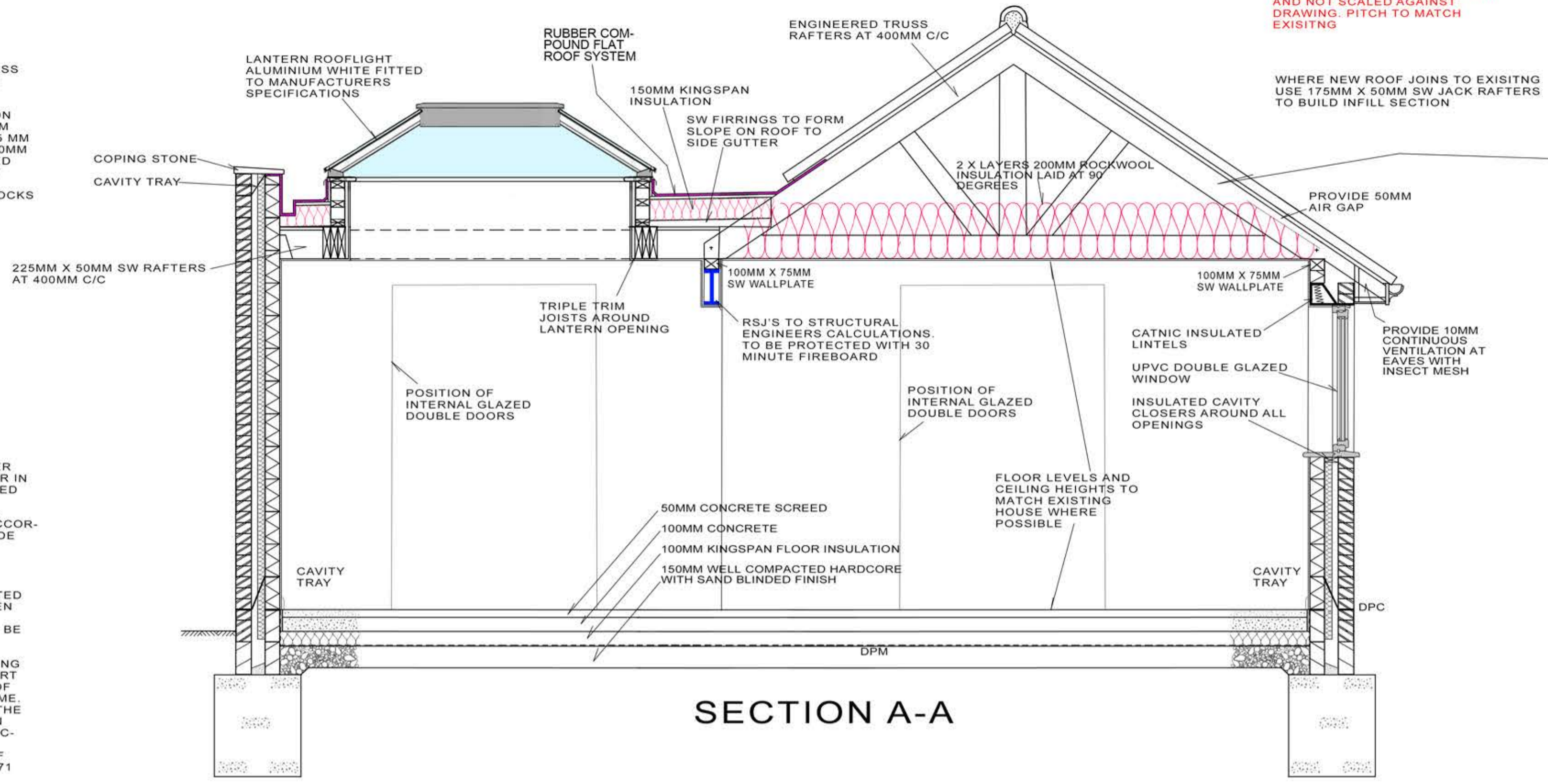
PLUMBING

HEATING TO NEW ROOMS FROM HOT WATER RADIATOR LINKED INTO NEW COMBI BOILER IN KITCHEN. ALL NEW RADIATORS TO BE FITTED WITH TRVS.

ALL WORK TO BE INSTALLED AND COMMISSIONED BY A QUALIFIED TRADESMAN IN ACCORDANCE WITH THE DOMESTIC HEATING GUIDE 2010

ELECTRICS

ALL SWITCHES AND SOCKETS TO BE LOCATED SO THEY ARE EASILY REACHABLE. BETWEEN 450MM AND 1200MM FROM FLOOR LEVEL. ALL WIRING AND ELECTRICAL WORKS WILL BE DESIGNED, INSTALLED, INSPECTED AND TESTED IN ACCORDANCE WITH REQUIREMENTS OF BS 7671, IEE 18TH EDITION WIRING GUIDANCE AND BUILDING REGULATIONS PART P (COMPETENT PERSON MEANS MEMBER OF THE O.D.P.M. COMPETENT PERSONS SCHEME. THE COMPETENT PERSON IS TO SEND TO THE LOCAL AUTHORITY A "SELF CERTIFICATION CERTIFICATE" WITHIN 30 DAYS OF THE ELECTRICAL WORKS COMPLETION. THE CLIENT MUST RECEIVE BOTH A COPY OF THE "SELF CERTIFICATION CERTIFICATE" AND A BS 7671 ELECTRICAL INSTALLATION CERTIFICATE. ENSURE 75 PERCENT OF ALL NEW LIGHT FITTINGS ARE EFFICIENT FITTINGS



SECTION A-A

TRUSSES TO BE DESIGNED AND MADE BY SPECIALIST TIMBER COMPANY. MEASUREMENTS FOR TRUSSES TO BE TAKEN OFF SITE AND NOT SCALED AGAINST DRAWING. PITCH TO MATCH EXISTING

WHERE NEW ROOF JOINS TO EXISTING USE 175MM X 50MM SW JACK RAFTERS TO BUILD INFILL SECTION

ROOF CONSTRUCTION MAIN ROOF

TRADITIONAL ROOF CONSTRUCTION BUILT ON SITE. TILES TO MATCH EXISTING HOUSE ON 25X38MM TREATED SW BATTENS ON KINGSPAN NILVENT MEMBRANE ON ENGINEERED TIMBER TRUSS RAFTERS TO MANUFACTURERS SPECIFICATION. SUPPORTED AT EAVES BY 100MM X 75 MM WALLPLATES TO BE STRAPPED DOWN 1000MM TO BLOCKWORK WITH 30X55MM GALVANISED STRAPS. ALLOW FOR LATERAL RESTRAINT TIES AT CEILING AND RAFTER LEVEL AT 2000MM CENTRES WITH NOGGINS AND BLOCKS SECURED TO 3 NO. RAFTERS TO GABLE WALLS. CEILING BINDER PROVIDED ACROSS CEILING FIXED TO TRUSS RAFTERS ABOVE CEILING. 100 X 25MM TIMBER DIAGONAL BRACING TO BE USED. INSULATION IN ATTIC SPACE TO BE 2 X LAYERS 200MM ROCKWOOL INSULATION LAID AT 90 DEGREES. UNDERDRAWN WITH 12.5MM PLASTERBOARD AND SKIM. ALL ROOF VENTILATION TO COMPLY WITH BUILDING REGULATIONS DOCUMENT F2

VENTILATION

WINDOW VENTILATION OPENINGS MIN. 1/20TH FLOOR AREA OF HABITABLE ROOMS. ALL WINDOWS TO HAVE TRICKLE VENTS. PROVIDE MECHANICAL VENTILATION TO KITCHEN (60L/S) AND BATHROOM AND EN-SUITE 15L/S OFF PULL CORD WITH TIME DELAY.

WINDOWS

WHITE OR GREY UPVC DOUBLE GLAZED WINDOWS AND DOORS WITH DOUBLE GLAZED UNITS MIN 24MM COMPRISING 4MM PILKINGTON K GLASS. ALL GLASS WINDOWS UP TO A HEIGHT OF 800MM ABOVE FLOOR LEVEL AND OR WITHIN 300MM FROM A DOOR AND ALL DOORS UP TO A HEIGHT OF 1500MM ABOVE FLOOR LEVEL TO BE TOUGHENED OR LAMINATED TO BS 8206. WINDOWS TO HAVE MAX. U VALUE OF 1.6 W/M2K. WINDOWS TO PROVIDE DAYLIGHT EQUIVALENT TO 1/10TH FLOOR AREA AND OPENABLE VENTILATION 1/20TH FLOOR AREA. ALL HABITABLE ROOMS TO HAVE FIRE ESCAPE WINDOWS WITH MIN 450MM WIDE AND 450MM HIGH OPENING AND MIN AREA OF 0.75 M2

LINTELS

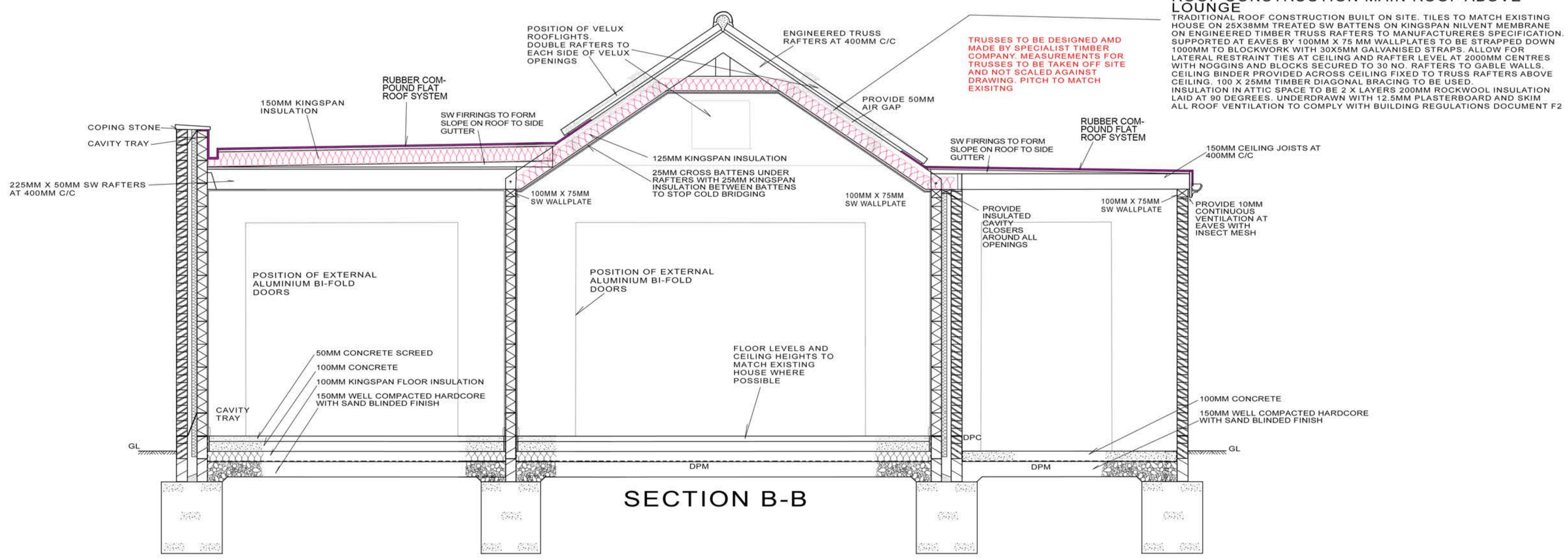
EXTERNAL LINTELS TO BE CATNIC OR SIMILAR APPROVED. CAVITY TRAYS OVER LINTELS WITH WEEP HOLES AT 450MM LATERAL CENTRES. INTERNAL LINTELS TO BE MIN. 100 X 140MM PRECAST CONCRETE.

INNER STUD PARTITION WALLS

50 X 75MM STUD PARTITIONS WITH INSULATION BETWEEN AS SOUND DEADENING. 12.5MM PLASTERBOARD AND SKIM COAT TO EACH FACE.

EXTERNAL WALLS

FACING BRICK TO MATCH EXISTING HOUSE. 100MM CAVITY WITH 65MM KINGSPAN TW50 ZERO ODP K8 INSULATION, RETAINED AGAINST INNER SKIN WITH RETAINER CLIPS. 100MM THERMALITE (OR SIMILAR) INSULATING BLOCKWORK, DRY LINED WITH 12.5MM PLASTERBOARD & SKIM COAT. INSULATION IN CAVITIES TAKEN DOWN TO FINISH IN LINE WITH THE UNDERSIDE OF THE FLOOR INSULATION. WALL TIES AT 750MM CENTRES HORIZONTALLY AND 450MM CENTRES VERTICALLY. AROUND UNBONDED JAMBS WALL TIES TO BE 450MM HORIZONTALLY AND 225MM VERTICALLY. 150MM VERTICAL DPC AROUND DOOR AND WINDOW OPENINGS AND INSULATED CAVITY CLOSERS AROUND OPENINGS TO ELIMINATE COLD BRIDGING. WALLS TO BE SEALED AT EAVES LEVEL WITH INSULATED CAVITY CLOSERS.



SECTION B-B

ROOF CONSTRUCTION MAIN ROOF ABOVE LOUNGE

TRADITIONAL ROOF CONSTRUCTION BUILT ON SITE. TILES TO MATCH EXISTING HOUSE ON 25X38MM TREATED SW BATTENS ON KINGSPAN NILVENT MEMBRANE ON ENGINEERED TIMBER TRUSS RAFTERS TO MANUFACTURERS SPECIFICATION. SUPPORTED AT EAVES BY 100MM X 75 MM WALLPLATES TO BE STRAPPED DOWN 1000MM TO BLOCKWORK WITH 30X55MM GALVANISED STRAPS. ALLOW FOR LATERAL RESTRAINT TIES AT CEILING AND RAFTER LEVEL AT 2000MM CENTRES WITH NOGGINS AND BLOCKS SECURED TO 3 NO. RAFTERS TO GABLE WALLS. CEILING BINDER PROVIDED ACROSS CEILING FIXED TO TRUSS RAFTERS ABOVE CEILING. 100 X 25MM TIMBER DIAGONAL BRACING TO BE USED. INSULATION IN ATTIC SPACE TO BE 2 X LAYERS 200MM ROCKWOOL INSULATION LAID AT 90 DEGREES. UNDERDRAWN WITH 12.5MM PLASTERBOARD AND SKIM. ALL ROOF VENTILATION TO COMPLY WITH BUILDING REGULATIONS DOCUMENT F2

NOTE

THE CONTRACTOR IS TO CHECK AND VERIFY ALL BUILDING AND SITE DIMENSIONS, LEVELS AND SEWER INVERT LEVELS AT CONNECTION POINTS BEFORE WORK STARTS. THE CONTRACTOR IS TO COMPLY IN ALL ASPECTS WITH CURRENT BUILDING LEGISLATION - BRITISH STANDARDS SPECIFICATIONS, BUILDING REGULATIONS ETC. WHETHER OR NOT SPECIALLY STATED ON THIS DRAWING, THIS DRAWING MUST BE READ WITH AND CHECKED AGAINST ANY STRUCTURAL, GEOTECHNICAL OR OTHER SPECIALIST DOCUMENTATION. THIS DRAWING IS NOT INTENDED TO SHOW DETAILS OF FOUNDATIONS, GROUND CONDITIONS OR GROUND CONTAMINANTS. THE CONTRACTOR WILL INVESTIGATE THE BUILDING AREA AND A SUITABLE METHOD OF FOUNDATION FOR THE WHOLE BUILD SHOULD BE PROVIDED ALLOWING FOR EXISTING GROUND CONDITIONS. ANY SUSPECT GROUND CONDITIONS SHOULD BE FURTHER INVESTIGATED BY A SUITABLE EXPERT.

GROUND FLOOR -

50MM SAND AND CEMENT SCREED ON 100MM CONCRETE BASE. LAYER OF BUILDING PAPER ON KINGSPAN TF70 100MM THERMAFLOOR INSULATION ON 1200 GAUGE POLY D.P.M. SHEETING ON 150MM WELL COMPACTED AND CONSOLIDATED HARDCORE FILL (ALLOW FOR COMPACTED SAND ON HARDCORE TO AVOID TEARS IN D.P.M.). PROVIDE 25MM UP STAND OF INSULATION AROUND PERIMETER OF FLOORS

DRAINAGE

ALLOW FOR LONG RADIUS BENDS. 40MM WASTE FROM BATHS & BASINS. 50MM FROM SINKS & SHOWERS ALL WITH 75MM SEALS. 100MM WASTE FROM W.C. WITH 50MM SEAL. WHERE ANY DRAINS PASS UNDER FLOOR SLABS ENCASE IN MIN. 150MM PEA GRAVEL AND LINTELS INSTALLED WHERE THEY PASS THROUGH WALLS WITH COMPRESSIBLE MATERIAL AROUND HOLE. ANTI-SYMPHONIC TRAPS TO BE USED FOR ALL BATHROOM APPLIANCES. DRAINPIPES 100MM SUPERSLEVE LAID AT MIN. 1 IN 60 FALL TO CONNECT UP TO EXITING DRAINAGE RUN. NEW MANHOLE TO BE PROVIDED AS PER PLAN. STORMDRAINS: 63MM DOWNPIPES TO GULLIES WITH COPPER WIRE BALLOONS AT GUTTER JUNCTIONS. GUTTERS 100MM TRUE HALF ROUND LAID TO FALL. FROM GULLIES 100MM SUPERSLEVE DRAINS TO DRAIN AWAY INTO SOAKAWAY IN REAR GARDEN DEPENDING ON GROUND CONDITIONS. SOAKAWAY TO BRITISH STANDARDS

SUBSTRUCTURE WALLS

INNER SKIN TO BE 100MM 7N/mm² CONCRETE BLOCK BELOW D.P.C. LEVEL. USE SAME TO EXTERNAL SKIN BELOW GROUND LEVEL AND FACING BRICK ABOVE GROUND LEVEL UP TO D.P.C. BUILD IN FULL WIDTH D.P.C. AT MINIMUM 150MM ABOVE GROUND LEVEL. LINK TO D.P.M. BUILD IN CAVITY TRAY IMMEDIATELY OVER D.P.C. TO FULL PERIMETER OF BUILDING. BUILD LINTELS WHERE SERVICES/DRAINS PASS THROUGH EXTERNAL WALLS. ENSURE MINIMUM 150MM CLEARANCE AROUND DRAINS WILL FLEXIBLE MATERIAL FILLING TO VOID SPACE. WEAK MIX CONCRETE CAVITY FILL TO BASE OF WALL UP TO 225MM

FOOTINGS

CONCRETE STRIP FOUNDATIONS TO MIN. 1000MM BELOW GROUND LEVEL TO LOCAL AUTHORITY APPROVAL. FOOTINGS TO BE CLEAR OF ROOTS AND DEBRIS PRIOR TO POURING CONCRETE. MASS FILL TO 3 COURSES BELOW LOWEST D.P.C. LEVEL

RM Architectural Services
RM Architectural Services
Design and Planning

Client: **CAROLE AND PETER COLE**

Job Title: **SINGLE STOREY REAR EXTENSION TO NO. 78 OXSTALLS DRIVE, LONGLEVENS, GLOS**

Dwg Title: **SECTION AND DETAILS**

Scale: 1:25

Date:

Dwg No: **CPC002**