

Householder Application for Planning Permission for works or extension to a dwelling

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x) Northing (y)

Description

Applicant Details

Name/Company

Title

MR

First name

ANDY

Surname

COLLEY

Company Name

Address

Address line 1

39 Buscombe Gardens

Address line 2

Address line 3

Gloucestershire

Town/City

Gloucester

Country

United Kingdom

Postcode

GL3 3QG

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

Secondary number

***** REDACTED *****

Fax number

Email address

***** REDACTED *****

Agent Details

Name/Company

Title

Mr

First name

Alan

Surname

Buckley

Company Name

Build Design

Address

Address line 1

5 Elmfield Road

Address line 2

Address line 3

Town/City

Cheltenham

Country

undefined

Postcode

GL51 9JH

Contact Details

Primary number

***** REDACTED *****

Secondary number

Fax number

Email address

Description of Proposed Works

Please describe the proposed works

Has the work already been started without consent?

- Yes
 No

Materials

Does the proposed development require any materials to be used externally?

- Yes
 No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

Type:

Walls

Existing materials and finishes:

FACING BRICKWORK

Proposed materials and finishes:

FACING BRICKWORK

Type:

Roof

Existing materials and finishes:

TILES

Proposed materials and finishes:

TILES

Type:

Windows

Existing materials and finishes:

WHITE PVC

Proposed materials and finishes:

WHITE PVC

Type:

Boundary treatments (e.g. fences, walls)

Existing materials and finishes:

N/A

Proposed materials and finishes:

N/A

Type:

Other

Other (please specify):

N/A

Existing materials and finishes:

N/A

Proposed materials and finishes:

N/A

Type:

Doors

Existing materials and finishes:

WHITE PVC

Proposed materials and finishes:

WHITE PVC

Type:

Vehicle access and hard standing

Existing materials and finishes:

N/A

Proposed materials and finishes:

N/A

Type:

Lighting

Existing materials and finishes:

N/A

Proposed materials and finishes:

N/A

Are you supplying additional information on submitted plans, drawings or a design and access statement?

- Yes
- No

If Yes, please state references for the plans, drawings and/or design and access statement

DWG 01 EXISTIONG
DWG 02 PROPOSED
LOCATION PLAN
BLOCK PLAN

Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

- Yes
- No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

- Yes
- No

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

- Yes
- No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes
- No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

- Yes
- No

Parking

Will the proposed works affect existing car parking arrangements?

- Yes
- No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
 The applicant
 Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes
 No

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff**
(b) an elected member
(c) related to a member of staff
(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes
 No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes
 No

Is any of the land to which the application relates part of an Agricultural Holding?

- Yes
 No

Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

- The Applicant
 The Agent

Title

Mr

First Name

Alan

Surname

Buckley

Declaration Date

02/03/2022

Declaration made

Declaration

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

Alan Buckley

Date

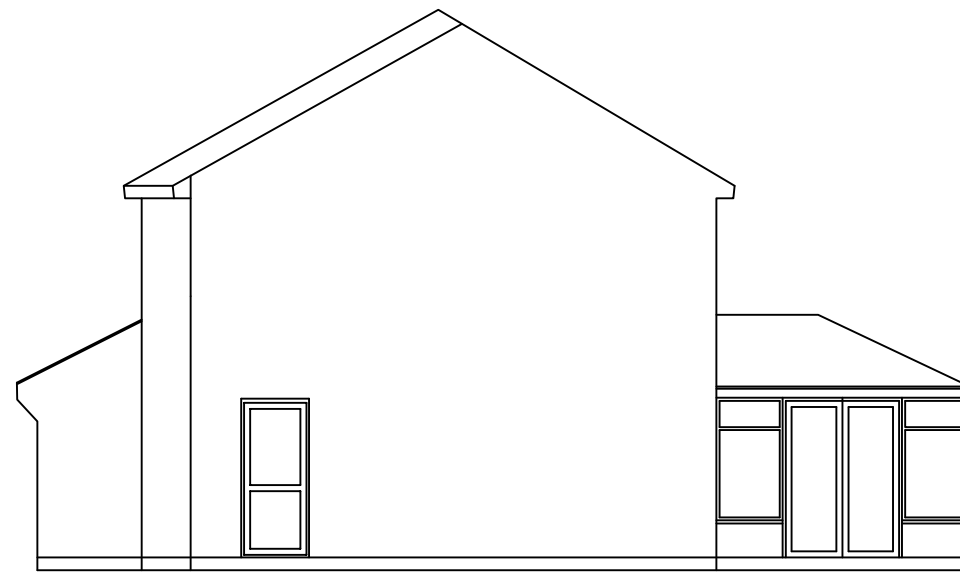
05/07/2022

Amendments Summary

REMOVAL OF PORCH EXTENSION TO FRONT ELEVATION



PROPOSED FRONT ELEVATION

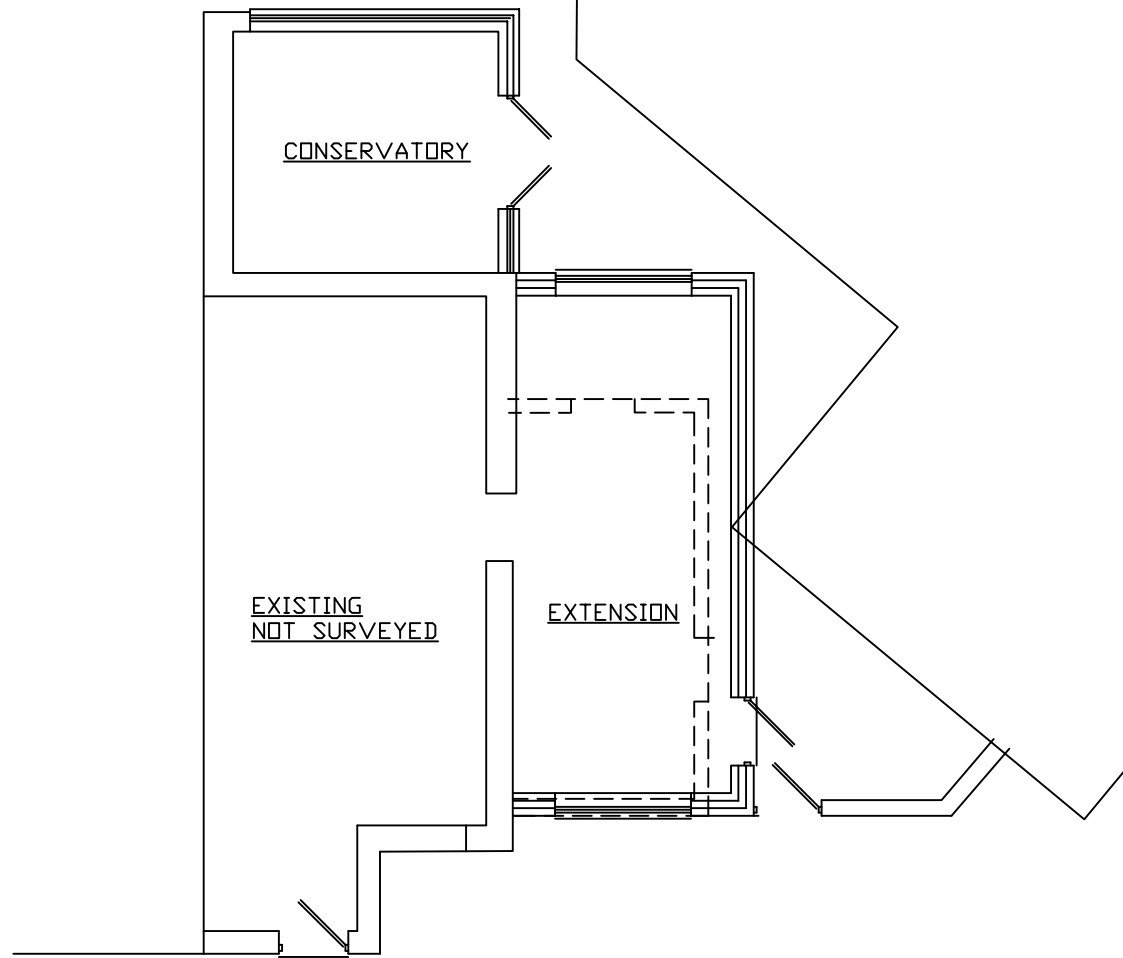


325

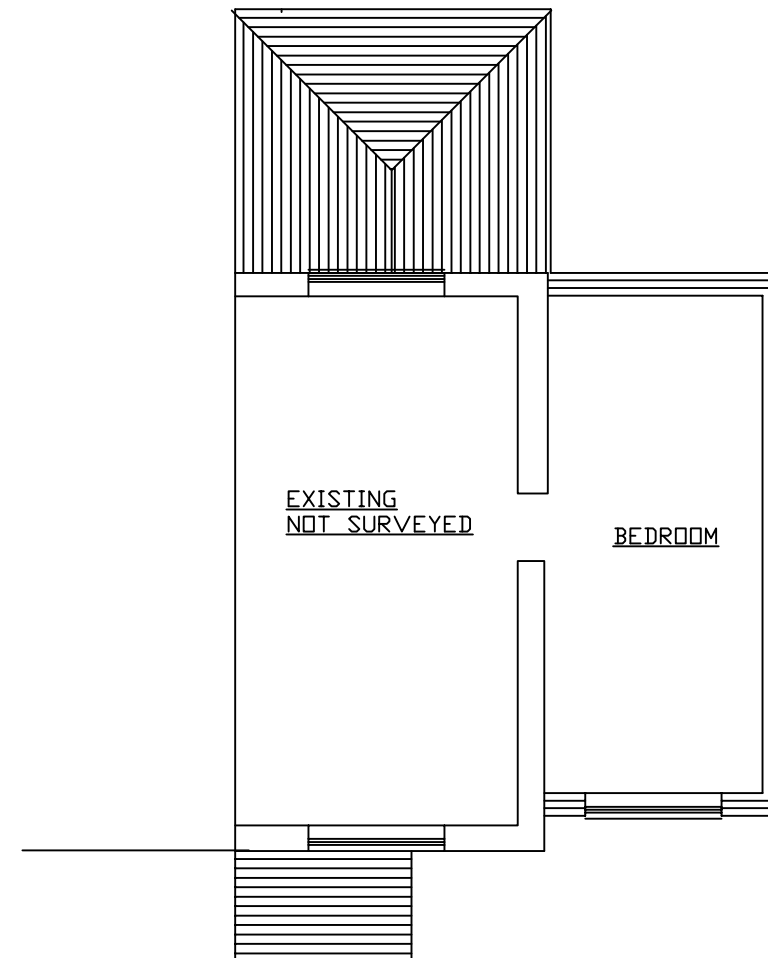
PROPOSED SIDE ELEVATION



PROPOSED REAR ELEVATION



PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN

REF.	DETAILS	DATE
REVISIONS		
CLIENT Andy Colley		
PROJECT 39 BUSHCOMBE GDNS HUCCLECOTE GLOUCESTER		
DESCRIPTION PROPOSED TWO STOREY EXTENSION		
BUILD DESIGN		
5, ELMFIELD ROAD CHELTENHAM, GLOS GL51 9JH		
DATE 26/02/22	SCALE 1:100	REV A
DRAWN ASB	CHECKED -	PROJECT No. A3
		DRG No. 02

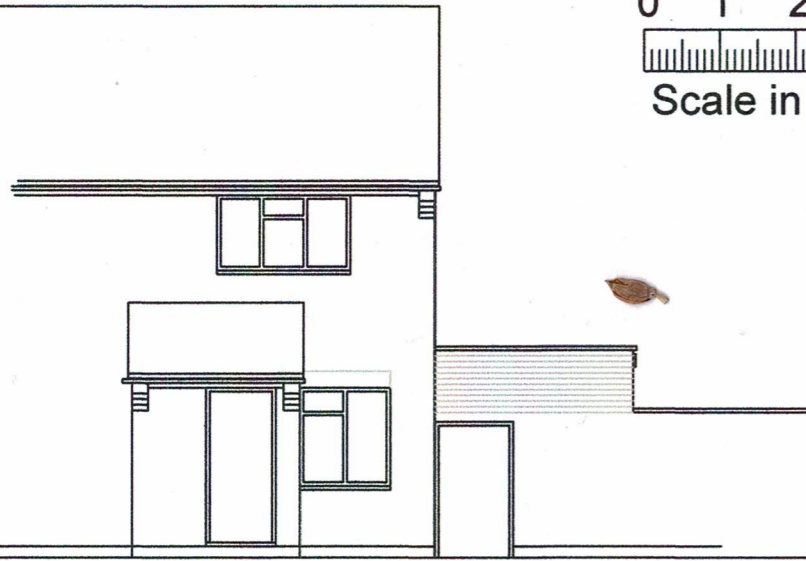
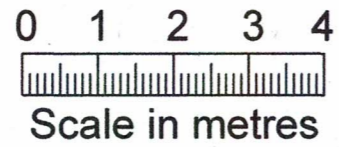
39, Buscombe Gardens, Gloucester, Gloucestershire, GL3 3QG



Block Plan shows area bounded by: 387612.07, 217210.96 387702.07, 217300.96 (at a scale of 1:500), OSGridRef: SO87651725. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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Front Elevation

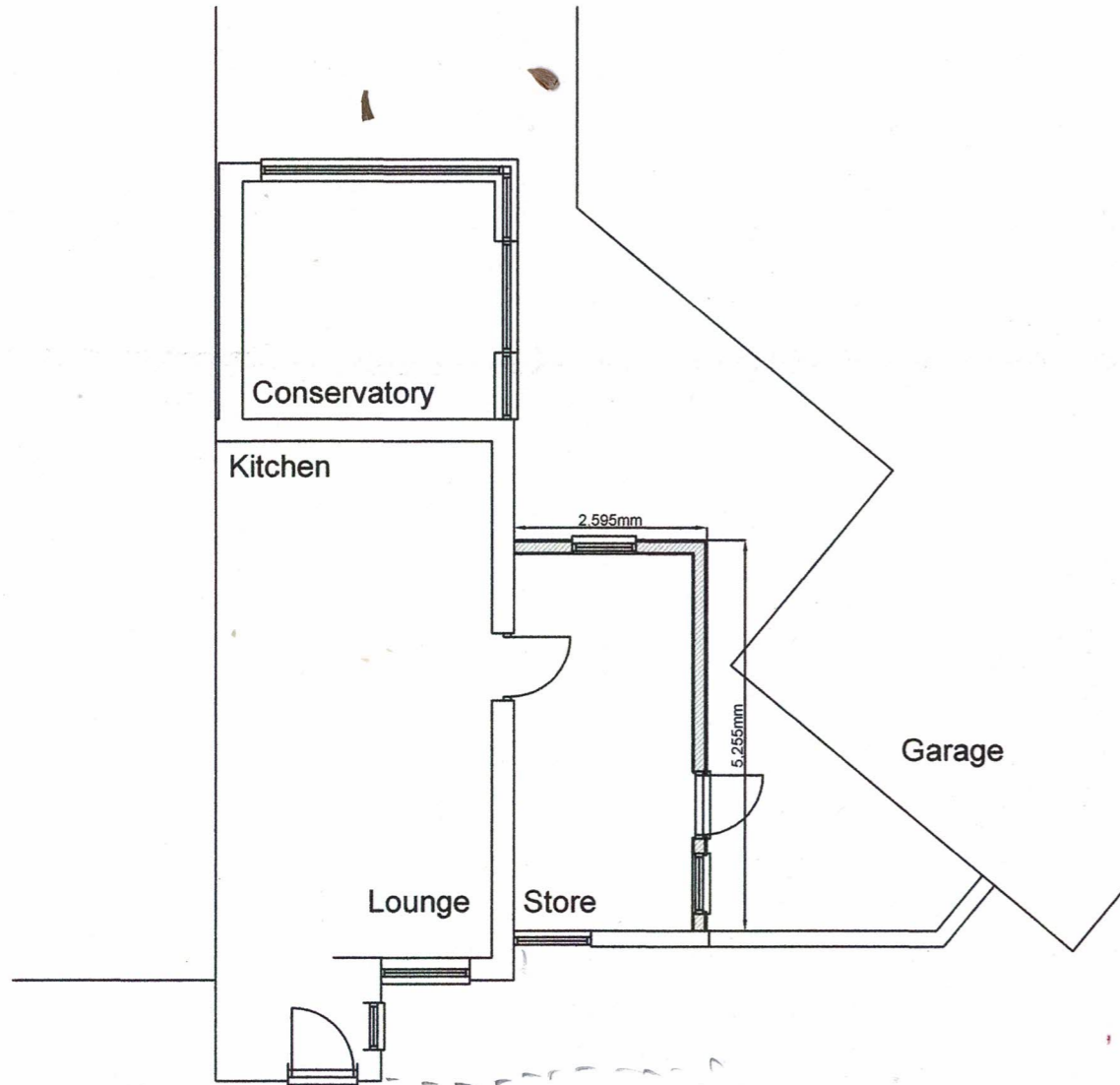


Side Elevation



Rear Elevation

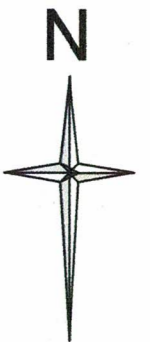
NOTES
 Walls - Timber shiplap boarding - stained
 Roof - Single ply rubber flat roof
 Doors and windows - Pvcu
 Rainwater goods - Pvcu



Ground Floor Plan



Block Plan - scale 1:500



The Clients attention is drawn to the CDM Regulations and Party wall act.
 The Contractor is to provide to the Client a Health and Safety plan for the works.

Peter Harrison Design Ltd
 25 Trevor Road, Hucclecote, Gloucester, GL3 3JL

All figured dimensions to be checked on site before commencing work.
 No dimensions are to be scaled from this drawing.
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Project
Proposed Extension at 39 Buscombe Gardens, Hucclecote
Gloucester, Gloucestershire GL33QG

Date July 2014	Scale 1:100
Drawing No. 14.07.02	

39, Buscombe Gardens, Gloucester, Gloucestershire, GL3 3QG

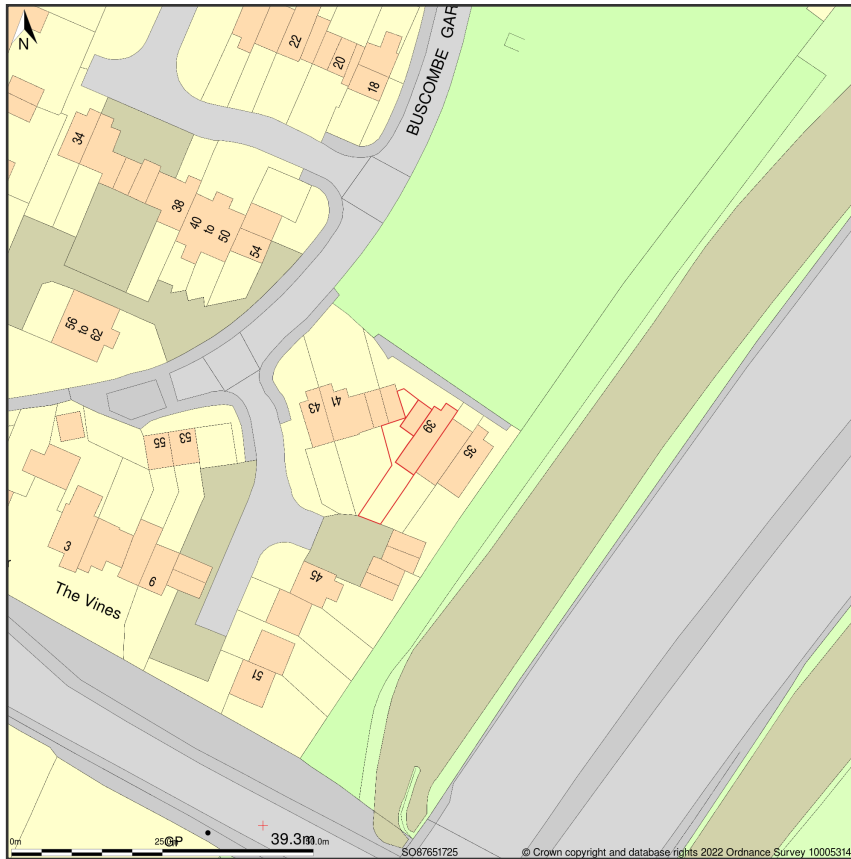


Block Plan shows area bounded by: 387612.07, 217210.96 387702.07, 217300.96 (at a scale of 1:500), OSGridRef: SO87651725. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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Location Plan shows area bounded by: 387586.36, 217185.25, 387727.78, 217326.67 (at a scale of 1:1250), OSGridRef: SO87651725. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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