

## Application for Approval of Details Reserved by Condition

Town and Country Planning Act 1990 (as amended); Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended)

### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

## Site Location

**Disclaimer:** We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)

Northing (y)

Description

Playing field to rear of 3-29 Paygrove Lane, Gloucester

## Applicant Details

### Name/Company

Title

Mr

First name

R

Surname

Thompson

Company Name

Cotswold Oak Ltd

### Address

Address line 1

c/o coombes everitt architects

Address line 2

105-107 Bath Road

Address line 3

Town/City

Cheltenham

Country

Postcode

GL53 7LE

Are you an agent acting on behalf of the applicant?

☒ Yes

☐ No

### Contact Details

Primary number

\*\*\*\*\* REDACTED \*\*\*\*\*

Secondary number

Fax number

Email address

## Agent Details

Name/Company

Title

First name

Surname

Company Name

## Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

## Contact Details

Primary number

Secondary number

Fax number

Email address

## Description of the Proposal

Please provide a description of the approved development as shown on the decision letter

Outline application (with means of access offered for consideration) for residential redevelopment of up to 10 dwellings and public open space including associated landscaping, car parking and access

Reference number

16/01558/OUT

Date of decision (date must be pre-application submission)

23/08/2018

**Please state the condition number(s) to which this application relates**

Condition number(s)

15

Has the development already started?

☐ Yes

☒ No

## Part Discharge of Conditions

Are you seeking to discharge only part of a condition?

☐ Yes

☒ No

## Discharge of Conditions

Please provide a full description and/or list of the materials/details that are being submitted for approval

PL001A site location plan. SuDs Management Plan. Drawings CTP-21-0760 C002 and C003

## Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- ☐ Yes  
☒ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- ☒ The agent  
☐ The applicant  
☐ Other person

## Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- ☐ Yes  
☒ No

## Declaration

I / We hereby apply for Approval of details reserved by a condition (discharge) as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

☒ I / We agree to the outlined declaration

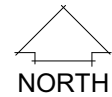
Signed

John Everitt

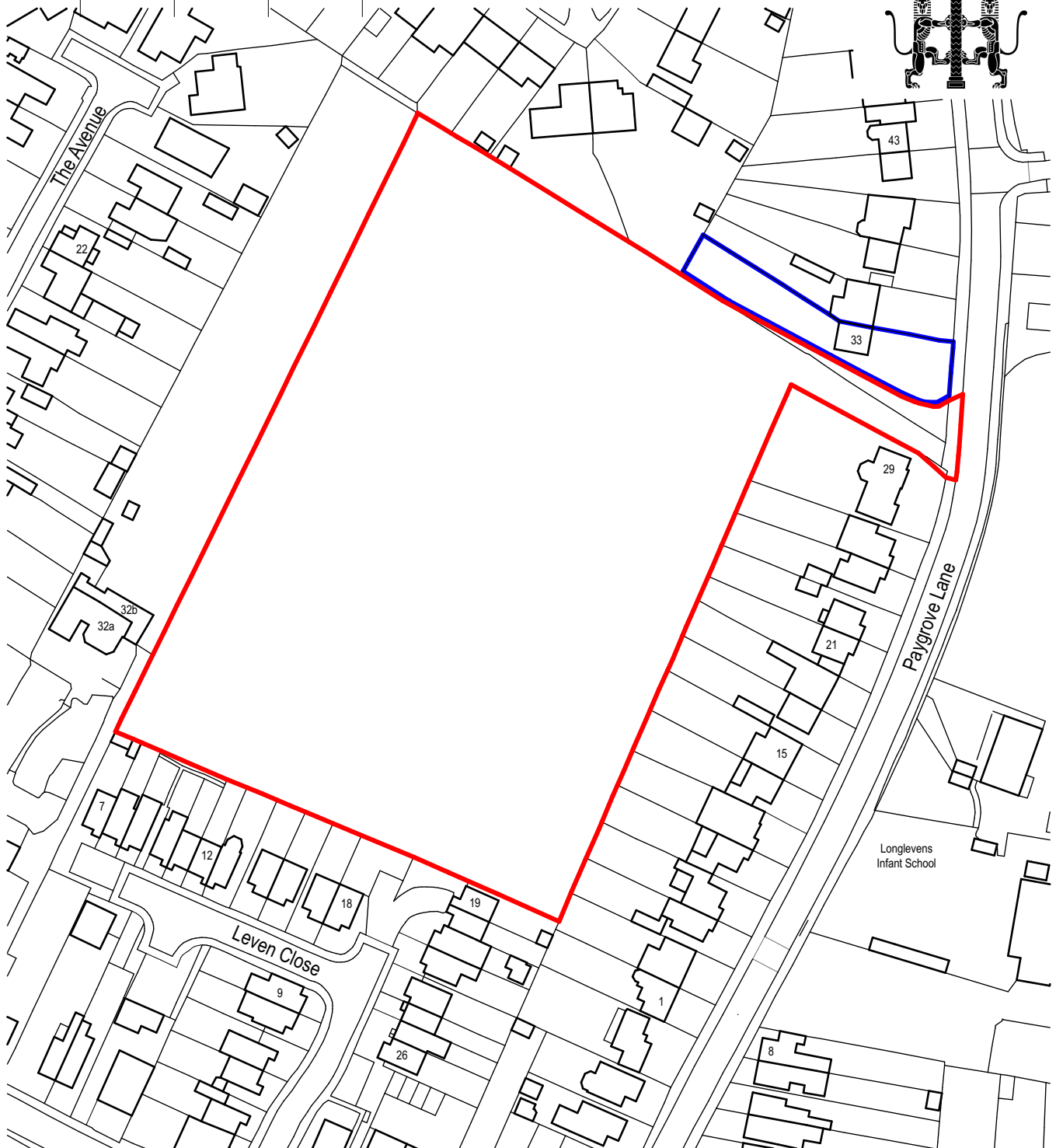
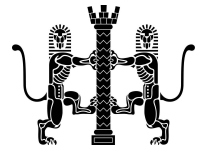
Date

01/06/2022

Scale bar 1:1250  
0 20 40 60



**RIBA**  
Chartered Practice



Revision A 03/2022 AH To accord with Outline approval

**coombes : everitt architects limited**

105-107 Bath Road  
Cheltenham  
Gloucestershire  
GL53 7LE



[www.ce-architects.co.uk](http://www.ce-architects.co.uk)

Drawing title: Site Location Plan

Client: Cotswold Oak Ltd

Drawn by: AH Checked: JE

Project No: 21.20.020

Project: Land at Paygrove Lane,  
Longlevens

Scale: 1:1250 @ A4

Date: January 2022

Project / Drawing No: 21.20.020 PL001 A

  
coombes : everitt architects



COTSWOLD  
TRANSPORT  
PLANNING

Cotswold Oak Ltd

Paygrove Lane, Longlevens

SuDS Management Plan

May 2022



## DOCUMENT REGISTER

<b>CLIENT:</b>	<b>COTSWOLD OAK LTD</b>
<b>PROJECT:</b>	<b>PAYGROVE LANE, LONGLEVENS</b>
<b>PROJECT CODE:</b>	<b>CTP-21-0760</b>

<b>REPORT TITLE:</b>	<b>SUDS MANAGEMENT PLAN</b>		
<b>PREPARED BY:</b>	██████████	<b>DATE:</b>	<b>MAY 2022</b>
<b>CHECKED BY:</b>	██████████	<b>DATE:</b>	<b>MAY 2022</b>

<b>REPORT STATUS:</b>	<b>FOR PLANNING</b>
<b>REVISION:</b>	<b>01</b>

Prepared by **COTSWOLD** TRANSPORT PLANNING LTD

CTP House  
Knapp Road  
Cheltenham  
Gloucestershire  
GL50 3QQ

██████████  
████████████████████  
**Web:** [www.cotswoldtp.co.uk](http://www.cotswoldtp.co.uk)





## Introduction

- 1.1 Cotswold Transport Planning were appointed by Cotswold Oak Ltd (herein referred to as “the Applicant”) to produce a SuDS Management Plan for a proposed residential development at Paygrove Lane, Longlevens.
- 1.2 The purpose of this Management Plan is to be read alongside drawings CTP-21-0760\_C002 and CTP-21-0760\_C003, the site engineering layouts. This document sets out the appropriate maintenance regime for the proposed SuDS features at the proposed development.

## Maintenance Regime

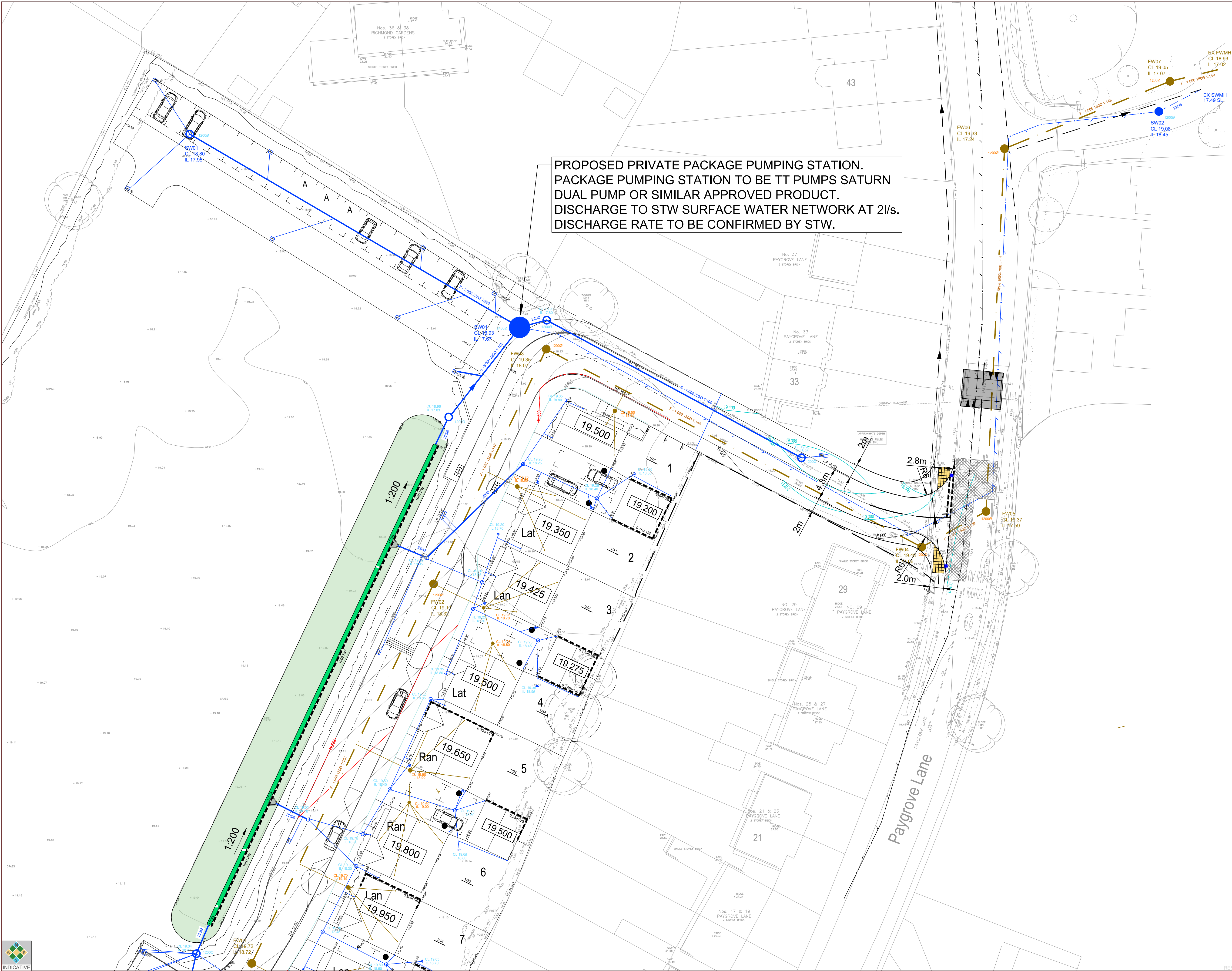
- 1.3 Maintenance of SuDS features are essential to ensure that the surface water drainage system operates effectively and that flooding of the site and surrounding areas is prevented.
- 1.4 The responsibility of maintaining the shared surface water SuDS features will fall to a management company, unless within individual plot curtilages (for example individual downpipes and inspection chambers). Within individual plot curtilages, responsibility for the surface water drainage features, will be the responsibility of the plot owner.
- 1.5 For all drainage aspects a full maintenance regime should be carried out to ensure that drainage systems remain operational in accordance with manufacturer’s guidelines and drainage features maintenance requirements as set out in the SuDS Manual (C753).

Drainage Component	Required Action	Typical Frequency
<b>Pipework, manholes, flow control chambers, catch pits and silt traps</b>	Stabilise adjacent areas	As required
	Remove weeds	As required
	Clear any poor performing structures.	As required
	Inspect all structures for poor operation	Three monthly, 48 hours after large storms in first six months
	Monitor inspection chambers. Inspect silt accumulation rates and determine silt clearance frequencies	Annually
<b>Swale</b>	Remove litter and debris	Monthly (or as required)
	Cut the grass – public areas	Monthly (during growing season)

	Inspect marginal and bankside vegetation and remove nuisance plants (for first three years)	Monthly (at start, then as required)
	Inspect inlets, banksides, structures, pipework etc for evidence of blockage and/or physical damage	Monthly
	Inspect water body for signs of poor water quality	Monthly (May – October)
	Inspect silt accumulation rates and establish appropriate removal frequencies; undertake contamination testing once some build up has occurred, to inform management and disposal options.	Half yearly
	Hand cut submerged and emergent aquatic plants (at minimum of 0.1m above the pond base; include max 25% of pond surface)	Annually
	Repair erosion or other damage	As required
	Replant, where necessary	As required
	Aerate when signs of eutrophication are detected	As required
	Repair/rehabilitate inlets, outlets and overflows	As required
	Reseed areas of poor vegetation growth, alter plant types to better suit conditions, if required	As required
<b>Permeable Paving</b>	Brushing and vacuuming	Once a year or as required
	Stabilise and mow contributing and adjacent areas	As required
	Removal of weeds or management using glyphosate applied directly into the weeds by an applicator rather than spraying	As required – once per year on less frequently used pavements
	Remediate any landscaping which, through vegetation maintenance or soil slip, has been raised to within 50mm of the level of the paving	As required
	Remedial work to any depressions, rutting and cracked or broken blocks considered detrimental to the structural performance or a hazard to users, and replace jointing material	As required
	Rehabilitation of surface and upper substructure by remedial sweeping	Every 10 to 15 years or as required.
	Inspect for evidence of poor operation and/or weed growth	3 monthly, 48 hours after large storms in first 6 months
	Inspect silt accumulation rates and establish appropriate brushing frequencies	Annually
	Monitor inspection chambers	Annually

**Table 1.1: Initial Operation and Maintenance Plan**





- Notes:**
1. Do not scale from this drawing. All dimensions are in metres, unless stated otherwise.
  2. Ordnance Survey, (c) Crown Copyright 2020. All rights reserved. Licence number 100022432.
  3. Drawing to be read in conjunction with all other drawings. Any discrepancies are to be reported to the engineer 5 working days in advance of undertaking any work.
  4. All pipework to be 1000 PVC UNO
  5. All chambers to be 4500 Type D Chambers UNO. Chambers marked with diameter to be Type B Chambers (except chamber at pump).

- KEY**
- SURFACE WATER MANHOLE AND SEWER
  - FOUL WATER MANHOLE AND SEWER
  - HIGHWAY GULLY AND CONNECTION
  - DIFFUSER BOX AND CONNECTION
  - FINISHED FLOOR LEVELS
  - SWALE
  - PROPOSED LEVEL
  - RISING MAIN
  - HEADWALL
  - GRADIENT
  - UNDERBUILD (WITH HEIGHT)

B	13.05.22	ARCHITECT AND DRAINAGE LAYOUT UPDATED	TB	KT
A	15.02.22	ROAD AND LAYOUT AMENDED	PG	KT
Rev	Date	Details	Drawn By	Checked By



CLIENT:  
**Cotswold Oak Ltd**

PROJECT:  
**Paygrove Lane,  
Longlevens**

TITLE:  
**Engineering Layout  
Sheet 1**

STATUS:  
**INFORMATION**

SCALE @ A1:	DATE:	DRAWN:	CHECKED:	APPROVED:
1:250	26/01/2022	PG	KT	KT
JOB NO:	DRAWING NO:	REVISION:		
CTP-0760	C002	B		





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**KEY**

- SURFACE WATER MANHOLE AND SEWER
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B	13.05.22	ARCHITECT AND DRAINAGE LAYOUT UPDATED	TB	KT
A	16.02.22	RACD AND LAYOUT AMENDED	PG	KT
Rev	Date	Details	Drawn By	Checked By

CLIENT: Cotswold Oak Ltd

PROJECT: Paygrove Lane, Longlevens

TITLE: Engineering Layout Sheet 2

STATUS: **INFORMATION**

SCALE @ A1:	DATE:	DRAWN:	CHECKED:	APPROVED:
1:250	26/01/2022	PG	KT	KT
JOB NO:	DRAWING NO:	REVISION:		
CTP-0760	C003	B		



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