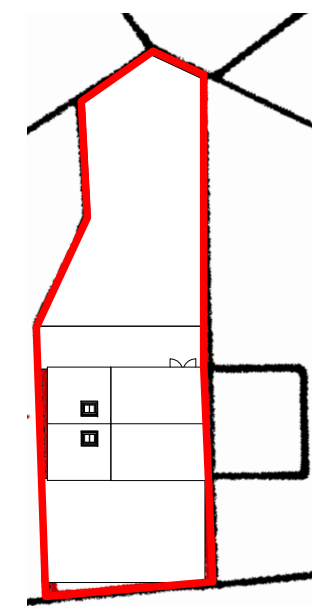


SITE PLAN

1:1250

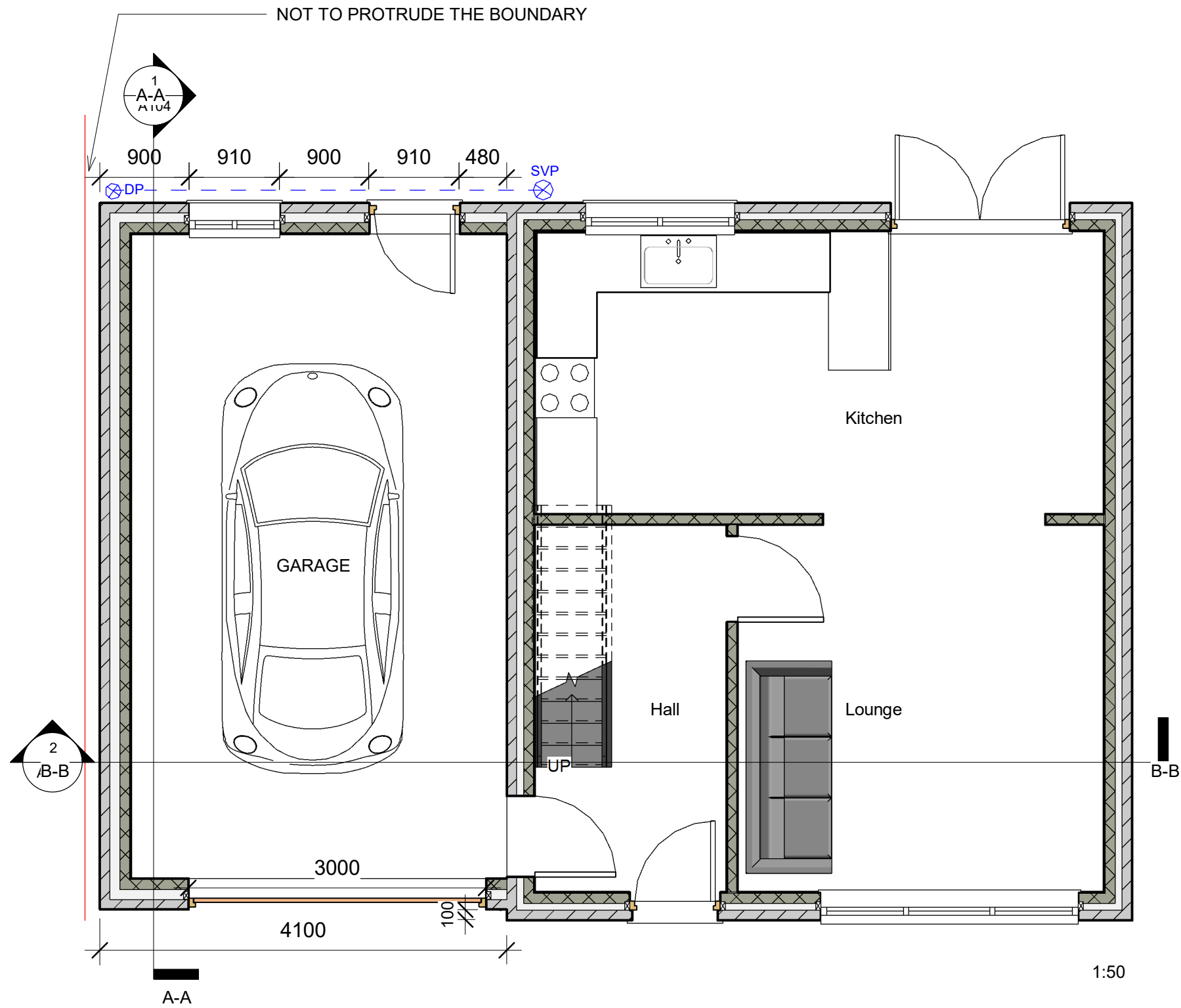


BLOCK PLAN 1:500

PROPOSED SECTIONS & SIT/BLOCK PLAN



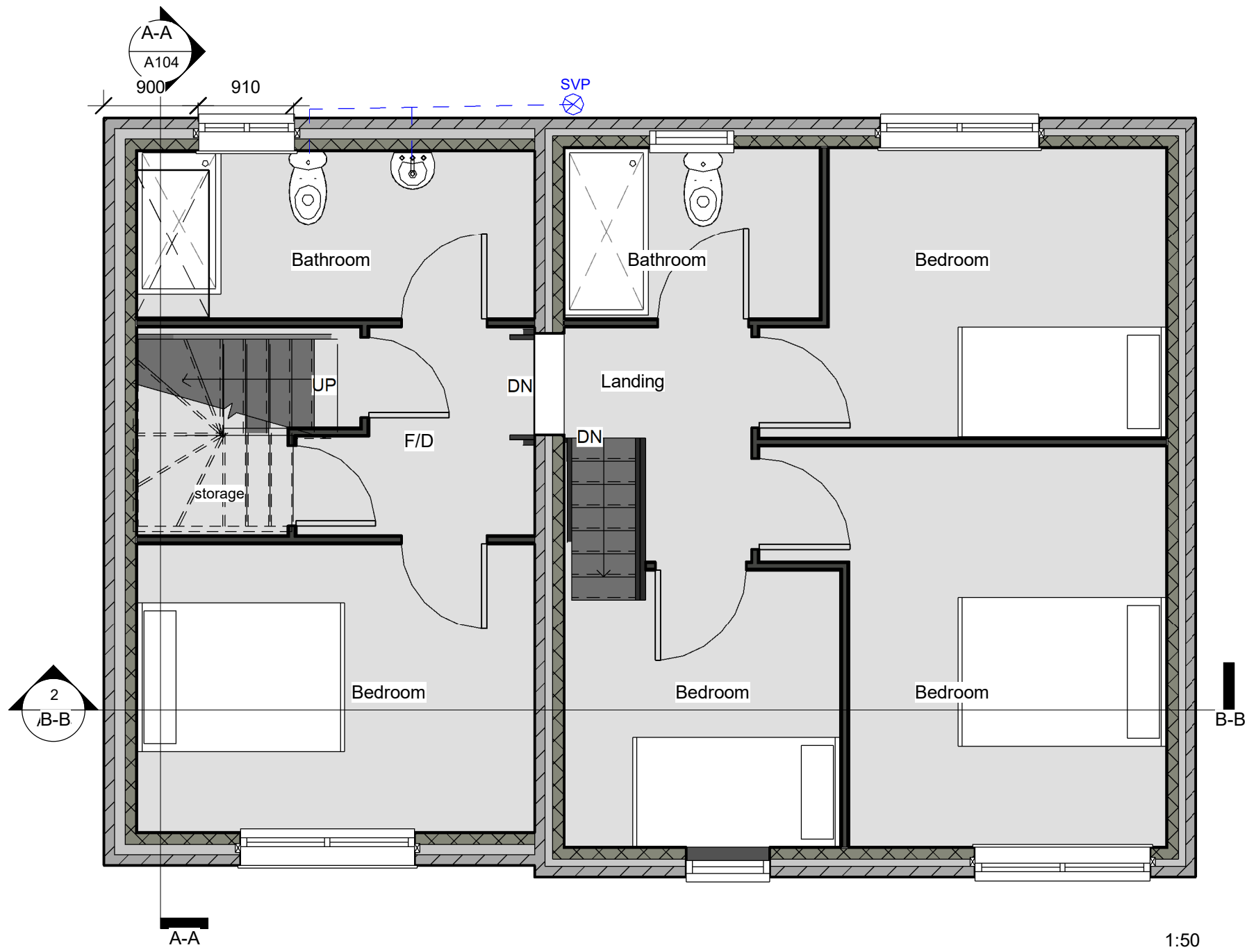
Project: 1 Colwell Avenue  
 Client: Mr Greathead  
 Drawing: Proposed Sections  
 Drawn By Lloyd Gordon  
 Date: 14/07/2022  
 Scale: 1:100, 1:1250, 1:500 @A3  
 Revision: 1



PROPOSED GROUND FLOOR PLAN



Project: 1 Colwell Avenue  
 Client: Mr Greathead  
 Drawing: Proposed Ground Floor Plan  
 Drawn By Lloyd Gordon  
 Date: 14/07/2022  
 Scale: 1:50 @A3  
 Revision: 1



Notes:  
 Proposed Not to protrude the boundary  
 Severntrent build-over application required if construction within 3 metres of a shared drain

Building Regulations application required before works start  
 2 metre Loft headroom depending on size of proposed structural roof members

All Dimensions are to be checked on site  
 All proposed materials to match existing materials  
 Structural Engineers Calculations and Design Required Roof design

Specification:  
 300mm wide cavity wall with 100mm cavity wall rock wool insulation Batts to BS 6676  
 Wall starter Ties fixed to existing external wall to BS EN10088-2  
 cavity wall ties positioned max 450mm vertical, 900mm horizontal to BS EN 845-1  
 Damp proof course laid level with existing floor level to BS EN 14909  
 Damp proof tray laid to BS 8215  
 Cavity wall closures positioned at windows and doors to BS EN ISO 9001

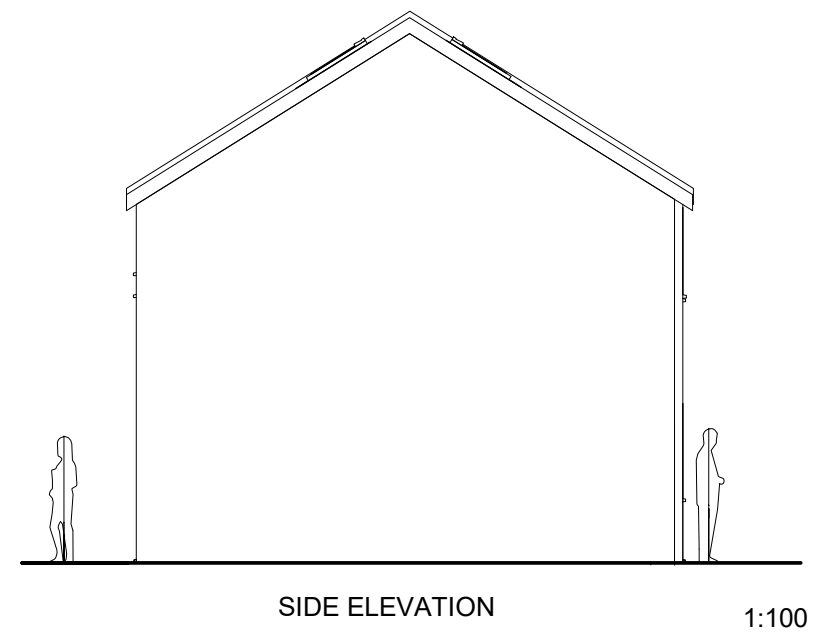
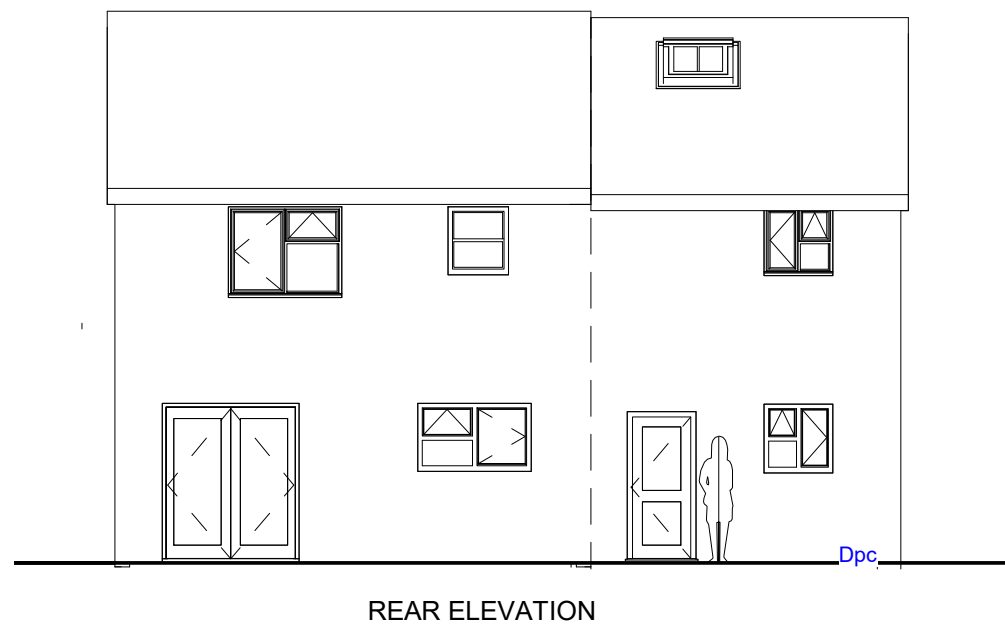
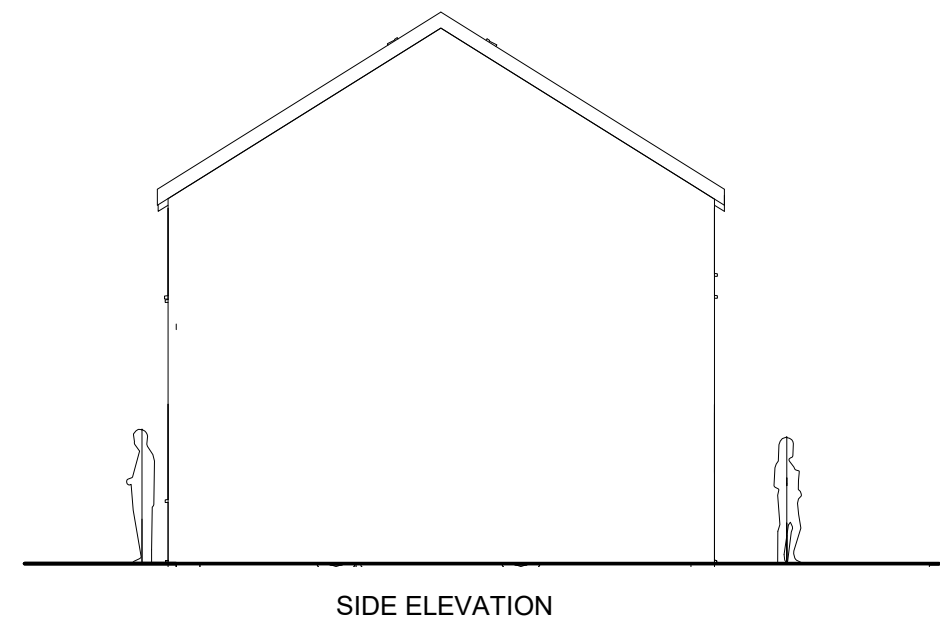
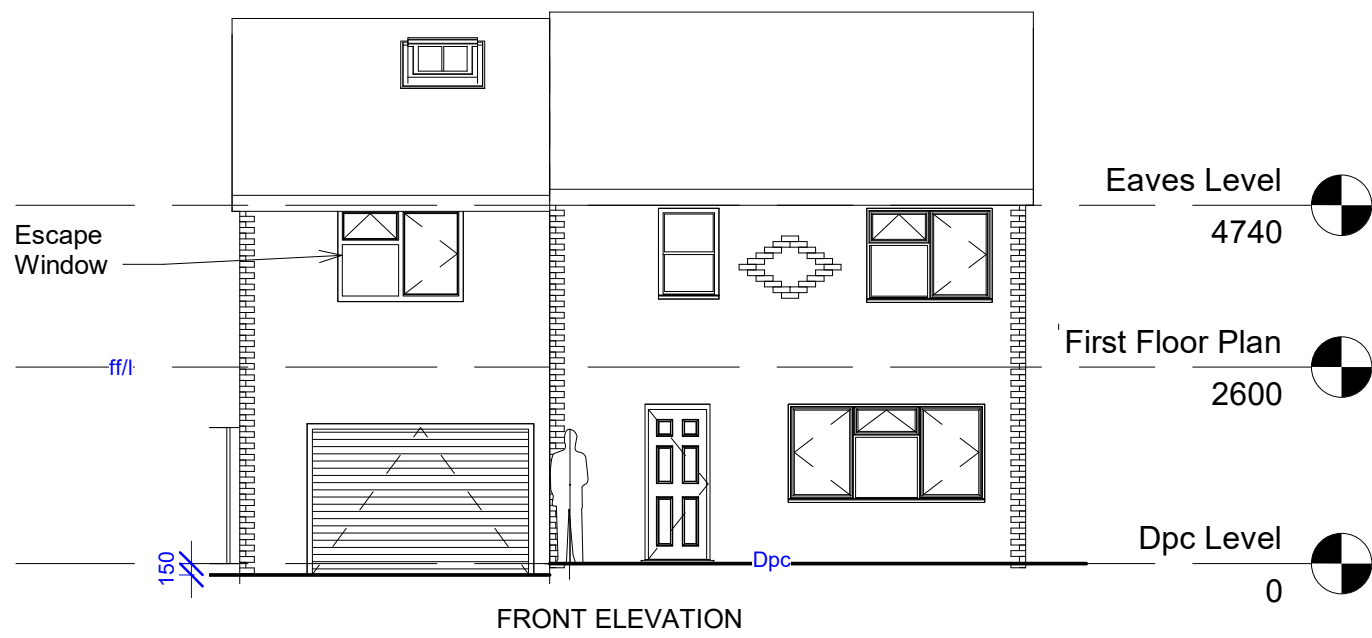
Garage Floor to be 150mm below existing Dpc Level  
 Ground floor spec-  
 (1) 100mm Hardcore  
 (2) 100mm compacted tight one stone  
 (3) 20mm sand binding  
 (4) Damp proof membrane BS EN 13967: 2012.  
 (5) 100mm rigid insulation BS 5241-1:1994  
 (6) separation layer  
 (7) 100mm concrete floor  
 (8) floor finish to be confirmed by client

Fascia/Soffit: 19mm Upvc with 25mm continuous ventilation

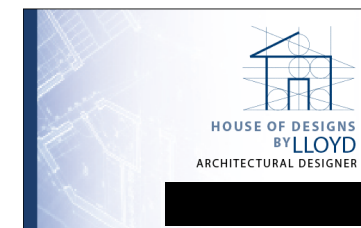
PROPOSED FIRST FLOOR PLAN



Project: 1 Colwell Avenue  
 Client: Mr Greathead  
 Drawing: Proposed First Floor Plan  
 Drawn By Lloyd Gordon  
 Date: 14/07/2022  
 Scale: 1:50 @A3  
 Revision: 1



PROPOSED ELEVATIONS



Project: 1 Colwell Avenue  
 Client: Mr Greathead  
 Drawing: Proposed Elevations  
 Drawn By Lloyd Gordon  
 Date: 14/07/2022  
 Scale: 1:100 @A3  
 Revision: 1



RENDER OF FRONT

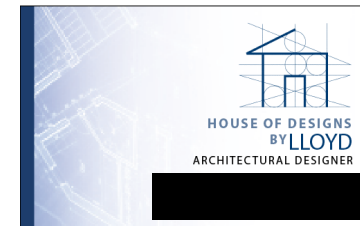


SKETCH RENDER OF REAR



BEDROOM RENDER

PROPOSED RENDERS



Project: 1 Colwell Avenue  
Client: Mr Greathead  
Drawing: Proposed Renders  
Drawn By Lloyd Gordon  
Date: 14/07/2022  
Scale: @A3  
Revision: 1