

Application for listed building consent for alterations, extension or demolition of a listed building.

Planning (Listed Buildings and Conservation Areas) Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Site Address

Number

Suffix

Property name

Address line 1

Address line 2

Address line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)

Northing (y)

Description

2. Applicant Details

Title

First name

Surname

Company name

Address line 1

Address line 2

Address line 3

Town/city

2. Applicant Details

Country	<input type="text"/>
Postcode	<input type="text" value="CH1 2NP"/>
Are you an agent acting on behalf of the applicant?	<input checked="" type="radio"/> Yes <input type="radio"/> No
Primary number	<input type="text"/>
Secondary number	<input type="text"/>
Fax number	<input type="text"/>
Email address	<input type="text"/>

3. Agent Details

Title	<input type="text"/>
First name	<input type="text" value="ANDY"/>
Surname	<input type="text" value="BEETHAM"/>
Company name	<input type="text" value="SR Signs"/>
Address line 1	<input type="text" value="12"/>
Address line 2	<input type="text" value="Wortley Moor Lane"/>
Address line 3	<input type="text" value="Upper Wortley"/>
Town/city	<input type="text" value="Leeds"/>
Country	<input type="text"/>
Postcode	<input type="text" value="LS12 4HX"/>
Primary number	<input type="text"/>
Secondary number	<input type="text"/>
Fax number	<input type="text"/>
Email	<input type="text"/>

4. Description of Proposed Works

Please describe details of the proposed development or works including details of proposals to alter, extend or demolish the listed building(s):

Has the development or work already been started without consent?

Yes No

5. Listed Building Grading

What is the grading of the listed building (as stated in the list of Buildings of Special Architectural or Historical Interest)?

- Don't know
 Grade I
 Grade II*
 Grade II

5. Listed Building Grading

Is it an ecclesiastical building?

Don't know Yes No

6. Demolition of Listed Building

Does the proposal include the partial or total demolition of a listed building?

Yes No

7. Related Proposals

Are there any current applications, previous proposals or demolitions for the site?

Yes No

If Yes, please describe and include the planning application reference number(s), if known:

ONGOING ADVERTISEMENT CONSENT APPLICATION (REFERENCE UNKNOWN)

8. Immunity from Listing

Has a Certificate of Immunity from Listing been sought in respect of this building?

Yes No

9. Listed Building Alterations

Do the proposed works include alterations to a listed building?

Yes No

10. Materials

Does the proposed development require any materials to be used?

Yes No

11. Neighbour and Community Consultation

Have you consulted your neighbours or the local community about the proposal?

Yes No

12. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
- The applicant
- Other person

13. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes No

14. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

14. Authority Employee/Member

It is an important principle of decision-making that the process is open and transparent.

Yes No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

15. Certificates

CERTIFICATE OF OWNERSHIP - CERTIFICATE A - Certificate under Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which the application relates.

Person role

- The applicant
 The agent

Title

First name

Surname

Declaration date (DD/MM/YYYY)

Declaration made

16. Declaration

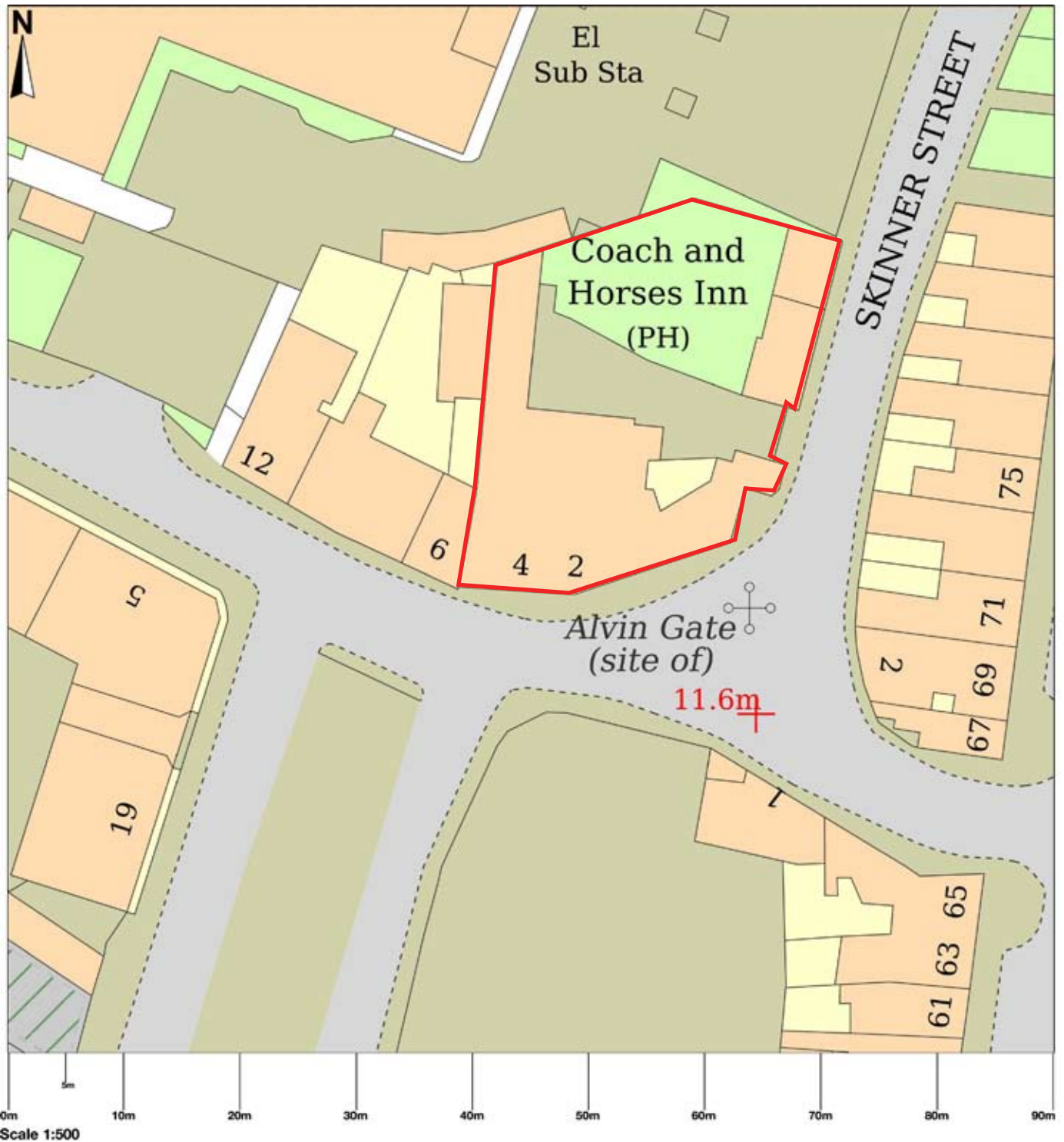
I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

Date (cannot be pre-application)

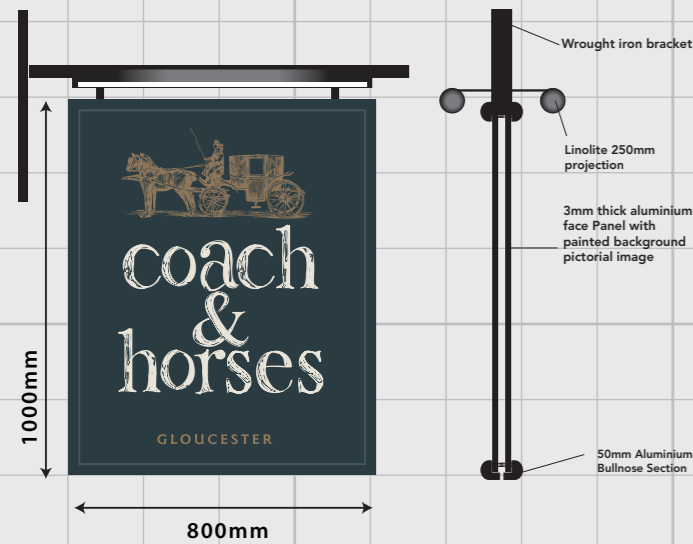
Coach



Coach



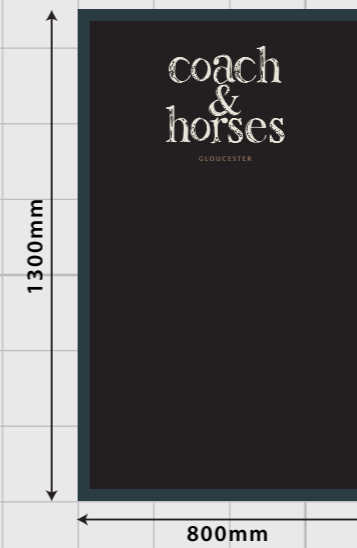
A ITEM A ONE X PICTORIAL SIGN TO NEW GIBBET
NEW LINOLITES
H.A.G. 2.4m.



B ITEM B ONE X SET OF IND. HOUSENAME LETTERS
H.A.G. 2.4m.



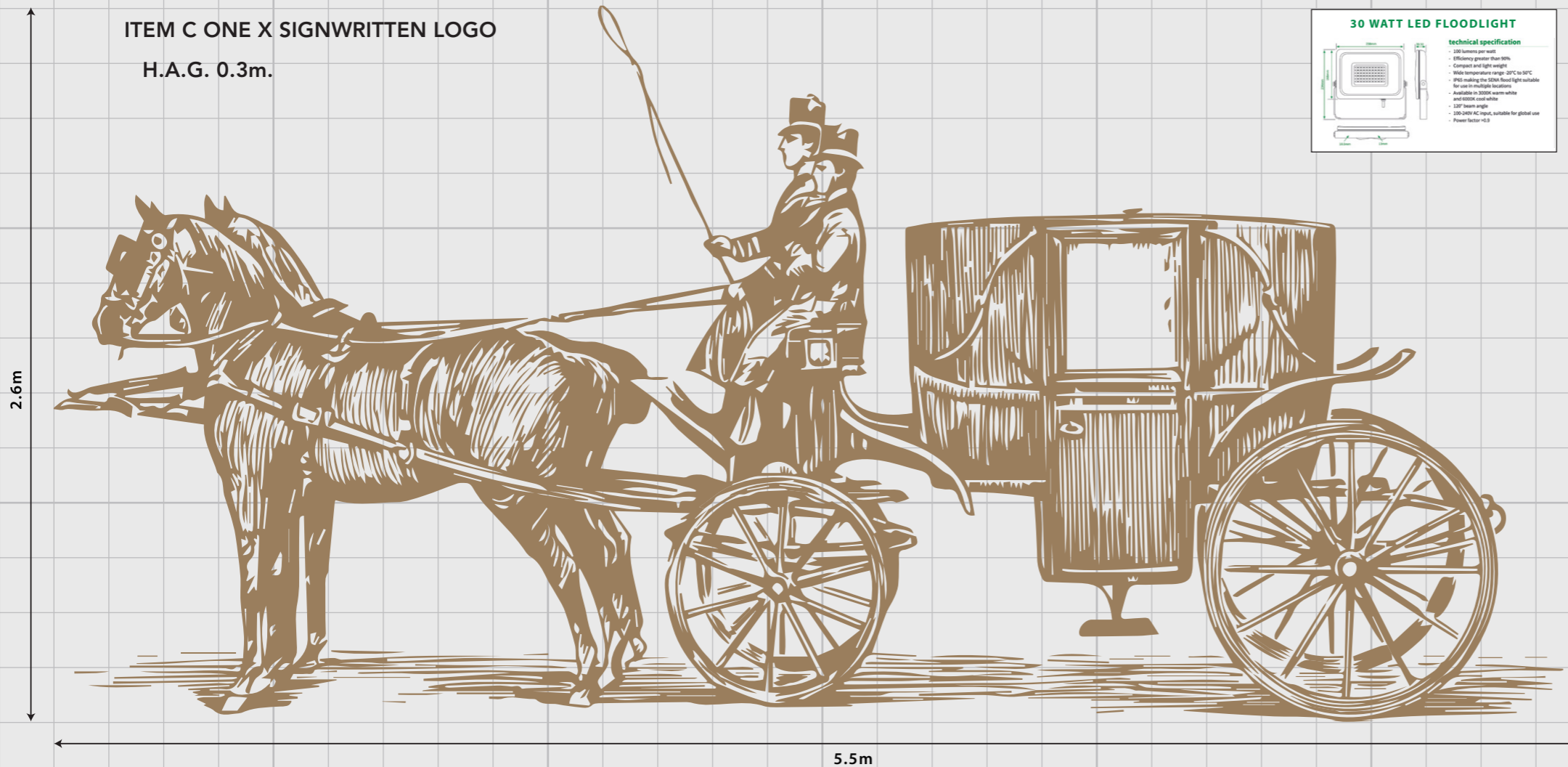
ITEM E TWO X CHALKBOARDS
H.A.G. 0.5m.



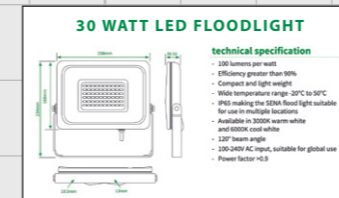
ITEM F ONE X AMENITY SIGN
H.A.G. 0.5m.



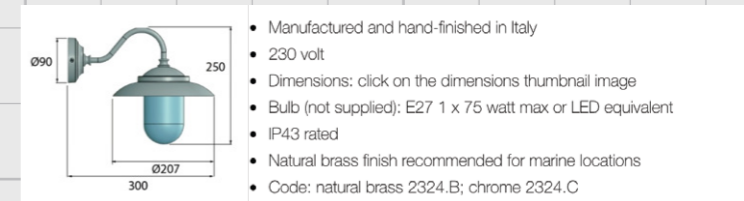
C ITEM C ONE X SIGNWRITTEN LOGO
H.A.G. 0.3m.



ITEM G THREE X LED FLOOD LIGHTS
H.A.G. 4.3m.



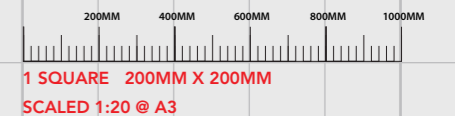
ITEM H THREE X WALL LIGHTS



SIGN COLOURS:

- RAL 5008
- DH PANEL WHITE
- DH MASTERS GOLD

PLEASE REFER TO PAINT MANUFACTURER SWATCHES PRIOR TO APPROVAL







EXISTING ELEVATIONS



PROPOSED ELEVATIONS

1M 2M 3M 4M 5M
 1 SQUARE 1M X 1M
 SCALED 1:100 @ A3



Design & Access Statement

This scheme has been proposed as there are some internal redecoration works proposed at the pub and the existing signs, due to their condition/age, do not support the development.

Sign A is a new projecting sign fixed using a new bracket to the right hand side of the primary front elevation of the building. This sign is key to the new development, as this sign will provide more visibility from distance to attract people towards the pub. This sign will be illuminated by slimline linolites directly above it. Such signs are commonplace on public houses up and down the building and are considered a standard and traditional form of pub signage.

Sign B is a new set of 10mm perspex house name letters which will replace the existing letters currently in position. Whilst the existing letters are spread across a wider area of the building, the new letters will be focused to the square area above the main entrance. Alongside Sign A, this will give more balance to the elevation and give more focus to the main pub entrance. The materials used in the manufacture of these letters will be the same as the existing letters.

Sign C is a new signwritten pictorial image which will be painted directly to the building. The location of this sign will be to the far right hand side of the secondary front elevation as it veers back towards the car park entrance. The pub is renowned for its rugby coverage and match-going fans make up a large proportion of the customer base. There is an existing crude mural currently in this location, and our intention is to replace this with a more long-lasting and refined image. As this sign will be painted directly to the building, there will be no material damage caused by fixings etc, this sign could simply be painted over.

Sign E is two new small low level chalkboards positioned across the front elevation. The first will be positioned next to the main entrance, with the second slightly further down on the secondary front elevation part of the building. These boards will be used to advertise upcoming events or offers and the distance between the boards means that they will not be readable at the same time. The size of the main elevations mean that some presence is necessary on both parts of the building.

Sign F is a new small low level amenity board. This sign is in keeping with Sign E, but will display permanent key messages that show the main attractions of the pub.

Sign G is three new 30w LED floodlights will be positioned across the main elevation to cast a gentle illumination onto the building. The central fitting will illuminate the house name letters (Sign B) directly.

Sign H is three new low level wall light lanterns positioned across the main elevations. The left hand side two fittings will directly illuminate the chalkboard and amenity board beneath them. The right hand side fitting will be positioned above the secondary entrance doorway to provide a safe level of illumination for people entering and leaving the premises.

Heritage Statement

SO81NW ST CATHERINE STREET 844-1/3/319 (North side) 23/01/52 Coach and Horses Inn

GV II

Public house. Early C16. Extended in C18 and C19, and altered at various dates. Timber frame, painted render, end-gabled tiled roof, a tall brick stack in front roof slope. The main block comprises early C16 timber-framed range of three structural bays indicated at first-floor level, additions at rear, and a long wing added in C19 at right-hand gable end. EXTERIOR: two storeys, with single-storey wing to right; on the front of the main block a continuous first-floor jetty with knee-bracket at each end; the ground floor possibly rebuilt and rendered, with a doorway to left with a two-light fixed window to each side, and to right a similar three-light fixed window; the jettied first floor rendered with timber-framing represented in black paint, and infill panels in white paint, and indicating three bays defined by storey posts, each bay with two intermediate posts, curved tension braces to the storey posts at the outer corners and straight tension braces to the intermediate bay posts: probably an approximation of any remaining original framing preserved under the render. In the centre of each bay a pair of casements with leaded lights; in the right-hand end-gable similar painted framing indicating close studs and a collar tie. On the front of the long, single storey, end-gabled wing to right a central doorway and, widely spaced to each side, a two-light, timber-framed, cross window with rectangular, leadlight casements. INTERIOR: on the ground floor C19 and C20 linings and fittings; first floor not inspected.

Whilst designing this scheme, we were keenly aware of the history of the building and its prominence within the wider street scene.

We have chosen colours which are in keeping with the style and age of the building and which will enhance the appearance of the pub.

We did originally propose to paint out the square area between the first floor windows where Sign B will be positioned completely in DH Panel White, but felt that to lose the timber beams would be to the detriment of the building, and therefore we opted to keep the beams painted out in the darker colour.

Overall, we have respected the host building with our colour and signage scheme and feel that our proposal will enhance the appearance of the building and wider street scene.