

Householder Application for Planning Permission for works or extension to a dwelling

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x) Northing (y)

Description

Applicant Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

Secondary number

Fax number

Email address

Agent Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Contact Details

Primary number

Secondary number

Fax number

Email address

Description of Proposed Works

Please describe the proposed works

Has the work already been started without consent?

Yes

No

Materials

Does the proposed development require any materials to be used externally?

Yes

No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

Type:

Walls

Existing materials and finishes:

facing brick and render

Proposed materials and finishes:

facing brick and render

Type:

Roof

Existing materials and finishes:

concrete interlocking tiles

Proposed materials and finishes:

concrete interlocking tiles

Type:

Windows

Existing materials and finishes:

white upvc

Proposed materials and finishes:

white upvc

Type:

Doors

Existing materials and finishes:

white upvc and woodgrain upvc at front

Proposed materials and finishes:

white upvc and white aluminium bi-fold doors

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

AG001 and AG002

Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

Yes

No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

Yes

No

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

- Yes
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes
 No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

- Yes
 No

Parking

Will the proposed works affect existing car parking arrangements?

- Yes
 No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
 The applicant
 Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes
 No

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

Yes

No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

Yes

No

Is any of the land to which the application relates part of an Agricultural Holding?

Yes

No

Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

The Applicant

The Agent

Title

mr

First Name

andrew

Surname

giles

Declaration Date

20/09/2022

Declaration made

Declaration

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

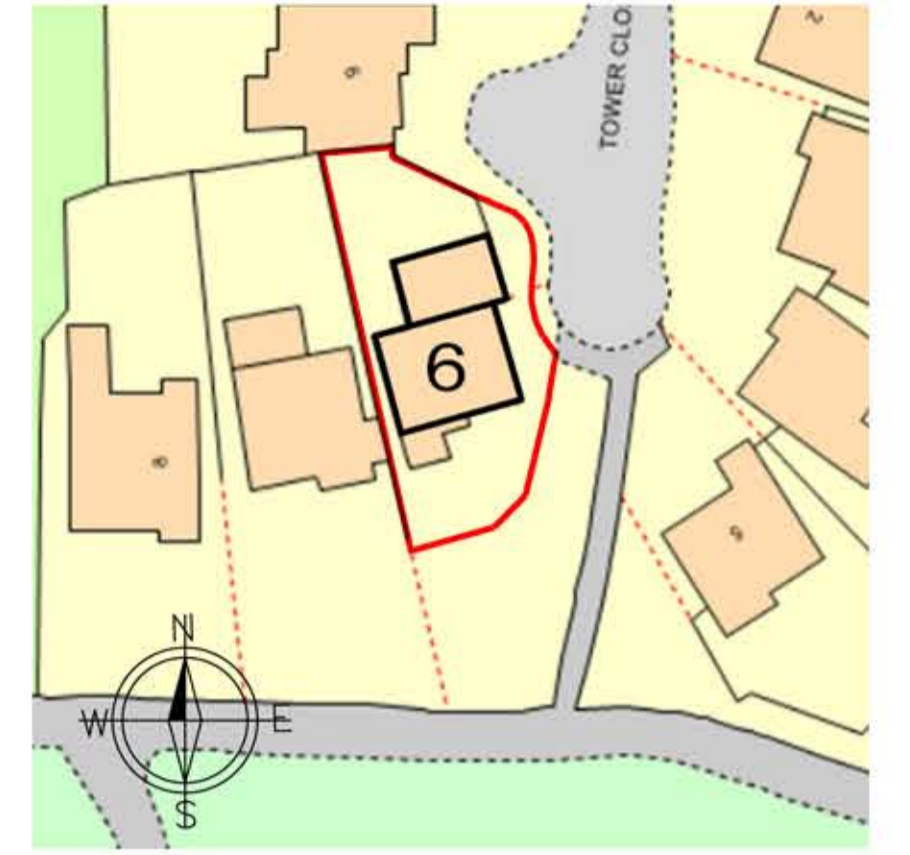
richard matthews

Date

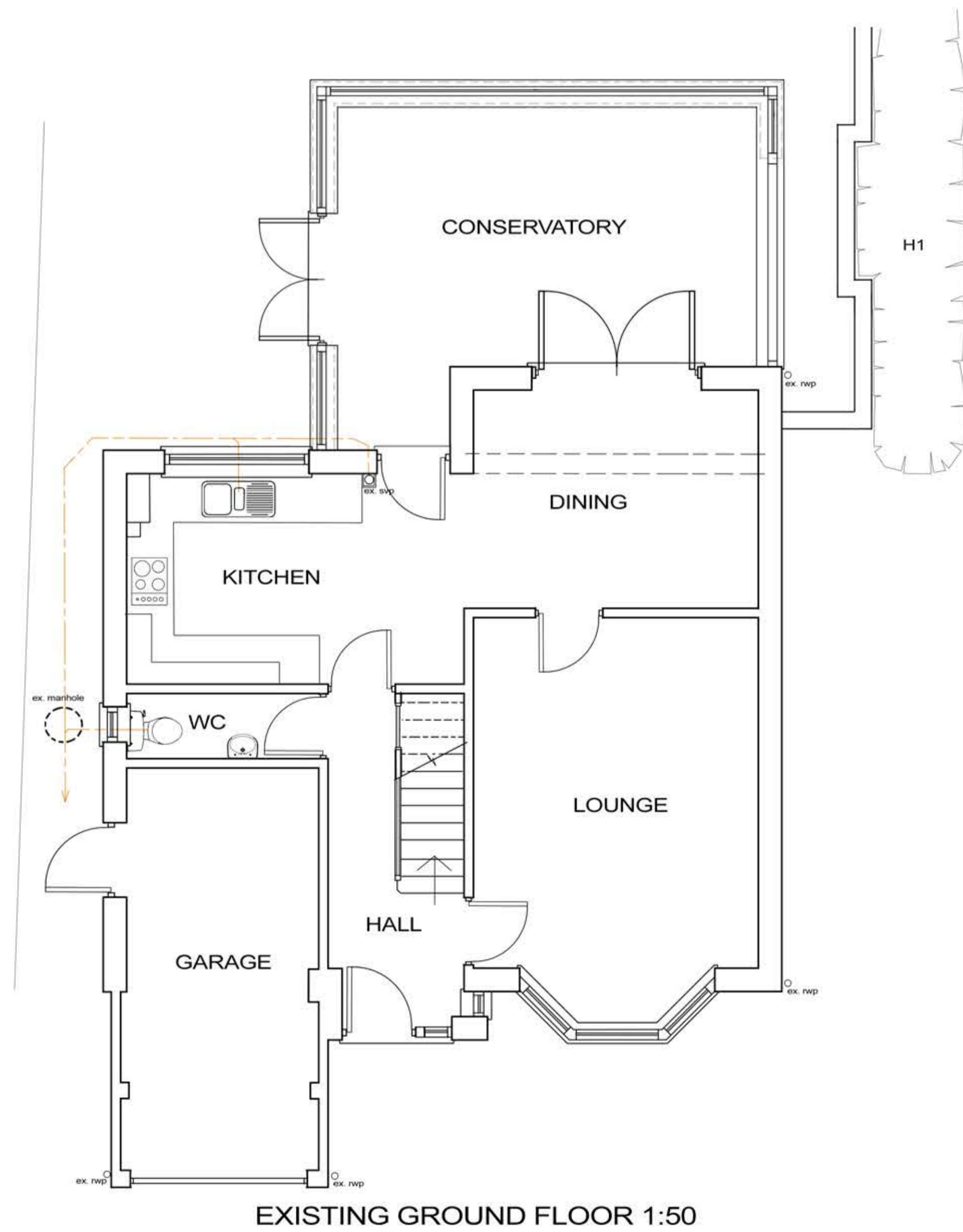
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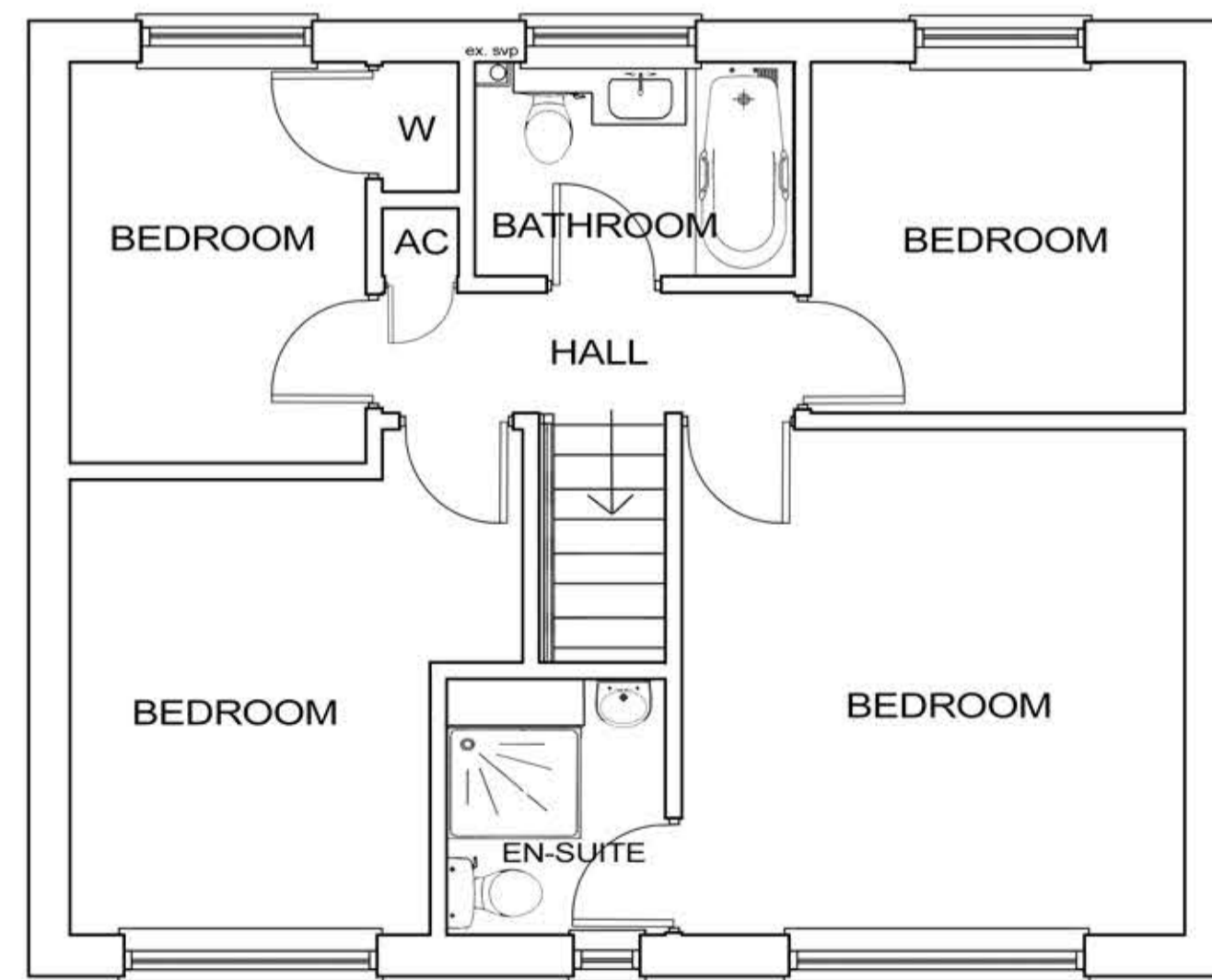
SITE LOCATION PLAN 1:1250



EXISTING BLOCK PLAN 1:500



EXISTING GROUND FLOOR 1:50



EXISTING FIRST FLOOR 1:50

RM Architectural Services
RM Architectural Services
Design and Planning

Client: **ANDREW GILES**

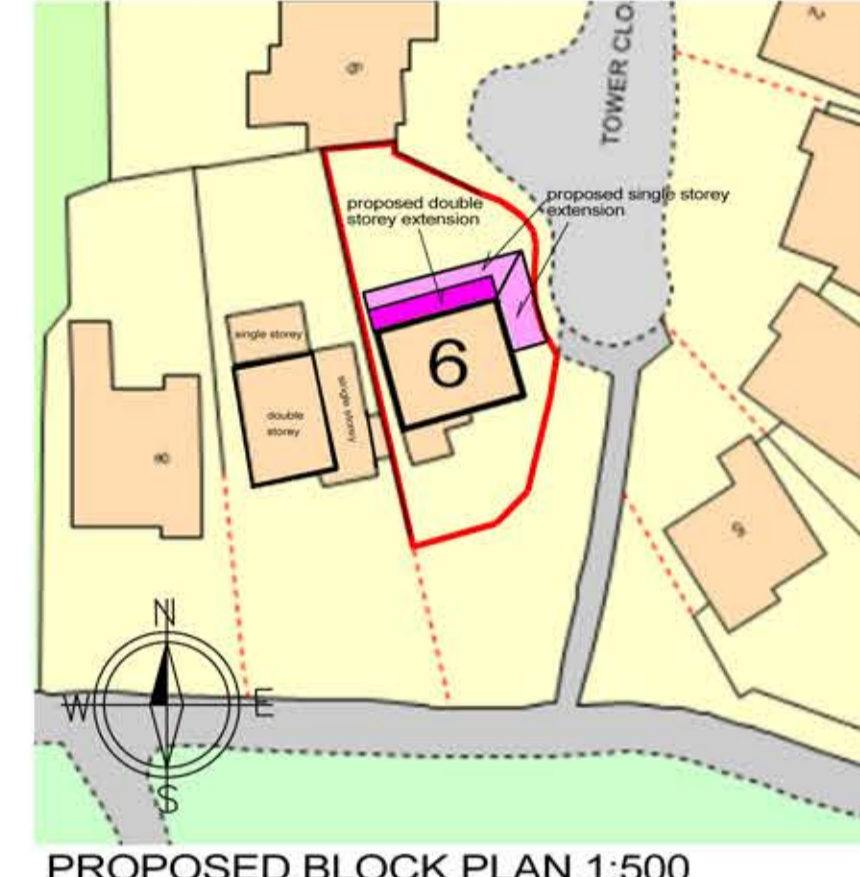
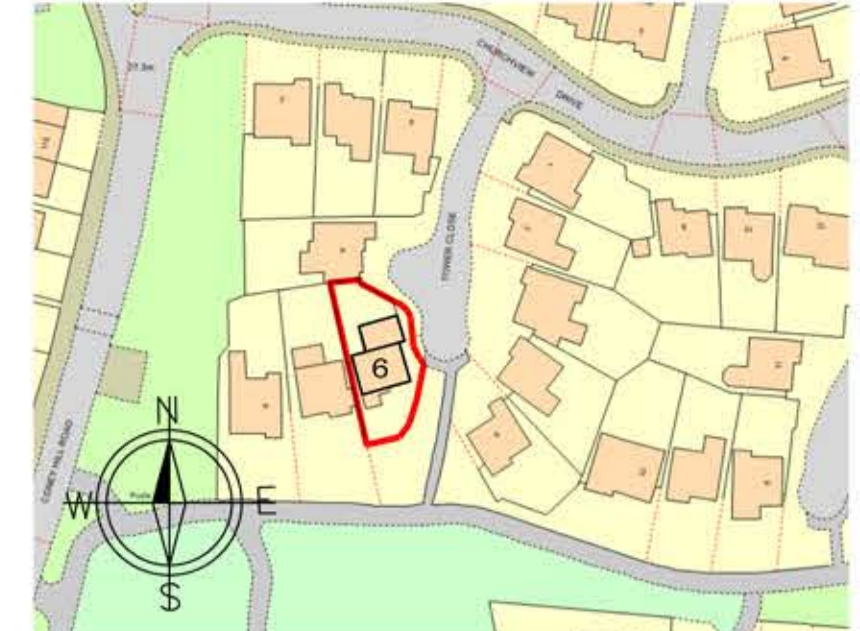
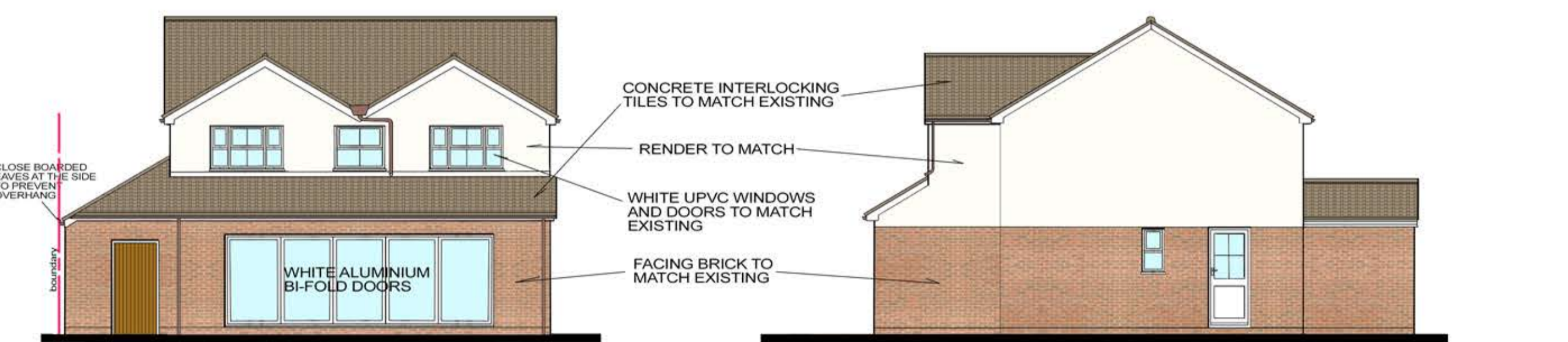
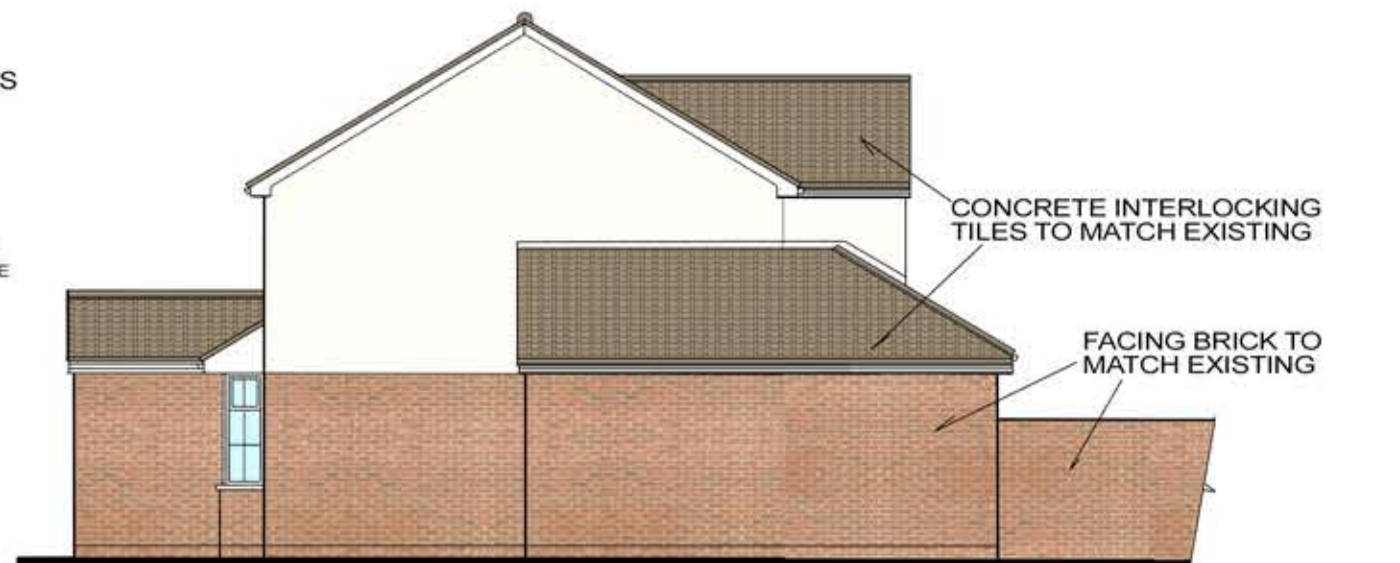
Job Title:
DOUBLE REAR AND SINGLE STOREY REAR/SIDE EXTENSIONS AND GARAGE CONVERSION TO NO. 6 TOWER CLOSE, BARNWOOD, GLOS

Dwg Title:
EXISTING PLANS AND ELEVATIONS
SITE LOCATION AND BLOCK PLAN

Scale: 1:50 1:100 1:1250 1:500

Date:

Dwg No. AG001



Cavity Wall Guidance - Extensions and alterations

Below are tables of examples of insulation products that can be used to achieve the new U-values in Approved Document L as of June 2022. This is based on a "standard" cavity construction wall detail with a brick outer leaf and a block inner leaf. In most instances the cavity will now be greater than 100mm unless a suitable PIR cavity insulation board is used. Please see key for ease - this includes some but not all products that can be used. Specialist advice from architects, energy assessors and manufacturers may be required.

Table 1 - U-Value now required 0.18W/m²K

Cavity width	Detail
100mm	Brickwork, 100mm cavity full fill insulation with a thermal conductivity of 0.021 W/mK. 100 blockwork inner leaf with a thermal conductivity of 0.15 W/mK. 12.5mm plasterboard finish.
100mm	Brickwork, 100mm cavity full fill insulation with a thermal conductivity of 0.022 W/mK. 100 blockwork inner leaf with a thermal conductivity of 0.15 W/mK. 12.5mm plasterboard finish and a 12.2 insulated PIR plasterboard.
150mm	Brickwork, 150mm cavity insulated with an insulation of thermal conductivity 0.021 W/mK. 100 blockwork with a thermal conductivity of 0.15 W/mK. 12.5mm plasterboard finish.
150mm	Brickwork, 150mm cavity insulated with an insulation of thermal conductivity 0.022 W/mK. 100 blockwork with a thermal conductivity of 0.15 W/mK. 12.5mm plasterboard finish.
150mm	Brickwork, 150mm cavity partial fill with 100mm insulation with a thermal conductivity of 0.022 W/mK. 100 blockwork with a thermal conductivity of 0.15 W/mK. 12.5mm plasterboard finish.
175mm	Brickwork, 175mm cavity insulated with an insulation of thermal conductivity 0.021 W/mK. 100 blockwork with a thermal conductivity of 0.15 W/mK. 12.5mm plasterboard finish.
180mm	Brickwork, 180mm cavity full fill insulation with Rockwool full fill cavity batts 0.037 W/mK. 100mm of blockwork with a thermal conductivity up to 1.130 W/mK (Even dense concrete blocks achieve this).

NEW BUILDING REGULATIONS

Table 2 - Key for common construction products used

0.15W/m²K blocks or better	Cavity insulation 0.021 W/mK	Cavity insulation 0.022 W/mK	Cavity insulation 0.023 W/mK
Recton Solar, Celotex CW4000, Durox Supablock, Durox Supablock 400, Thermoalite Standard, Thermoalite Turbo, Topblock supra bloc, Toplite standard	All will be PIR partial / full fill cavity wall insulation. Note that Thermoalite Turbo systems and workmanship will need to be impeccable.	Please note most other cavity wall insulations do not achieve the same value as Dritherm 32, even other Dritherm products like 34 etc.	Rockwool Cavity batts, Other Dritherm products

Table 2 - U-Value Table highlighting changes as of June 2022

Note: New thermal elements may need higher values if you have more than 25% glazing.

THERMAL ELEMENT	OLD U-VALUE	NEW U-VALUE
New Floors	0.22 W/m²K	0.18 W/m²K
Retained Floors	0.25 W/m²K	0.25 W/m²K
New Cavity Walls	0.28 W/m²K	0.18 W/m²K
Retained Cavity Walls	0.55 W/m²K	0.55 W/m²K
Retained Solid Walls 5"	0.3 W/m²K	0.3 W/m²K
Retained Single Skin Walls 2"	0.3 W/m²K	0.3 W/m²K
Timber Frame Walls	0.28 W/m²K	0.18 W/m²K
Pitched Roof (Flat Ceiling)	0.16 W/m²K	0.15 W/m²K
Pitched Roof (Vaulted Ceiling)	0.18 W/m²K	0.15 W/m²K
Flat Roof (Cold Deck)	0.18 W/m²K	0.15 W/m²K
Flat Roof (Warm Deck)	0.18 W/m²K	0.15 W/m²K
Retained Roof Upgrades		
Flat Roof	0.18 W/m²K	0.18 W/m²K
Flat Ceiling	0.16 W/m²K	0.16 W/m²K
Vaulted	0.18 W/m²K	0.18 W/m²K
Windows	1.6 W/m²K	1.4 W/m²K
External Doors >60% Glazing	1.8 W/m²K Band E	1.4 W/m²K Band C
Other External Doors	1.8 W/m²K Band E	1.4 W/m²K Band D
Roof Light	1.6 W/m²K	2.2 W/m²K (subject to change)

ROOF CONSTRUCTION MAIN ROOF

TRADITIONAL ROOF CONSTRUCTION BUILT ON SITE. CONCRETE INTERLOCKING TILES TO MATCH EXISTING HOUSE ON 25X38MM TREATED SW BATTENS ON KINGSPAN NIVENT MEMBRANE ON ENGINEERED TRUSS RAFTERS TO MANUFACTURERS SPECIFICATIONS AT 400MM C/C. SUPPORTED AS PER SECTION, ALLOW FOR LATERAL RESTRAINT TIES AT 400MM C/C. RAFTERS TO WALLS, CEILING WITH NOGGIN AND BLOCKS SECURED TO 3 NO. RAFTERS TO WALLS. CEILING BINDER PROVIDED ACROSS CEILING FIXED TO TRUSS RAFTERS ABOVE CEILING. 100 X 25MM TIMBER DIAGONALS TO BE USED. INSULATION IN VAULTED PART OF CEILING TO BE 2 X LAYERS 200MM ROCKWOOL INSULATION LAID AT 90 DEGREES. UNDERDRAWN WITH 12.5MM. PLASTERBOARD AND SKIM. INSULATION IN VAULTED PART OF CEILING TO BE 125MM KINGSPAN INSULATION BETWEEN RAFTERS WITH 50 MM CROSS BATTENS BELOW AND A FURTHER 50MM INSULATION BETWEEN BATTENS.

ALL ROOF VENTILATION TO COMPLY WITH BUILDING REGULATIONS DOCUMENT F2

PLUMBING

HEATING TO NEW ROOMS FROM HOT WATER RADIATOR LINKED INTO EXISTING BOILER. ALL NEW RADIATORS TO BE FITTED WITH TRVs.

ELECTRICS

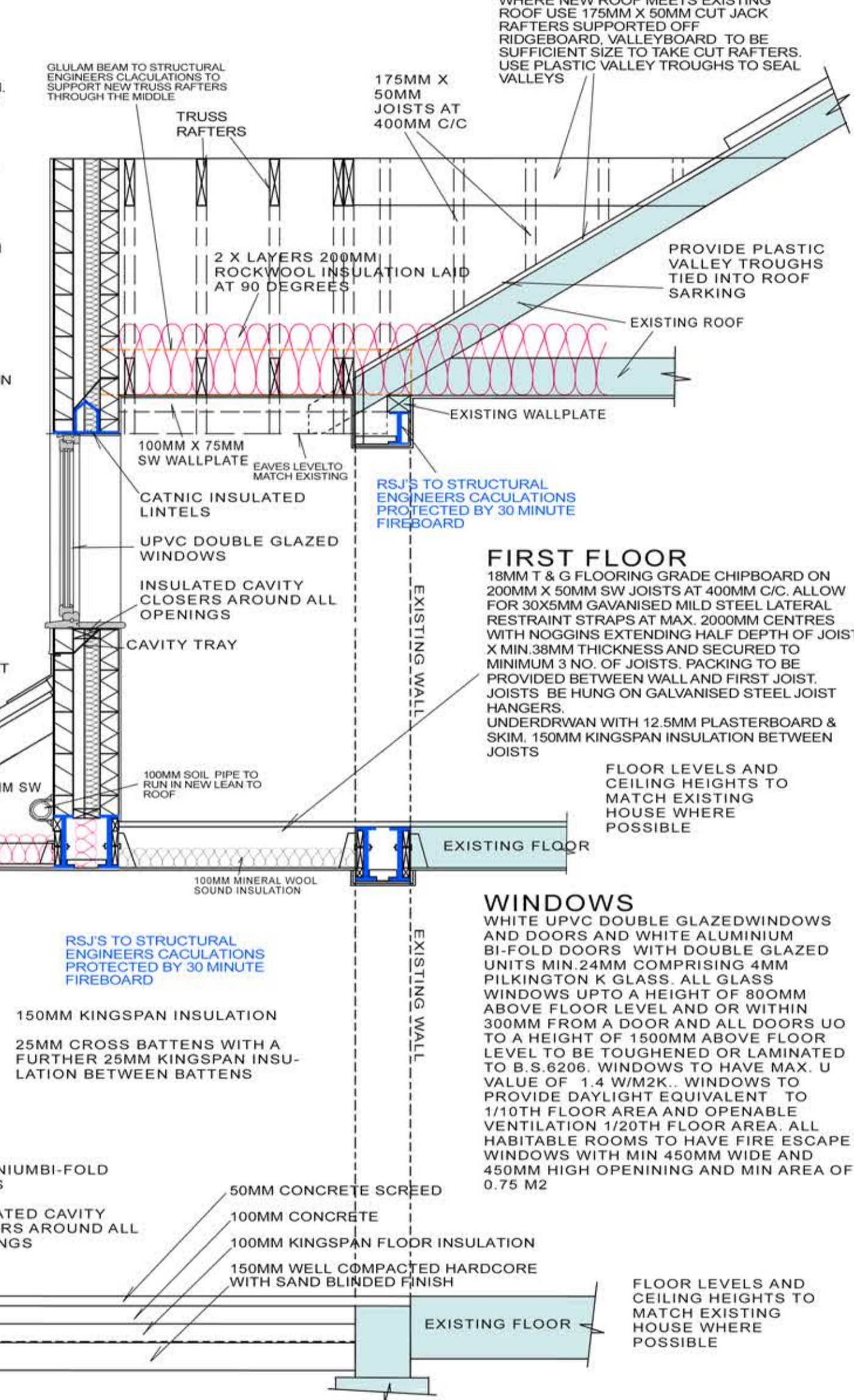
ALL SWITCHES AND SOCKETS TO BE LOCATED SO THEY ARE EASILY REACHABLE. BETWEEN 450MM AND 1200MM FROM FLOOR LEVEL. ALL WIRING AND ELECTRICAL WORKS WILL BE DESIGNED, INSTALLED, INSPECTED AND TESTED IN ACCORDANCE WITH REQUIREMENTS OF BS 7671, IEE LATEST EDITION WIRING GUIDANCE AND BUILDING REGULATIONS PART P COMPETENT PERSON MEANS MEMBER OF THE O.D.P.M. COMPETENT PERSONS SCHEME. THE COMPETENT PERSON IS TO SEND TO THE LOCAL AUTHORITY A "SELF CERTIFICATION CERTIFICATE" WITHIN 30 DAYS OF THE ELECTRICAL WORKS COMPLETION. THE CLIENT MUST RECEIVE BOTH A COPY OF THE "SELF CERTIFICATION CERTIFICATE" AND BS 7671 ELECTRICAL INSTALLATION CERTIFICATE. ENSURE 75 PERCENT OF ALL NEW LIGHT FITTINGS ARE EFFICIENT FITTINGS.

VENTILATION

WINDOW VENTILATION OPENINGS MIN. 1/20TH FLOOR AREA OF HABITABLE ROOMS. ALL WINDOWS TO HAVE TRICKLE VENTS. PROVIDE MECHANICAL VENTILATION TO KITCHEN 60L/S, UTILITY 30 L/S AND BATHROOM 15L/S.

INTELS

EXTERNAL INTELS TO BE CATNIC OR SIMILAR APPROVED. CAVITY TRAYS OVER INTELS WITH WEEP HOLES AT 450MM LATERAL CENTRES. INTERNAL INTELS TO BE MIN. 100 X 140MM PRECAST CONCRETE.



INNER STUD PARTITION WALLS

50 x 75MM STUD PARTITIONS WITH INSULATION BETWEEN AS SOUND DEADENING. 12.5MM PLASTERBOARD AND SKIM COAT TO EACH FACE.

EXTERNAL WALLS

FACING BRICK TO MATCH EXISTING HOUSE ON GROUND FLOOR AND SAND CEMENT RENDER ON CONCRETE BLOCK ON FIRST FLOOR. 150MM CAVITY WITH (SEE CHART FOR INSULATION REQUIRED TO COMPLY WITH NEW BUILDING REGULATIONS) 100MM THERMALITE (OR SIMILAR) INSULATING BLOCKWORK, DRY LINED WITH 12.5MM PLASTERBOARD & SKIM COAT. INSULATION IN CAVITIES TAKEN DOWN TO FINISH IN LINE WITH THE UNDERSIDE OF THE FLOOR INSULATION. WALL TIES AT 750MM CENTRES HORIZONTALLY AND 450MM CENTRES VERTICALLY AROUND UNBONDED JAMBS WALL TIES TO BE 450MM HORIZONTALLY AND 225MM VERTICALLY. 150MM VERTICAL DPC AROUND DOOR AND WINDOW OPENINGS AND INSULATED CAVITY CLOSERS AROUND OPENINGS TO ELIMINATE COLD BRIDGING. WALLS TO BE SEALED AT EAVES LEVEL WITH INSULATED CAVITY CLOSERS.

GROUND FLOOR

50MM SAND AND CEMENT SCREED ON 100MM CONCRETE BASE. LAYER OF BUILDING PAPER ON KINGSPAN TF70 100MM THERMAFLOOR INSULATION ON 1200 GAUGE POLY D.P.M. SHEETING ON 150MM WELL COMPACTED AND CONSOLIDATED HARDCORE FILL (ALLOW FOR COMPACTED SAND ON HARDCORE TO AVOID TEARS IN D.P.M.). PROVIDE 25MM UP STAND OF INSULATION AROUND PERIMETER OF FLOORS

DRAINAGE

APPLY FOR LOW RADIUS BENDS. 40MM WASTE FROM BATHS & BASINS. 50MM FROM SINKS & SHOWERS ALL WITH 75MM SEALS. 100MM WASTE FROM W.C. WITH 50MM SEAL. WHERE ANY DRAINS PASS UNDER FLOOR SLABS ENCASE IN MIN. 150MM PEA GRAVEL AND INTELS INSTALLED WHERE THEY PASS THROUGH WALLS WITH COMPRESSIBLE MATERIAL AROUND HOLE. ANTI-SYMPHONIC TRAPS TO BE USED FOR ALL BATHROOM APPLIANCES. DRAINPIPES 100MM SUPERSLEVE LAID AT MIN. 1 IN 80 FALL TO CONNECT UP TO EXISTING DRAINAGE RUN. NEW MANHOLE POSITION AS PER PLANS. STORMDRAINS: 65MM DOWNPIPES TO GULLIES WITH COPPER WIRE BALLOONS AT GUTTER JOINTS. GUTTERS 100MM TRUE HALF ROUND LAID TO FALL. FROM GULLIES 100MM SUPERSLEVE DRAINS TO DRAIN AWAY INTO EXISTING DRAINAGE RUN.

SUBSTRUCTURE WALLS

INNER SKIN TO BE 100MM 7N/mm² CONCRETE BLOCK BELOW D.P.C LEVEL. USE SAME TO EXTERNAL SKIN BELOW GROUND LEVEL AND FACING BRICK ABOVE GROUND LEVEL UP TO D.P.C. BUILD IN FULL WIDTH D.P.C AT MINIMUM 150MM ABOVE GROUND LEVEL. LINK TO D.P.M. BUILD IN CAVITY TRAY IMMEDIATELY OVER D.P.C. TO FULL PERIMETER OF BUILDING. BUILD INTELS WHERE SERVICES/DRAINS PASS THROUGH EXTERNAL WALLS. ENSURE MINIMUM 150MM CLEARANCE AROUND DRAINS WILL FLEXIBLE MATERIAL FILLING TO VOID SPACE. WEAK MIX CONCRETE CAVITY FILL TO BASE OF WALL TO 225MM

FOOTINGS

CONCRETE STRIP FOUNDATIONS TO MIN. 1000MM BELOW GROUND LEVEL TO LOCAL AUTHORITY APPROVAL. FOOTINGS TO BE CLEAR OF ROOTS AND DEBRIS PRIOR TO POURING CONCRETE. MASS FILL TO 3 COURSES BELOW LOWEST D.P.C. LEVEL.

RM Architectural Services
Design and Planning
01452 553511 or 07998 074513
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Client: **ANDREW GILES**

Job Title: **DOUBLE REAR AND SINGLE STOREY REAR/SIDE EXTENSIONS AND GARAGE CONVERSION TO NO. 6 TOWER CLOSE, BARNWOOD, GLOS**

Draw Title: **PROPOSED PLANS AND ELEVATIONS LOCATION AND BLOCK PLAN SECTION AND DETAILS**

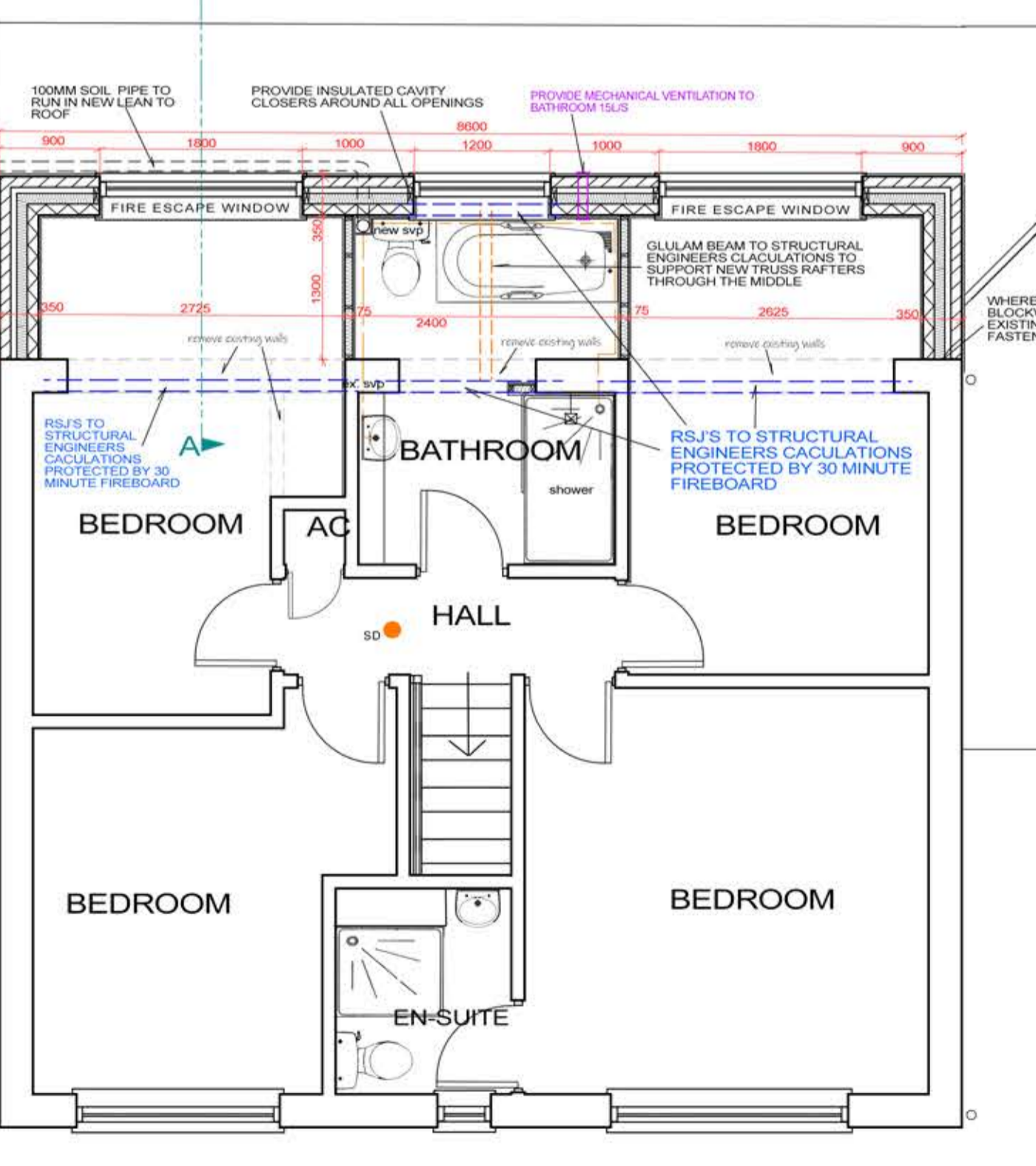
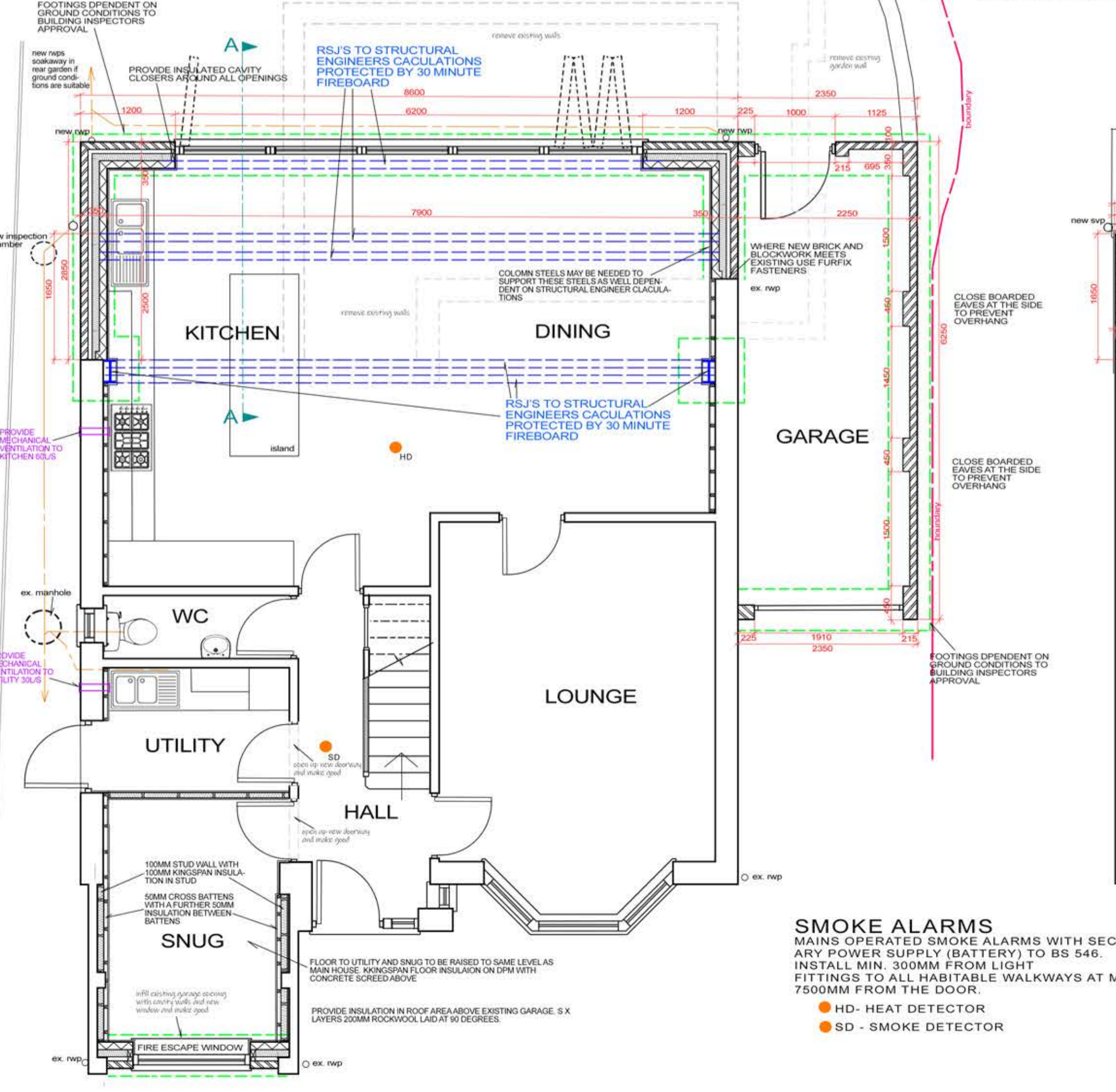
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Date: _____

Draw No: **AG002**

NOTE

THE CONTRACTOR IS TO CHECK AND VERIFY ALL BUILDING AND SITE DIMENSIONS, LEVELS AND SEWER INVERT LEVELS AT CONNECTION POINTS BEFORE WORK STARTS. THE CONTRACTOR IS TO COMPLY IN ALL ASPECTS WITH CURRENT BUILDING LEGISLATION - BRITISH STANDARDS SPECIFICATIONS, BUILDING REGULATIONS ETC. WHETHER OR NOT SPECIALLY STATED ON THIS DRAWING. THIS DRAWING MUST BE READ WITH AND CHECKED AGAINST ANY STRUCTURAL, GEOTECHNICAL OR OTHER SPECIALIST DOCUMENTATION. THIS DRAWING IS NOT INTENDED TO SHOW DETAILS OF FOUNDATIONS, GROUND CONDITIONS OR GROUND CONTAMINANTS. THE CONTRACTOR WILL INVESTIGATE THE BUILDING AREA AND A SUITABLE METHOD OF FOUNDATION FOR THE WHOLE BUILD SHOULD BE PROVIDED ALLOWING FOR EXISTING GROUND CONDITIONS. ANY SUSPECT GROUND CONDITIONS SHOULD BE FURTHER INVESTIGATED BY A SUITABLE EXPERT. MEASUREMENTS FOR ANY PRODUCTS THAT ARE PRE-FABRICATED OFF SITE ARE TO BE MEASURED OFF SITE AND NOT SCALED OFF THESE DRAWINGS.



SMOKE ALARMS

MAINS OPERATED SMOKE ALARMS WITH SECONDARY POWER SUPPLY (BATTERY) TO BS 546. INSTALL MIN. 300MM FROM LIGHT FITTINGS TO ALL HABITABLE WALKWAYS AT MIN 7500MM FROM THE DOOR.

- HD - HEAT DETECTOR
- SD - SMOKE DETECTOR

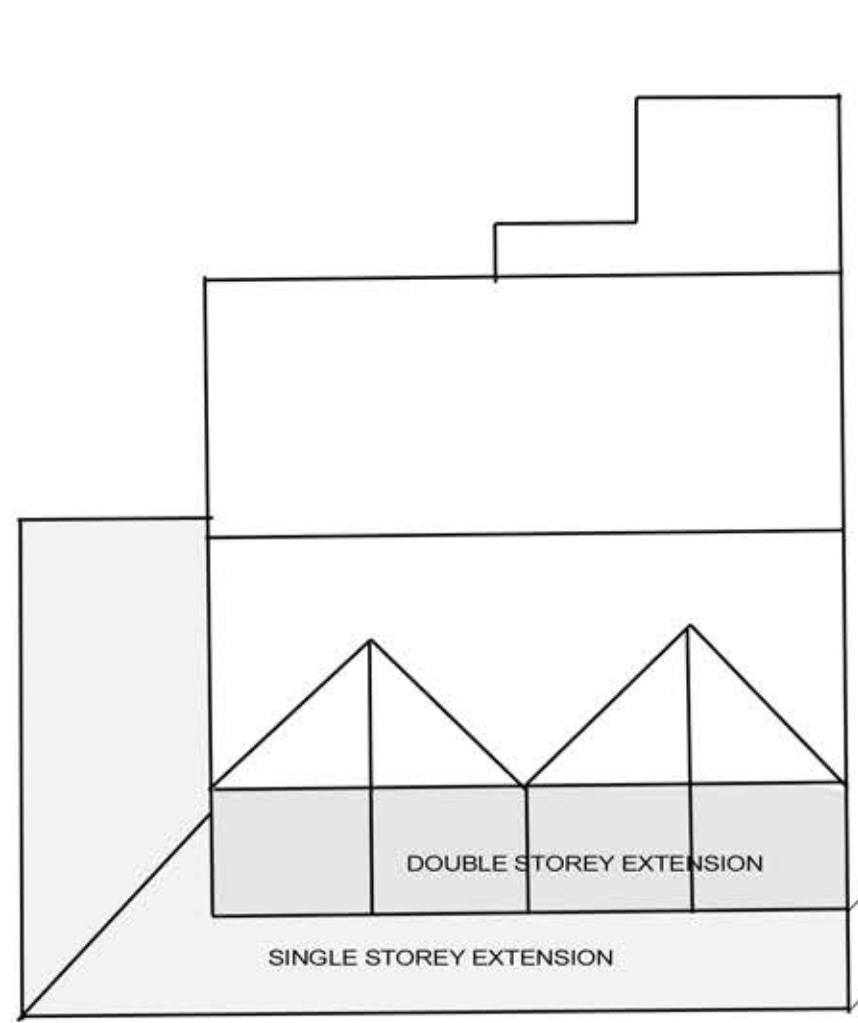


PROPOSED REAR ELEVATION NO. 6 TOWER CLOSE

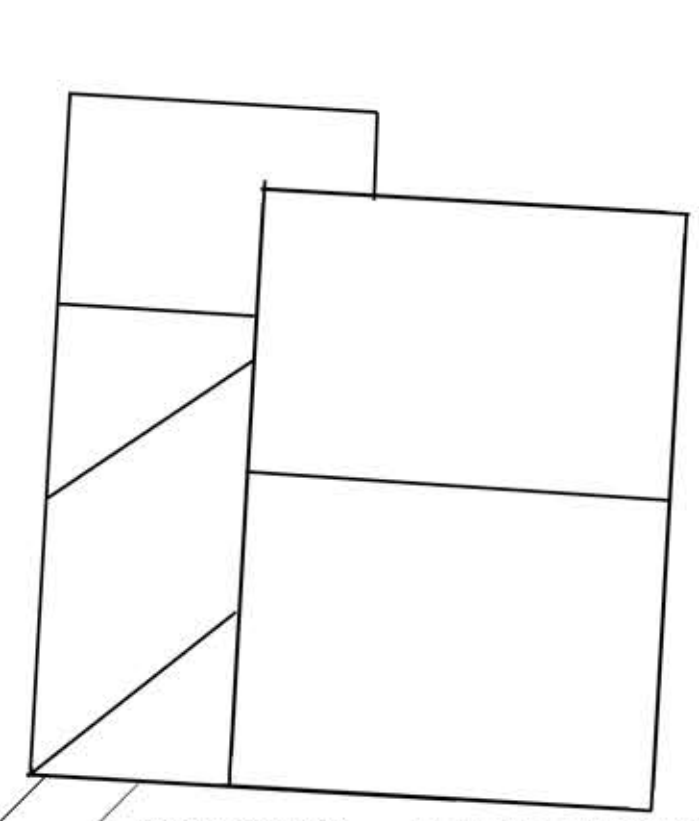
REAR ELEVATION NO. 7 TOWER CLOSE

45 degree angle of shadow from double storey extension

45 degree angle of shadow from single storey extension



PLAN NO. 6 TOWER CLOSE



PLAN NO. 7 TOWER CLOSE

45 degree angle of shadow from double storey extension

45 degree angle of shadow from single storey extension

SCALE 1:100