

## Application for Planning Permission

### Town and Country Planning Act 1990 (as amended)

#### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

### Site Location

**Disclaimer:** We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)  Northing (y)

Description

## Applicant Details

### Name/Company

Title

Mr

First name

David

Surname

Brockhurst

Company Name

Brockhurst Associates Ltd

### Address

Address line 1

5A

Address line 2

Crown Green Court

Address line 3

Town/City

Hartpury

Country

UK

Postcode

GL1 5AG

Are you an agent acting on behalf of the applicant?

Yes

No

### Contact Details

Primary number

\*\*\*\*\* REDACTED \*\*\*\*\*

Secondary number

Fax number

Email address

## Agent Details

Name/Company

Title

First name

Surname

Company Name

## Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

## Contact Details

Primary number

Secondary number

Fax number

Email address

## Site Area

What is the measurement of the site area? (numeric characters only).

Unit

## Description of the Proposal

Please note in regard to:

- **Fire Statements** - From 1 August 2021, planning applications for buildings of over 18 metres (or 7 stories) tall containing more than one dwelling will require a 'Fire Statement' for the application to be considered valid. There are some exemptions. [View government planning guidance on fire statements](#) or [access the fire statement template and guidance](#).
- **Permission In Principle** - If you are applying for Technical Details Consent on a site that has been granted Permission In Principle, please include the relevant details in the description below.
- **Public Service Infrastructure** - From 1 August 2021, applications for certain public service infrastructure developments will be eligible for faster determination timeframes. See help for further details or [view government planning guidance on determination periods](#).

### Description

Please describe details of the proposed development or works including any change of use

Has the work or change of use already started?

Yes

No

## Existing Use

Please describe the current use of the site

Is the site currently vacant?

Yes

No

Does the proposal involve any of the following? If Yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated

Yes

No

Land where contamination is suspected for all or part of the site

Yes

No

A proposed use that would be particularly vulnerable to the presence of contamination

Yes

No

## Materials

Does the proposed development require any materials to be used externally?

Yes

No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

**Type:**

Walls

**Existing materials and finishes:**

red/brown facing brickwork

**Proposed materials and finishes:**

red/brown facing brickwork to match existing

**Type:**

Roof

**Existing materials and finishes:**

grey/brown concrete interlocking tiles

**Proposed materials and finishes:**

grey/brown concrete interlocking tiles to match existing

**Type:**

Windows

**Existing materials and finishes:**

white pvc(u)

**Proposed materials and finishes:**

white pvc(u)

**Type:**

Doors

**Existing materials and finishes:**

white pvc(u)

**Proposed materials and finishes:**

white pvc(u)

**Type:**

Boundary treatments (e.g. fences, walls)

**Existing materials and finishes:**

close boarded fencing and brick garden walls

**Proposed materials and finishes:**

close boarded fencing and brick garden walls to match existing

**Type:**

Vehicle access and hard standing

**Existing materials and finishes:**

Tarmac, gravel and concrete paving

**Proposed materials and finishes:**

Tarmac, gravel and concrete paving

**Type:**

Lighting

**Existing materials and finishes:**

PIR fittings to front and rear entrance doors

**Proposed materials and finishes:**

PIR fittings to front and rear entrance doors

**Type:**

Other

**Other (please specify):**

guttering

**Existing materials and finishes:**

black pvc(u)

**Proposed materials and finishes:**

black pvc(u)

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

Drawings PA 22 00, 01, 02, 03, 04, 05 and 06  
Document PA 22 10

## Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicular access proposed to or from the public highway?

Yes

No

Is a new or altered pedestrian access proposed to or from the public highway?

Yes

No

Are there any new public roads to be provided within the site?

Yes

No

Are there any new public rights of way to be provided within or adjacent to the site?

Yes

No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

Yes

No

If you answered Yes to any of the above questions, please show details on your plans/drawings and state their reference numbers

Drawings PA 22 02 and 04  
Document PA 22 10

## Vehicle Parking

Does the site have any existing vehicle/cycle parking spaces or will the proposed development add/remove any parking spaces?

Yes

No

**Vehicle Type:**

Cars

**Existing number of spaces:**

2

**Total proposed (including spaces retained):**

4

**Difference in spaces:**

2

**Vehicle Type:**

Cycle spaces

**Existing number of spaces:**

0

**Total proposed (including spaces retained):**

2

**Difference in spaces:**

2

## Trees and Hedges

Are there trees or hedges on the proposed development site?

- Yes  
 No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

- Yes  
 No

**If Yes to either or both of the above, you may need to provide a full tree survey, at the discretion of the local planning authority. If a tree survey is required, this and the accompanying plan should be submitted alongside the application. The local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.**

## Assessment of Flood Risk

Is the site within an area at risk of flooding? (Check the location on the Government's [Flood map for planning](#). You should also refer to national [standing advice](#) and your local planning authority requirements for information as necessary.)

- Yes  
 No

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

- Yes  
 No

Will the proposal increase the flood risk elsewhere?

- Yes  
 No

How will surface water be disposed of?



Sustainable drainage system

Existing water course

Soakaway

Main sewer

Pond/lake

## Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

To assist in answering this question correctly, please refer to the help text which provides guidance on determining if any important biodiversity or geological conservation features may be present or nearby; and whether they are likely to be affected by the proposals.

a) Protected and priority species

Yes, on the development site

Yes, on land adjacent to or near the proposed development

No

b) Designated sites, important habitats or other biodiversity features

Yes, on the development site

Yes, on land adjacent to or near the proposed development

No

c) Features of geological conservation importance

Yes, on the development site

Yes, on land adjacent to or near the proposed development

No

### Supporting information requirements

Where a development proposal is likely to affect features of biodiversity or geological conservation interest, you will need to submit, with the application, sufficient information and assessments to allow the local planning authority to determine the proposal.

Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the local planning authority has been submitted.

Your local planning authority will be able to advise on the content of any assessments that may be required.

## Foul Sewage

Please state how foul sewage is to be disposed of:

Mains sewer

Septic tank

Package treatment plant

Cess pit

Other

Unknown

Are you proposing to connect to the existing drainage system?

Yes

No

Unknown

If Yes, please include the details of the existing system on the application drawings and state the plan(s)/drawing(s) references

Drawings PA 22 02, 04, 05 and 06  
Document PA 22 10

## Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

- Yes  
 No

If Yes, please provide details:

Drawing PA 22 04  
Document PA 22 10

Have arrangements been made for the separate storage and collection of recyclable waste?

- Yes  
 No

## Trade Effluent

Does the proposal involve the need to dispose of trade effluents or trade waste?

- Yes  
 No

## Residential/Dwelling Units

Does your proposal include the gain, loss or change of use of residential units?

- Yes  
 No

**Please note: This question is based on the current housing categories and types specified by government.**

If your application was started before 23 May 2020, the categories and types shown in this question will now have changed. We recommend that you review any information provided to ensure it is correct before the application is submitted.

## Proposed

Please select the housing categories that are relevant to the proposed units

- Market Housing  
 Social, Affordable or Intermediate Rent  
 Affordable Home Ownership  
 Starter Homes  
 Self-build and Custom Build

## Market Housing

Please specify each type of housing and number of units proposed

|                                |
|--------------------------------|
| <b>Housing Type:</b><br>Houses |
| <b>1 Bedroom:</b><br>0         |
| <b>2 Bedroom:</b><br>0         |
| <b>3 Bedroom:</b><br>2         |
| <b>4+ Bedroom:</b><br>0        |
| <b>Unknown Bedroom:</b><br>0   |
| <b>Total:</b><br>2             |

| Proposed Market Housing Category Totals | 1 Bedroom Total | 2 Bedroom Total | 3 Bedroom Total | 4 Bedroom Total | Unknown Bedroom Total | Bedroom Total |
|---|-----------------|-----------------|-----------------|-----------------|-----------------------|---------------|
|   | 0               | 0               | 2               | 0               | 0                     | 2             |

## Existing

Please select the housing categories for any existing units on the site

- Market Housing
- Social, Affordable or Intermediate Rent
- Affordable Home Ownership
- Starter Homes
- Self-build and Custom Build

## Market Housing

Please specify each existing type of housing and number of units on the site

|                                |
|--------------------------------|
| <b>Housing Type:</b><br>Houses |
| <b>1 Bedroom:</b><br>0         |
| <b>2 Bedroom:</b><br>0         |
| <b>3 Bedroom:</b><br>1         |
| <b>4+ Bedroom:</b><br>0        |
| <b>Unknown Bedroom:</b><br>0   |
| <b>Total:</b><br>1             |

| Existing Market Housing | 1 Bedroom Total | 2 Bedroom Total | 3 Bedroom Total | 4 Bedroom Total | Unknown | Bedroom Total |
|-------------------------|-----------------|-----------------|-----------------|-----------------|---------|---------------|
| Category Totals         | 0               | 0               | 1               | 0               | 0       | 1             |

## Totals

|   |   |
|---|---|
| Total proposed residential units            | 2 |
| Total existing residential units            | 1 |
| Total net gain or loss of residential units | 1 |

## All Types of Development: Non-Residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?  
 Note that 'non-residential' in this context covers all uses except Use Class C3 Dwellinghouses.

- Yes  
 No

## Employment

Are there any existing employees on the site or will the proposed development increase or decrease the number of employees?

- Yes  
 No

## Hours of Opening

Are Hours of Opening relevant to this proposal?

- Yes  
 No

## Industrial or Commercial Processes and Machinery

Does this proposal involve the carrying out of industrial or commercial activities and processes?

- Yes  
 No

Is the proposal for a waste management development?

- Yes  
 No

## Hazardous Substances

Does the proposal involve the use or storage of Hazardous Substances?

- Yes  
 No

## Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes  
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent  
 The applicant  
 Other person

## Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes  
 No

## Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff  
(b) an elected member  
(c) related to a member of staff  
(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes  
 No

## Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes  
 No

Can you give appropriate notice to all the other owners/agricultural tenants? (Select 'Yes' if there are no other owners/agricultural tenants)

Yes

No

## Certificate Of Ownership - Certificate B

I certify/ The applicant certifies that:

- I have/The applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner\* and/or agricultural tenant\*\* of any part of the land or building to which this application relates; or
- The applicant is the sole owner of all the land or buildings to which this application relates and there are no other owners\* and/or agricultural tenants\*\*.

\* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

\*\* "agricultural tenant" has the meaning given in section 65(8) of the Town and Country Planning Act 1990

Owner/Agricultural Tenant

**Name of Owner/Agricultural Tenant:**

\*\*\*\*\* REDACTED \*\*\*\*\*

**House name:**

Shire Hall

**Number:**

**Suffix:**

**Address line 1:**

Westgate Street

**Address Line 2:**

**Town/City:**

Gloucester

**Postcode:**

GL1 2TG

**Date notice served (DD/MM/YYYY):**

09/06/2022

**Person Family Name:**

Person Role

The Applicant

The Agent

Title

Mr

First Name

David

Surname

Brockhurst

Declaration Date

09/06/2022

Declaration made

## Declaration

I / We hereby apply for Full planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

David Brockhurst

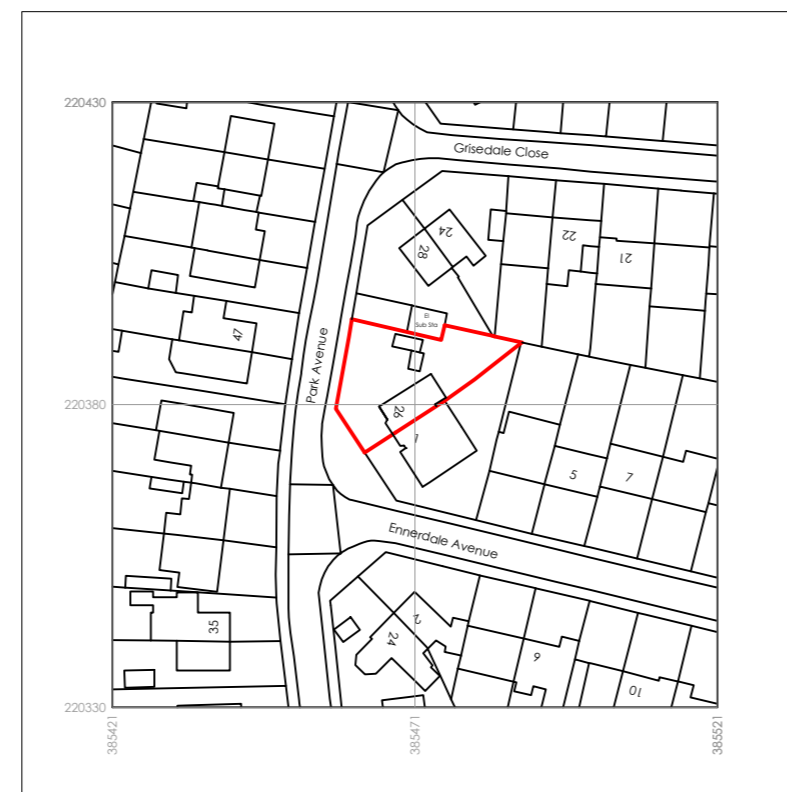
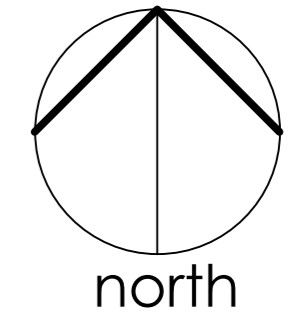
Date

09/06/2022

Notes :  
Due to paper instability, precision scale rule measuring of this drawing is not advised. Please use printed dimensions or consult this drawing office.

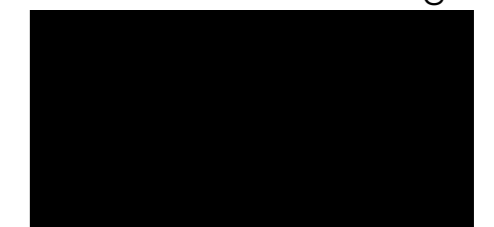
Check all dimensions on site  
Planning and Building Control applications are required.

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Revision

**BROCKHURST ASSOCIATES**  
Architects and Designers



[www.brockhurstassociates.co.uk](http://www.brockhurstassociates.co.uk)

26 Park Avenue, Longlevens, GL2 0EA

Location Plan

Client **P Zoguel**

Scale 1 : 1250 @ A2

Date May 2022 | Checked DB

Revision

PA 22 00

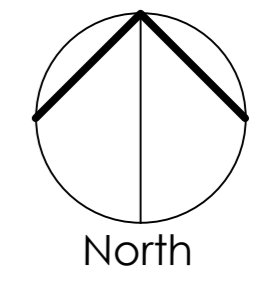




Notes :  
Due to paper instability, precision scale rule measuring of this drawing is not advised. Please use printed dimensions or consult this drawing office.

Check all dimensions on site  
Planning and Building Control applications are required.

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Existing



Proposed

Revision

**BROCKHURST ASSOCIATES**  
Architects and Designers



[www.brockhurstassociates.co.uk](http://www.brockhurstassociates.co.uk)

26 Park Avenue, Longlevens, GL2 0EA

Block Plans

Client P. Zegveldt

Scale 1 : 500 @ A2

Date May 2022 Checked DB

Revision

PA 22 01





**26 Park Avenue, Longlevens, Gloucester, GL2 0EA.**

**Proposed New Three Bedroom Dwelling;  
Blocking up Two Existing Windows;  
Form One new Window;  
Extend Existing Dropped Kerb Access;  
Build New Dropped Kerb Access;  
Remove Garage and Shed Outbuildings.**

## **Design and Access Statement**

1 June 2022

**Document No. PA 22 10**

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## Site Context



The site is located on the east side of Park Avenue, Longlevens, Gloucester.

This area is predominantly residential. The Site is roughly triangular in shape and contains the existing house, a detached garage and shed outbuilding, glasshouses and a garden shed.

The residential properties in the area are mainly two storey with rendered external walls or plainly detailed facing brick. Roof materials range from concrete interlocking tiles, plain tiles and slates. Windows are either painted / stained timber, metal or UPVC. Front boundaries are typically enclosed with low garden walls, fencing or hedges. There is limited scope for turning within the curtilages, although parking in the front garden areas are typical. There is a predominance of on - street car parking.

## The Site

**Site Area**      **354m<sup>2</sup> (red line plan area)**

The Site is located on the east side of Park Avenue. The house forms half of a semi detached building with its front facing near the junction of Park Avenue and Ennerdale Avenue.

26 Park Avenue is a semi detached 3 bed property with gardens to the front, side and rear. Access to the site is via a dropped kerb on Park Avenue onto a tarmac hardstanding. A pedestrian access is also provided to the south west.

Arranged over ground and first floors, the ground floor has a living room, kitchen, hall, dining room and rear conservatory. On first floor are three bedrooms and a bathroom.

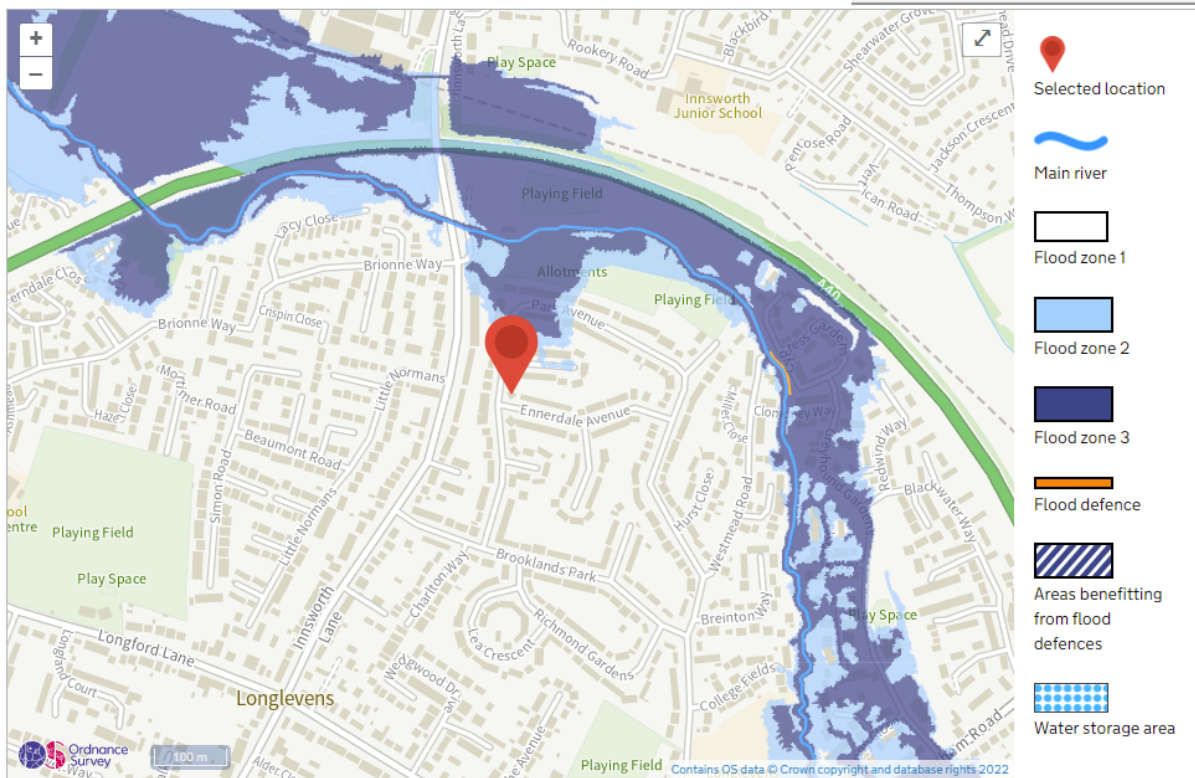


The site is mainly level with some slight fall in the rear garden towards the north east. The existing boundaries consist of a mix of close boarded fencing and brick garden walling. The ground surfaces consist of tarmac hardstanding, some paved walkways and gravel.

## Previous Applications

At the time of writing, the Gloucester City Council planning application history webpages are currently unavailable and it is not possible to view historic planning application details.

# Flood Risk Assessment



## 26 Park Avenue, Longlevens - Flood Zone 1.

Land and property in flood zone 1 have a low probability of flooding.

## **The Strategy for the Site**

The proposal is to remove garage and shed outbuildings, brick up the existing first floor gable windows of no. 26 (landing and bathroom), form a new bathroom window in the rear elevation and construct a new and separate two storey dwelling to the north west of no. 26, attaching the building to no. 26 at first floor level.

## **Access**

### **Vehicular Access, Car Parking and Accessibility**

The property is in an excellent location and within easy reach of Sir Tomas Rich's School (1.5km) which lies to the southeast of the site and Oxstalls Campus (1.2km) to the south.

The location benefits from good public transport links with bus stops 200m away on Innsworth Lane or 500m to Paygrove Lane, providing easy access into Gloucester city centre. Gloucester railway station is approximately 3km to the south. The roadway network servicing this area is also good with junctions to the M5 motorway within 4km of the property.

There is an existing dropped kerb access onto the site and a tarmac hardstanding for two vehicles. The existing detached garage building is only used for domestic storage. On site car parking (2no. spaces for each dwelling) is proposed. The existing dropped kerb access from Park Avenue will be extended to serve two new parking spaces in the front garden of the proposed dwelling. A new dropped kerb will be installed to allow access to the front garden area of no. 26 for two car spaces. Secure cycle storage provision (1.1 x 2.3m shed) is also available within the grounds of each rear garden.

### **Building and Pedestrian Access**

The existing front access for no. 26 Park Avenue will be retained although reconfigured to provide for a new pedestrian paved access from the Park Avenue pavement. Rear access is maintained to the rear conservatory via an alleyway between the new unit and the gable end on no. 26. A new pedestrian access from Park Avenue to the front door of the proposed unit is provided along with access to the rear garden area through a gate in the front fence. Ramped access to the front doors will comply with Part M. New patio doors will allow access to the rear garden and will also comply with Part M.

## **Design Concept, Scale and Appearance.**

The existing construction is two storey semi detached building with a hipped roof. The footprint is aligned to face the corner of the road junction.

It is proposed to build a new two storey building to accommodate a new dwelling. The front face of the building is set back from the main building, to allow for a roof set back and lower ridge than no. 26, although maintaining the eaves height. This approach is similar to the recent extension carried out on no.1 Ennerdale Avenue (part of the semidetached building to no. 26). The rear 'living room extension' roof is proposed at single storey.

The familiar and traditional external materials which make up the proposed house, further enhances the building's integration in the street scene.

The accommodation is provided over two floors and features an open plan living and dining room, cloakroom and a kitchen on the ground floor. From the entrance hall and upstairs to the first floor are three bedrooms (one with an en suite) and a family bathroom. A large store room is accessed from the landing.

The proposed building respects the neighbouring buildings with regard to height, mass and detail and maintains and enhances the character of the area.

### **In Summary**

- The design is sympathetic in scale, mass and form to its neighbours;
- The design respects the character and appearance of the area;
- The proposal does not unreasonably detract from the existing area and;
- The proposed development does not create safety issues on any highway.

### **Overshadowing**

Due to the orientation of the proposed building, there will be no overshadowing onto no. 26 and no overshadowing onto any adjacent habitable buildings.

### **Overlooking**

The *existing* building has a first floor window (habitable room) on the rear wall of no. 26 - where it is possible to overlook the rear gardens of no. 1 and no.3 Ennerdale Avenue, no. 21, 22, 23 and 24 Grisedale Close and 28 Park Avenue (min. separation distance 17m at an oblique angle). The front first floor windows overlook Park Avenue and the houses opposite (min. separation distance 25m).

The *proposed* building has one first floor window (habitable room) on the rear wall – and similarly to no. 26 - it may also be possible to overlook the adjacent rear gardens (min. separation distance 14m at an oblique angle). Similarly, one proposed first floor habitable window on the front elevation will overlook Park Avenue and the houses opposite (min. separation distance 20m). Cat4 obscure glazing will be fitted to bathrooms and sanitary rooms.

### **Materials**

External walls will be red brickwork to match existing. New pitched roofs will be grey interlocking tiles to match existing. A sun pipe roof window will bring additional daylight into the first floor landing of no. 26. Window frames and external doors will be white upvc to match existing. New concrete patio paving to the front, rear and side will be laid, infill tarmac laid to define the car parking spaces and gravel for other indicated areas.

### **Accommodation Schedule** (all areas indicated as gross area)

|   |                  |
|---|------------------|
| Existing Ground Floor                           | 55m <sup>2</sup> |
| Existing First Floor                            | 43m <sup>2</sup> |
| Proposed New Construction Ground Floor          | 53m <sup>2</sup> |
| Proposed New Construction First Floor           | 48m <sup>2</sup> |
| Proposed Rear and Side Amenity Space (New Unit) | 56m <sup>2</sup> |
| Proposed Front Amenity Space (New Unit)         | 78m <sup>2</sup> |
| Proposed Rear and Side Amenity Space (No. 26)   | 82m <sup>2</sup> |
| Proposed Front Amenity Space (No. 26)           | 37m <sup>2</sup> |

### **Foul Drainage**

A section of the existing foul drain will be removed (subject to Severn Trent approval) and new foul water drainage will be connected to the existing sewer located on the site.

### **Surface Water Drainage**

The surface water from the proposed building's roof will discharge to a new soakaway as indicated on the proposed site plan.

### **Waste Storage**

Waste will be placed in the on-site Sulo bins located as indicated on the proposed plans.



### **Cycle Storage**

Secure cycle storage provision (1.1 x 2.3m shed) is also available within the grounds of each rear garden.

### **Existing Landscape**

The site is mainly level with some slight fall in the rear garden towards the north east. The existing boundaries consist of a mix of close boarded fencing and brick garden walling. There are some shrub/hedging along the rear of the front boundary wall and random low shrub planting to the front and rear gardens. The ground surfaces consist of tarmac hardstanding, some paved walkways and gravel.

### **Proposed Landscape**

All existing side and rear boundaries will remain. New tarmac car parking area and new concrete paving is to be formed in the front garden along with a new 1.2m high separation boundary fence being installed. Gravel is to be laid to remaining areas in the front garden. A new 1.8m close boarded fence is to be installed to the side of the new unit and a new 1.8m close boarded fence to define the rear boundary to no. 26. The rear garden is to be laid to lawn and concrete paving as shown on the proposed site plan. The remaining garden layout for no. 26 is to remain. Two new trees (T1 and T2 – betula pendula) are to be planted in the front garden areas as indicated on the proposed site plan.

### **External lighting**

There will be a new downlighter wall lights located next to the rear patio doors and front porches.

### **Security and Surveillance**

Due to the proposed building's location on the site, natural surveillance from other properties is good. Entrance doors and windows will all be fitted with secure lock systems.

### **Energy Efficiency**

The walls, floor and roof construction of the proposed building will thermally perform better than current building regulations standards.

## **Utilities**

### **Electric**

The existing supply will be reconfigured for two new dwellings and be separately metered.

### **Water**

The existing supply will be reconfigured for two new dwellings and be separately metered.

### **Gas**

A new supply will be connected for two new dwellings and be separately metered.

**Photographs of the Existing Site**

Taken in March and May 2022



Front - towards no. 26 from Park Avenue.



Front - from road junction.



Front - towards no. 26 and no. 1 Ennerdale Avenue.



Side gable of no. 1.



Towards front garden on no. 26.



Side gable of no. 26 and sub station access.



Towards side gable of no. 26.



Side gable of no. 26.



Rear elevation of no. 26.

## Appendix A

### Locally Adopted Application Requirements

#### **Affordable Housing Statement**

'Required if the proposal includes an element of affordable housing, includes 15 residential units or more, involves residential development on a site of 0.5ha or more or if the proposal is required to provide affordable housing in accordance with policies contained within the Local Plan.'

**Not Applicable**

#### **Agricultural/Forestry Dwelling Justification**

'For any proposal involving an agricultural/forestry dwelling or the erection of an agricultural/forestry building in open countryside'.

**Not Applicable**

#### **Air Quality Assessment**

'Application proposals that impact upon air quality should be supported by an air quality assessment indicating the change in air quality resulting from the proposed development and outlining appropriate mitigation measures as necessary'.

**Not Applicable**

#### **Historic Environment Statement**

'Required where the application site falls within or partly within an Area of Principal Archaeological Interest or where major development proposal or significant infrastructure works, is likely to have an impact on archaeological remains'.

**Not Applicable**

#### **Conversion Assessment for the Change of use of Rural Buildings to Residential Use**

'For any proposal that involves the conversion of a building in open countryside as defined in the Local Plan'.

**Not Applicable**

#### **Daylight/Sunlight Assessment**

If the application is greater than single storey in height then a daylight/sunlight assessment is required to show the impact of the proposal on the gardens and internal rooms of neighbouring properties'.

**Due to the orientation of the proposed building, there will be no overshadowing onto no. 26 and no overshadowing onto any adjacent habitable buildings.**

#### **Environmental Impact Assessment**

'Required for any proposal that is 'Section 1 or 2' development as defined in the Town and Country Planning Regulations 1999'.

**Not Applicable**

#### **Evidence to Accompany Applications that may Impact on Town, District or Local Centres**

'Any application for a retail development sited outside a town centre, or any application that involves a net increase in retail floorspace of more than 1000m<sup>2</sup>. Any proposal involving the loss of an A1 retail unit within a District or Local Centre will require the submission of a supporting statement that justifies the loss of the unit in the light of Local Plan policy S.13.'

**Not Applicable**

#### **Flood Risk Assessment/Drainage Strategy**

'Required for any application located within a flood risk zone 2 or 3, for any development proposals of 1ha. Or greater in flood zone 1 and for any application site where drainage problems have been identified or mapped.'

**Flood Zone 1. Land and property in flood zone 1 have a low probability of flooding.**

### **Foul Sewerage Assessment**

'For any proposal involving the erection of a single dwelling or more and for the erection of any non-residential building.'

**Foul Drainage - A section of the existing foul drain will be removed (subject to Severn Trent approval) and new foul water drainage will be connected to the existing sewer located on the site.**

**Surface Water Drainage - The surface water from the proposed building's roof will discharge to a new soakaway as indicated on the proposed site plan.**

### **Impact Assessment**

'For all retail and leisure developments over 2500m<sup>2</sup> gross floorspace, and may be required for smaller developments such as those likely to have a significant impact on smaller centres. Impact assessments should also be provided for applications for other main town centre uses when they are in an edge of centre or out of centre location and not in accordance with a development plan.'

**Not Applicable**

### **Land Contamination Assessment**

'Where a proposal involves the redevelopment of land previously occupied by an industrial use or where contamination is known or suspected to be present, or if the proposed development is considered to be of high sensitivity.'

**Not Applicable**

### **Landscape Appraisal**

'For all new commercial and residential built development.'

**The site is mainly level with some slight fall in the rear garden towards the north east. The existing boundaries consist of a mix of close boarded fencing and brick garden walling. There are some shrub/hedging along the rear of the front boundary wall and random low shrub planting to the front and rear gardens. The ground surfaces consist of tarmac hardstanding, some paved walkways and gravel.**

### **Landscape Scheme**

'For all new commercial and residential built development. Where a phased development over several years is likely, a landscape framework or masterplan will also be required'

**All existing side and rear boundaries will remain. New tarmac car parking area and new concrete paving is to be formed in the front garden along with a new 1.2m high separation boundary fence being installed. Gravel is to be laid to remaining areas in the front garden. A new 1.8m close boarded fence is to be installed to the side of the new unit and a new 1.8m close boarded fence to define the rear boundary to no. 26. The rear garden is to be laid to lawn and concrete paving as shown on the proposed site plan. The remaining garden layout for no. 26 is to remain. Two new trees (T1 and T2 – betula pendula) are to be planted in the front garden areas as indicated on the proposed site plan.**

### **Lighting Assessment**

'For all applications involving the erection of floodlights or similar.'

**Not Applicable**

### **Listed Building Appraisal and Drawings**

'It is essential that the Council be provided with detailed information that allows for the proper assessment of any proposed additions or alterations'.

**Not Applicable**

### **Biodiversity and Geodiversity**

'The planning authority has a duty to consider the conservation of biodiversity and Geodiversity when determining a planning application, this includes: Designated sites, Protected Species, Priority Habitats, Biodiversity Action Plan species and habitats. Where a proposed development is likely to affect such a site, habitat species or geological feature, the applicant must submit an Ecological/Geological Survey and Assessment'.

**Not Applicable**

### **Noise Impact Assessment**

'For any application for residential development that is close to an existing commercial or industrial use or adjoining a trunk road and for any application for commercial/industrial development that is close to an existing residential use.'

**Not Applicable**

### **Open Space Assessment**

'For development within open spaces, application proposals should be accompanied by plans showing any areas of existing or proposed open space within or adjoining the application site'.

**Not Applicable**

### **Other Plans**

'These include additional plans or drawings and may include the following:  
Street scenes and detailed drawings of key architectural details'.

**Not Applicable**

### **Parking and Access Arrangements**

'For all applications.'

**Vehicular Access, Car Parking and Accessibility - There is an existing dropped kerb access onto the site and a tarmac hardstanding for two vehicles. The existing detached garage building is only used for domestic storage. On site car parking (2no. spaces for each dwelling) is proposed. The existing dropped kerb access from Park Avenue will be extended to serve two new parking spaces in the front garden of the proposed dwelling. A new dropped kerb will be installed to allow access to the front garden area of no. 26 for two car spaces. Secure cycle storage provision (1.1 x 2.3m shed) is also available within the grounds of each rear garden.**  
**Building and Pedestrian Access - The existing front access for no. 26 Park Avenue will be retained although reconfigured to provide for a new pedestrian paved access from the Park Avenue pavement. Rear access is maintained to the rear conservatory via an alleyway between the new unit and the gable end on no. 26. A new pedestrian access from Park Avenue to the front door of the proposed unit is provided along with access to the rear garden area through a gate in the front fence. Ramped access to the front doors will comply with Part M. New patio doors will allow access to the rear garden and will also comply with Part M.**

### **Photographs and Photomontages**

'Photographs should be provided if the proposal involves the demolition of an existing building or development affecting a conservation area or a listed building'.

**Not Applicable**

### **Planning Obligations – Draft Heads of Terms**

'For any proposal that requires the completion of a legal agreement or where one is being offered.'

**Not Applicable**

### **Planning Statement**

Information should include how the proposed development accords with policies in the Local Plan, the Gloucestershire Structure Plan, Regional Planning Guidance, development briefs, Supplementary Planning Guidance or Advice Notes.

**As included within this document.**

### **Statement of Community Involvement**

'For any proposal involving more than 50 houses or a building with a floor area of more than 3000m<sup>2</sup>.'

**Not Applicable**

### **Structural Survey/Method Statement**

'Where a proposal involves the conversion of a building in open countryside as defined in the Local Plan.'

**Not Applicable**

### **Energy Statement**

'An energy statement is required for all developments considered to be major as defined in the General Development Procedure Order (1995) Section 8(7).'

**Not Applicable**

### **Transport Assessment**

'A transport assessment will be required if the proposal falls within any of the categories in Annex2 of the Department for Transport publication' Guidance on Transport Assessment (2007).'

**Not Applicable**

### **Travel Plan**

'A travel plan will be required if the proposal falls within any of the categories in Annex2 of the Department for Transport publication' Guidance on Transport Assessment (2007).'

**Not Applicable**

### **Tree Survey/Arboricultural Implications**

'This should be provided for all applications that involve development within two metres of the canopy spread of any tree, and should indicate the position and spread of the tree on the application plans.'

**Not Applicable**

### **Utilities Statement**

'For any proposal involving the erection of a single residential unit or more and for the erection of any non-residential building.'

**Electric - The existing supply will be reconfigured for two new dwellings and be separately metered.**

**Water - The existing supply will be reconfigured for two new dwellings and be separately metered.**

**Gas - A new supply will be connected for two new dwellings and be separately metered.**

### **Ventilation/Extraction Statement**

'Required for all applications for restaurants, hot food takeaways and other premises that will be selling/ serving hot food. Also required for the erection of, or change of use to non-residential premises.'

**Not Applicable**

### **Waste Minimisation Statement**

Required for any proposal for either 10 or more dwellings (or residential site larger than 0.5ha), or for any other type of development where the floorspace exceeds 1000m<sup>2</sup> or the site area is 1ha. or more.'

**Not Applicable**

### **Any other plan/s, information or statement/s as may be reasonably required**

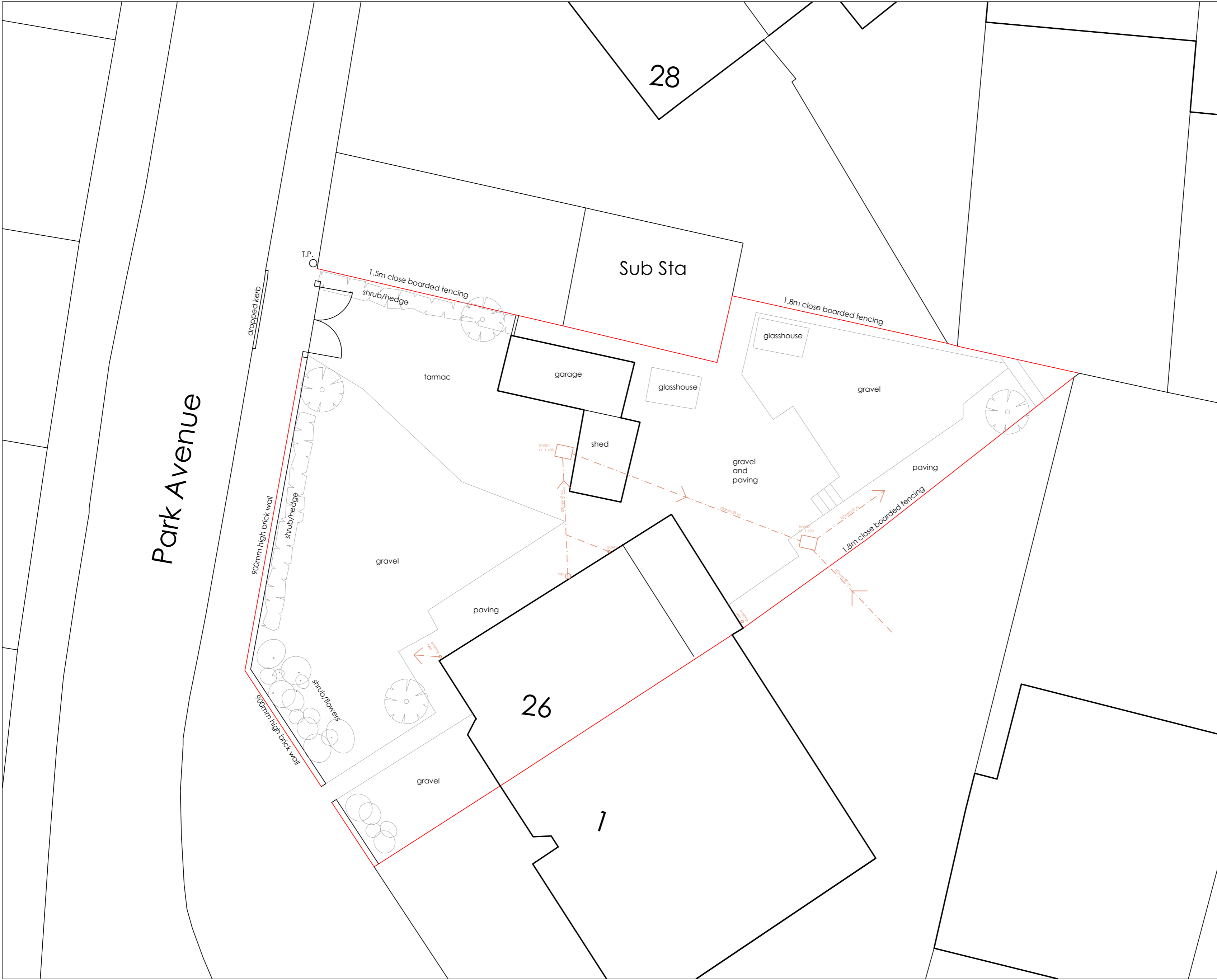
'Subject to there being a substantive reason or substantive reasons and depending on particular circumstances, the Authority may request, in writing, further details which may not be specified above'.

**Not Applicable**

### **Telecommunications Supporting Statement**

'Is required for any proposal involving the erection of a telecommunications mast or antennae.'

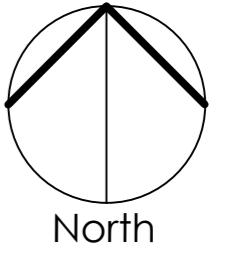
**Not Applicable**



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26 Park Avenue, Longlevens, GL2 0EA

Existing Site Plan

Client: [Redacted]

Scale 1 : 200 @ A2

Date May 2022 Checked DB

Revision

PA 22 02

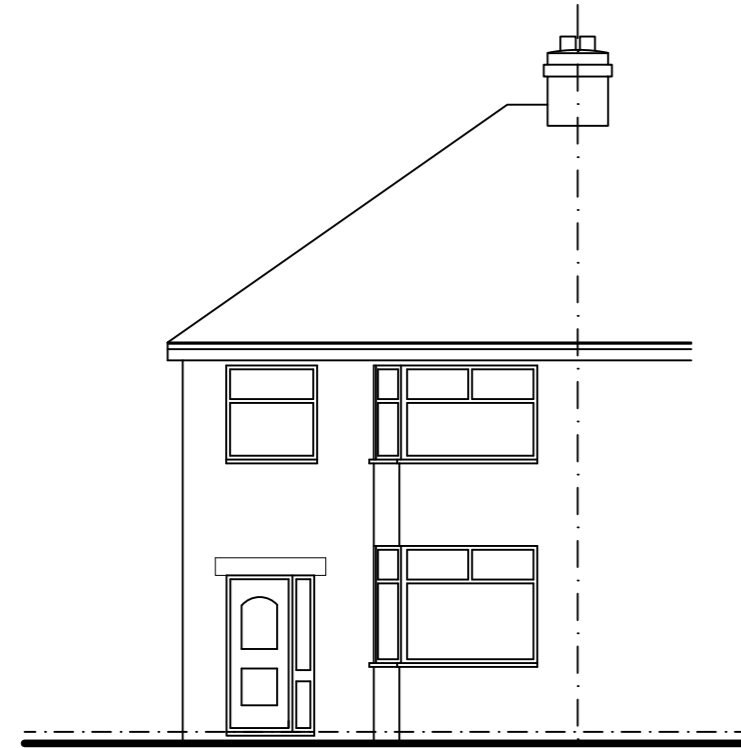
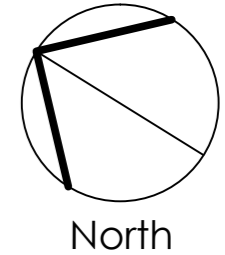




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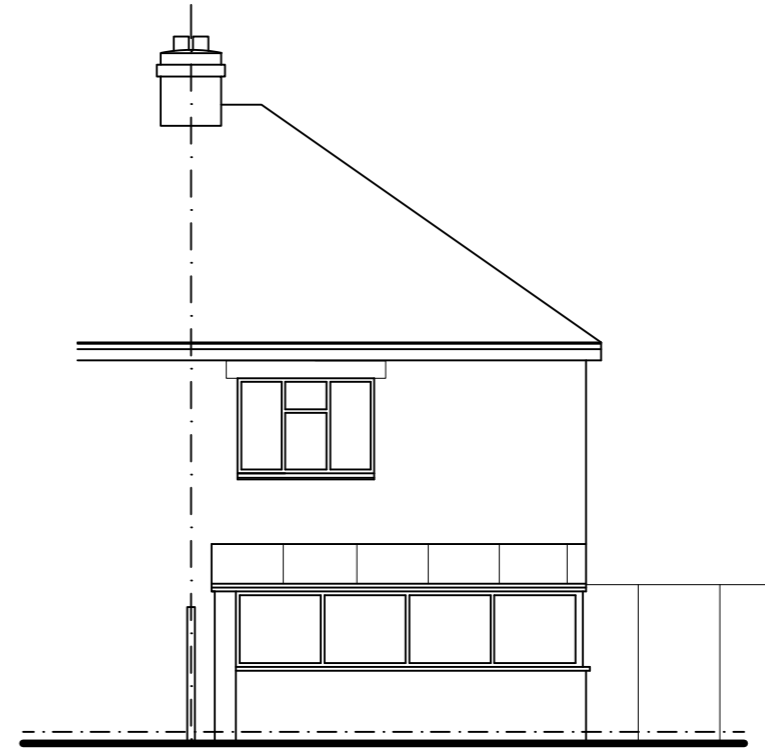
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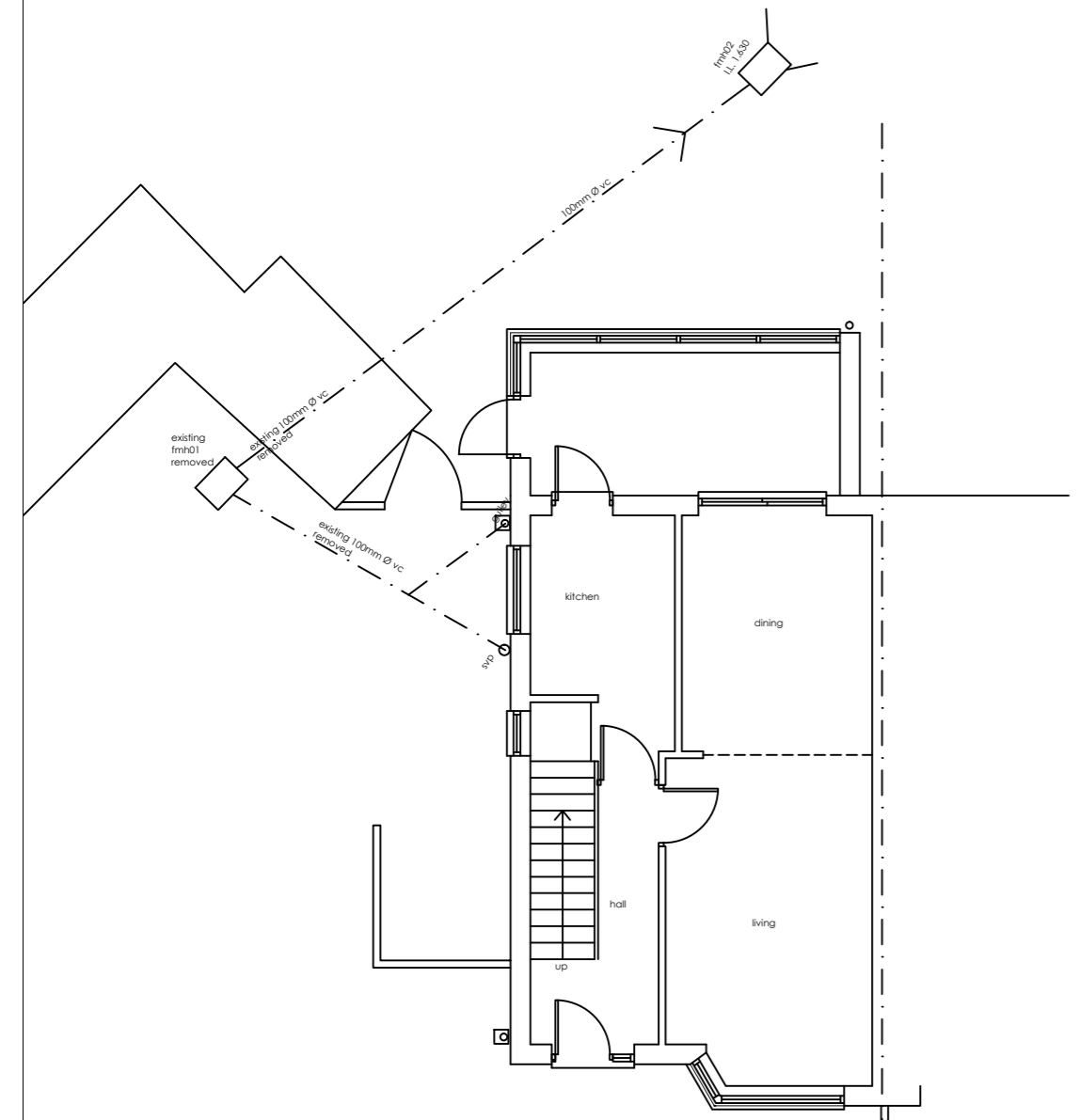
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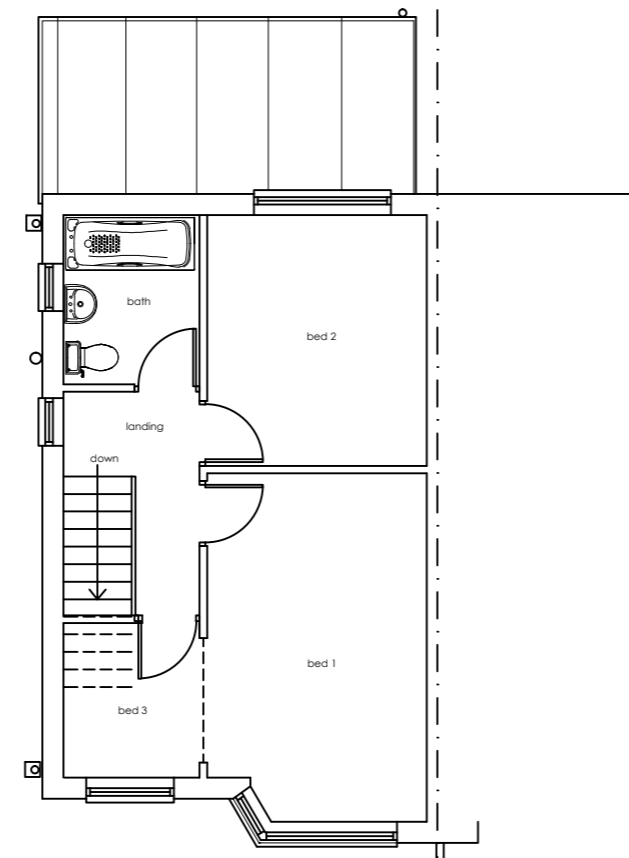
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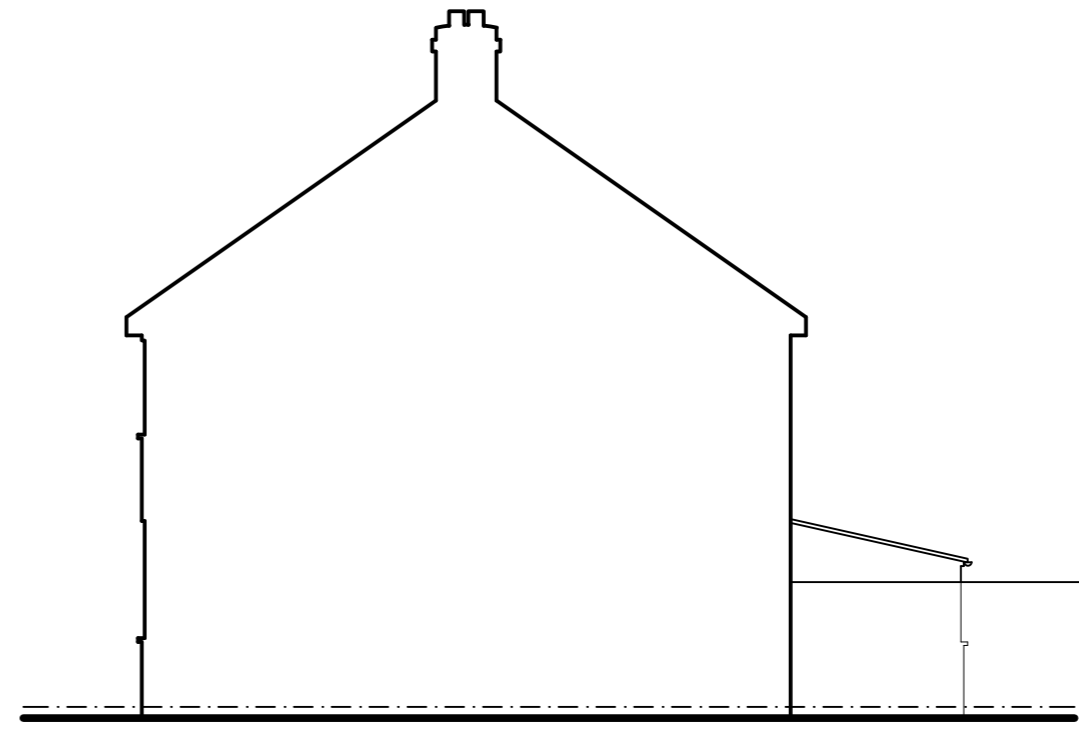
Existing North East Elevation



Existing Ground Floor Plan  
 0 1 2 3 4 5 metres



Existing First Floor Plan



Existing South East Elevation

Revision

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26 Park Avenue, Longlevens, GL2 0EA

Existing Plans and Elevations

Client [REDACTED]

Scale 1 : 100 @ A2

Date May 2022

Checked DB

Revision

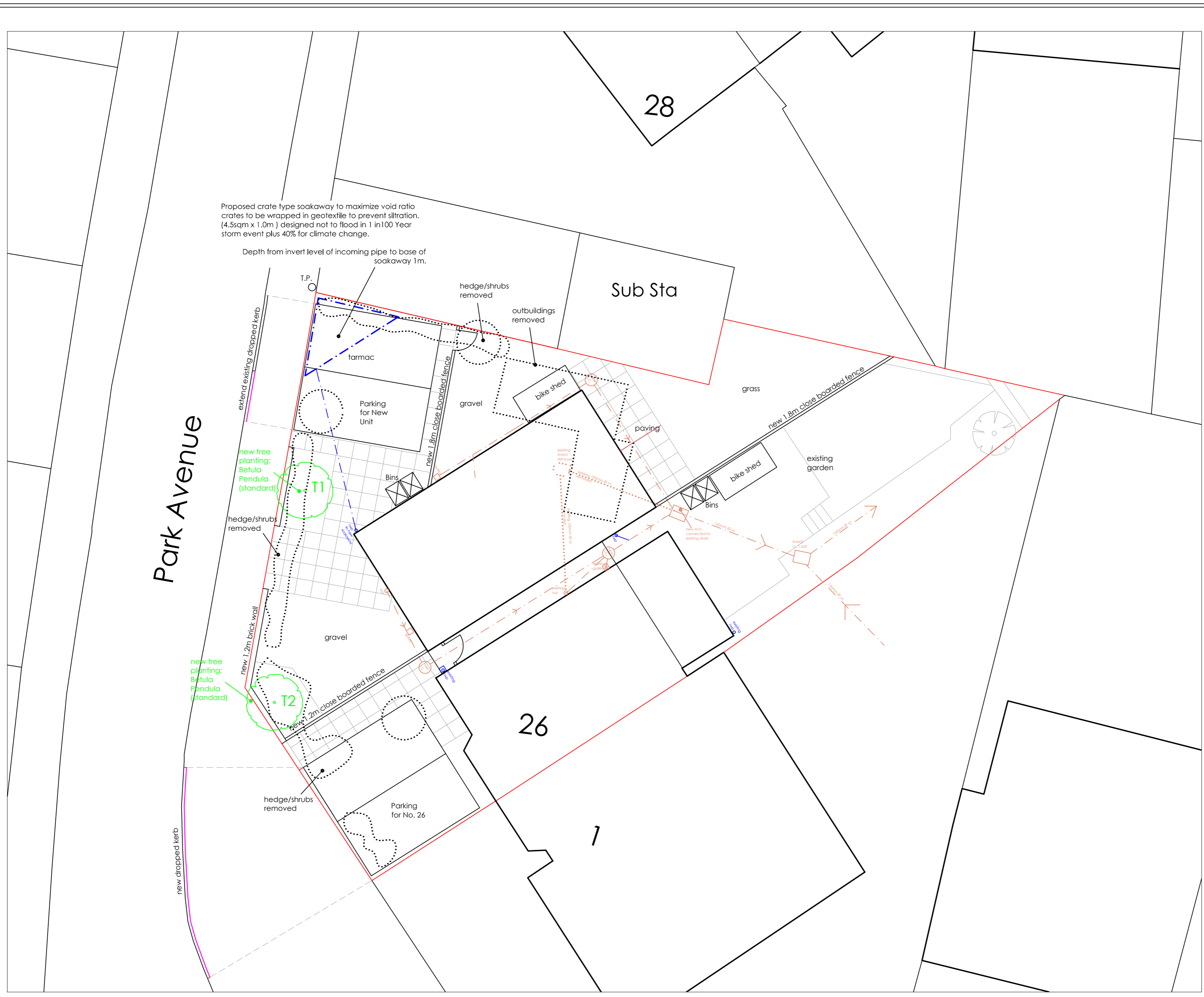
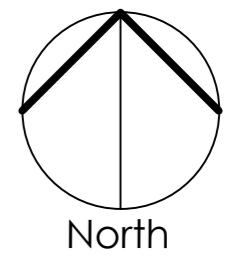
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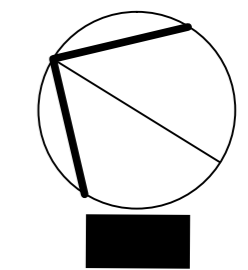
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| 26 Park Avenue, Longlevens, GL2 0EA |            |
| Proposed Site Plan                  |            |
| Client                              | [Redacted] |
| Scale 1 : 200 @ A2                  |            |
| Date May 2022                       | Checked DB |
| Revision                            | PA 22 04   |



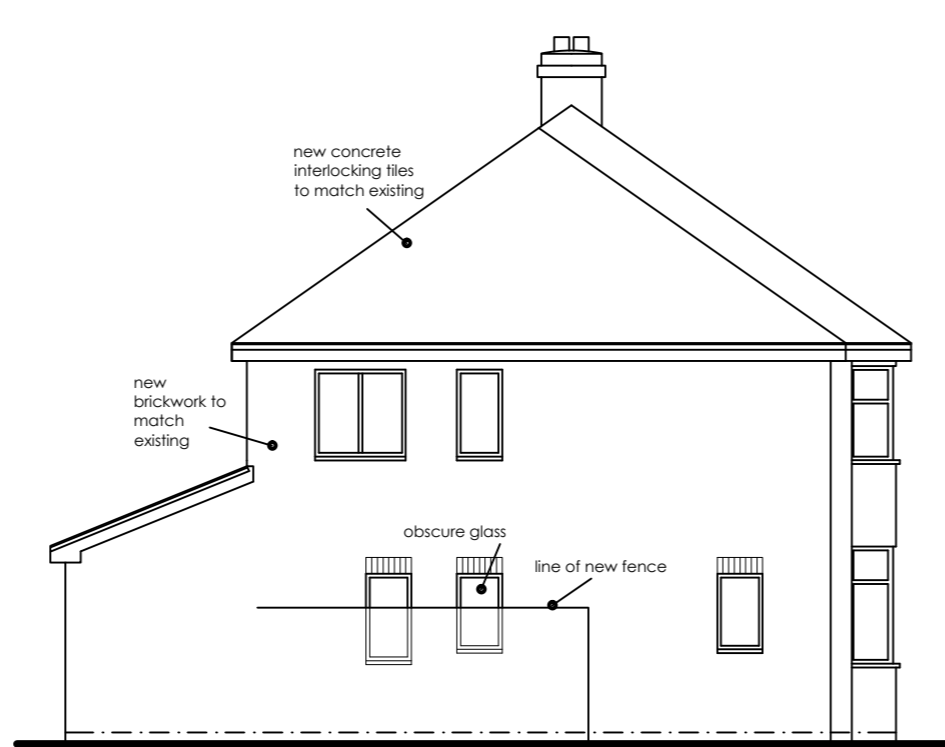
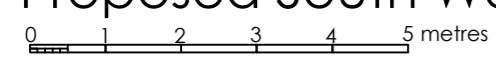
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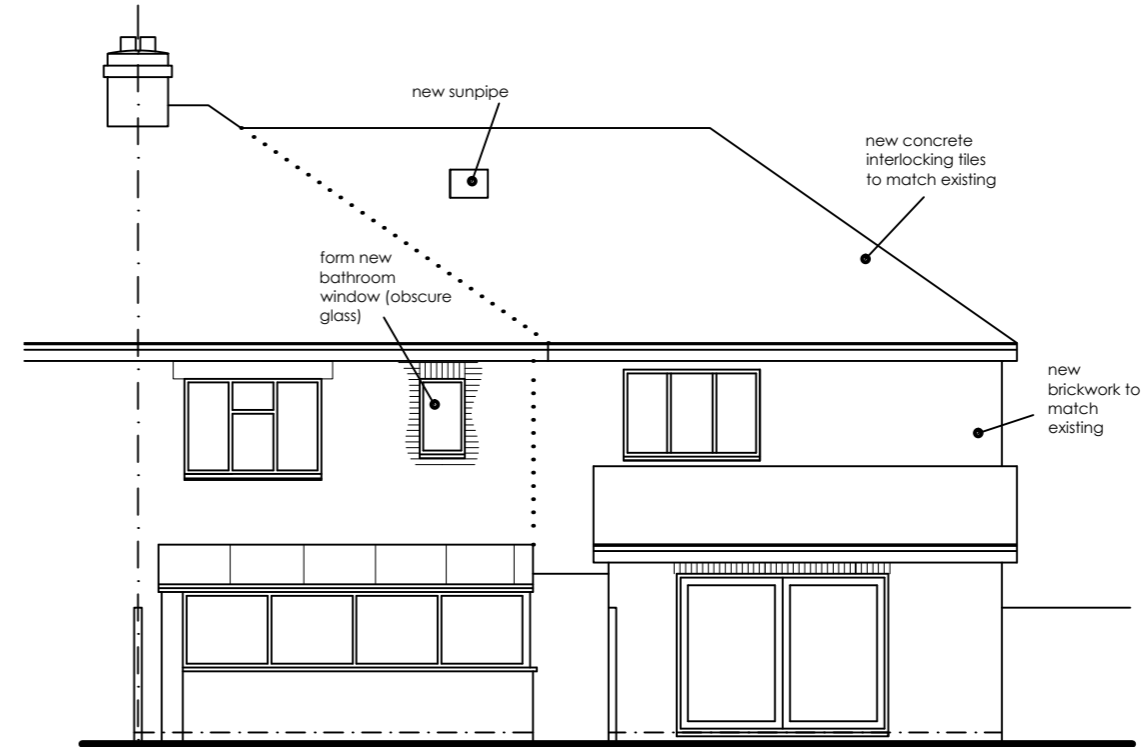
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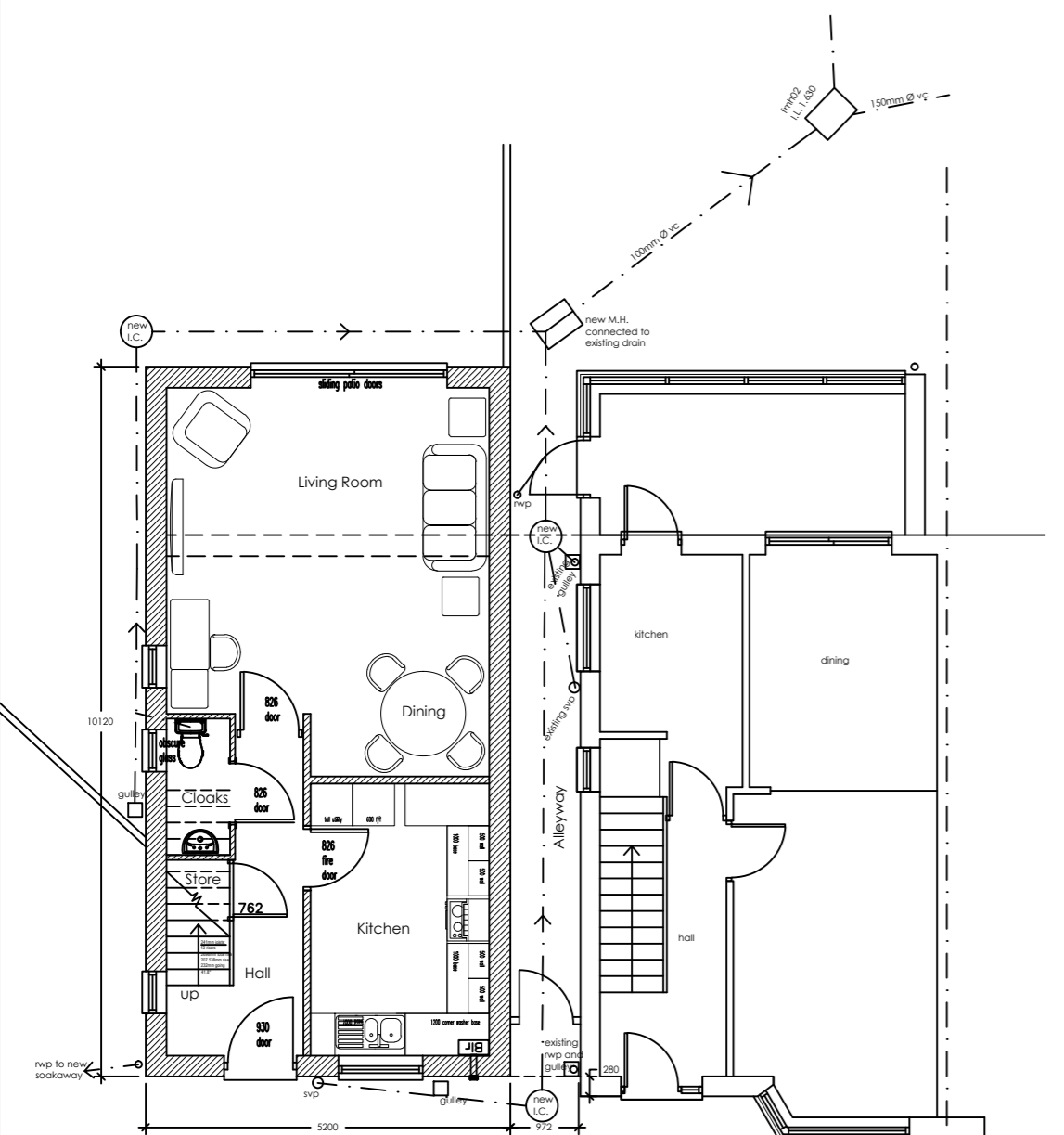
Proposed South West Elevation



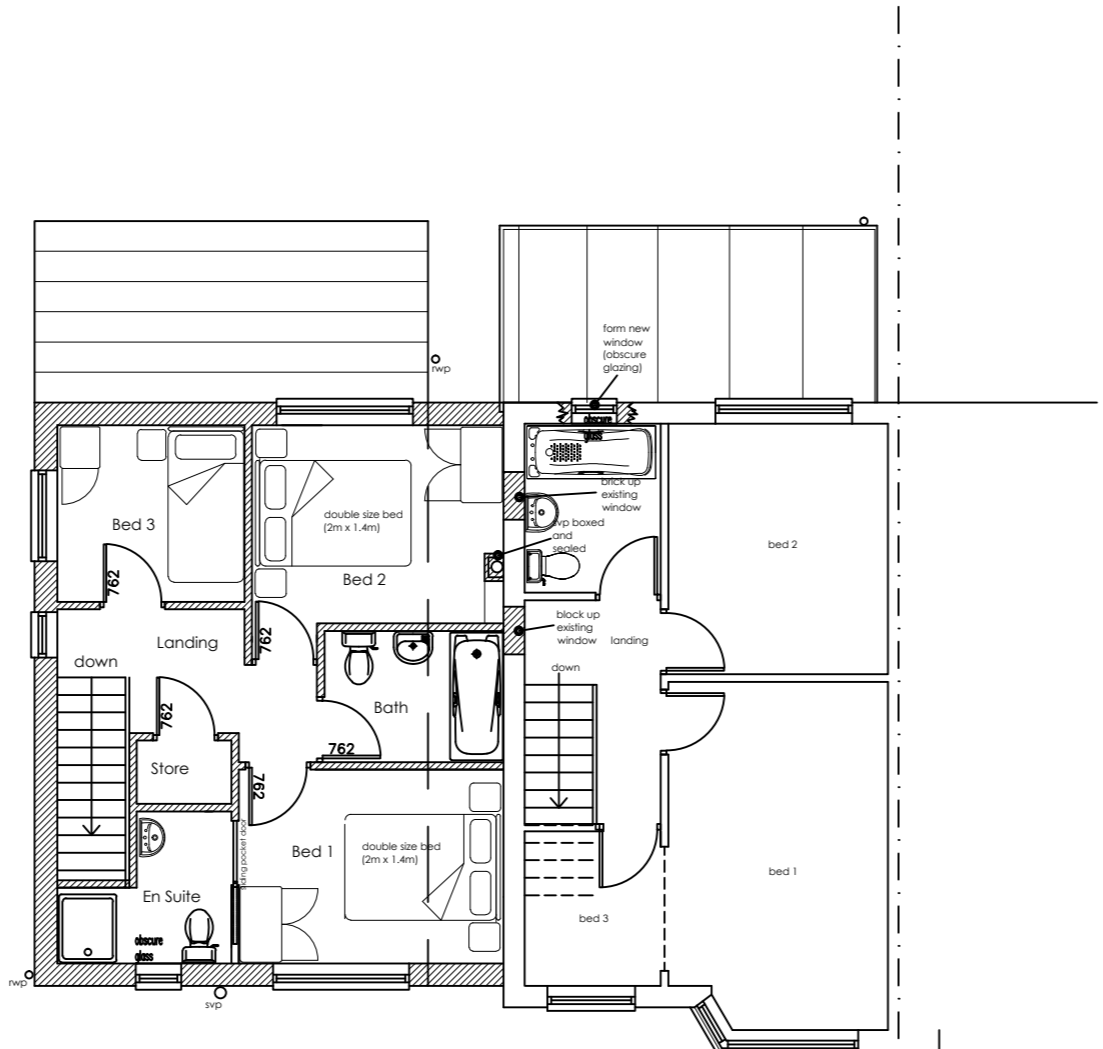
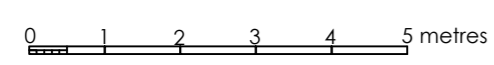
Proposed North West Elevation



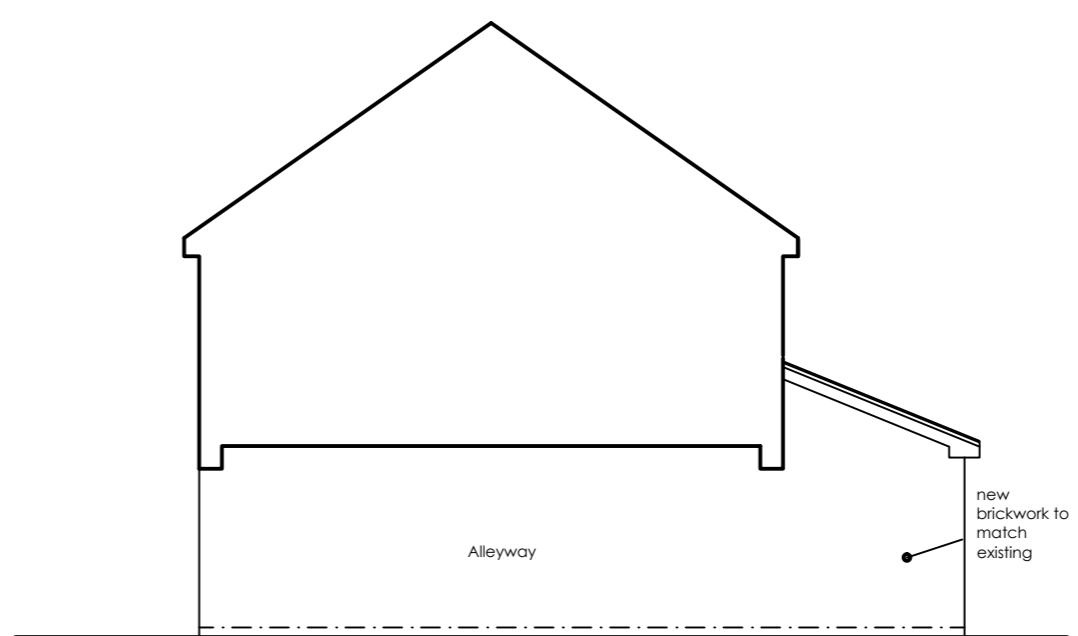
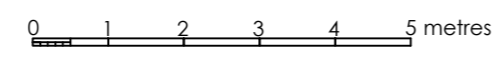
Existing North East Elevation



Proposed Ground Floor Plan



Proposed First Floor Plan



Proposed South East Elevation

Revision

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26 Park Avenue, Longlevens, GL2 0EA

Proposed Plans and Elevations

Client [REDACTED]

Scale 1 : 100 @ A2

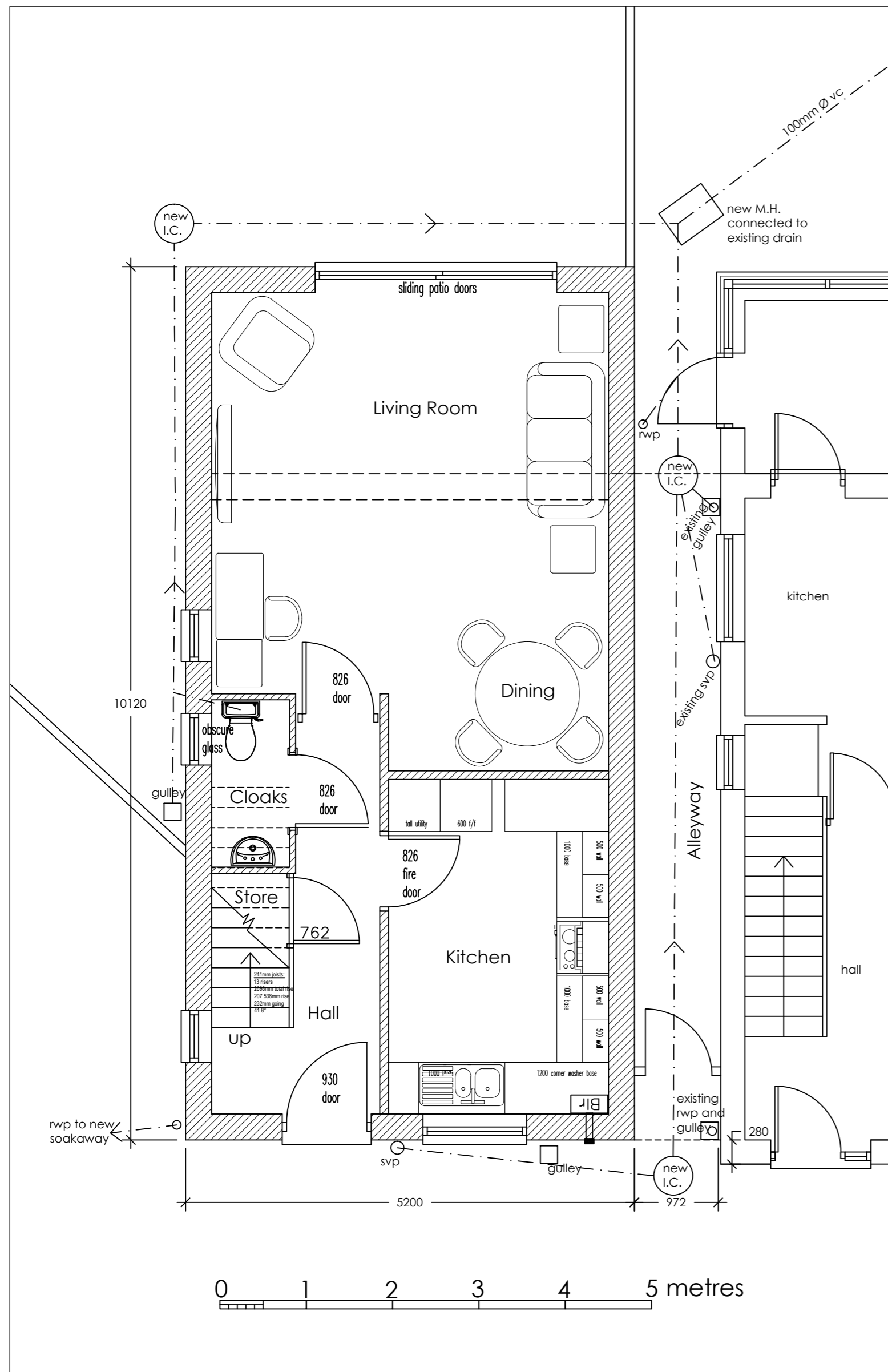
Date May 2022

Checked DB

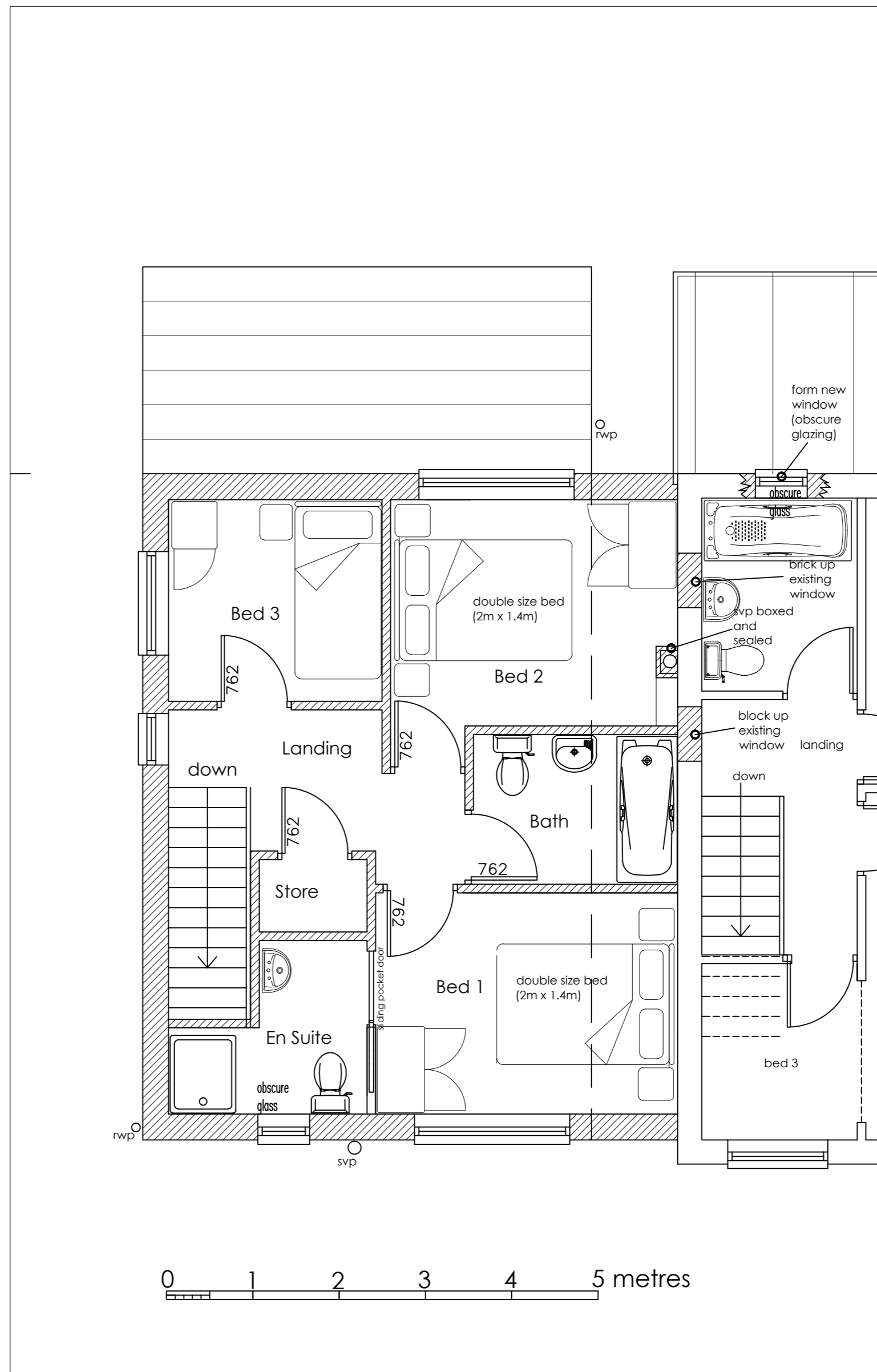
Revision

PA 22 05





Proposed Ground Floor Plan

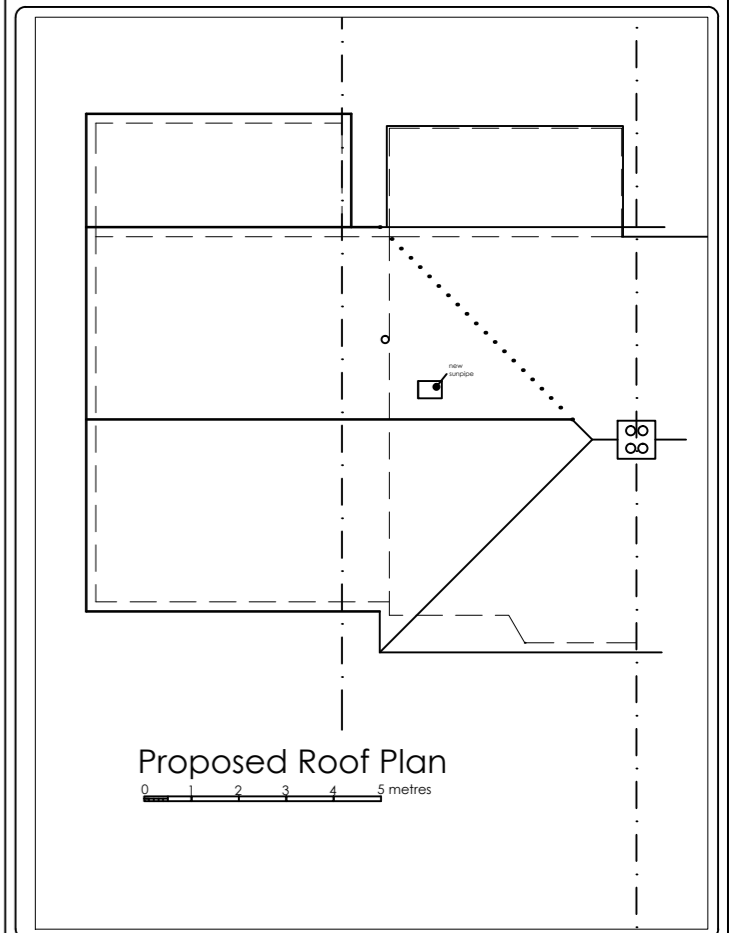


Proposed First Floor Plan

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26 Park Avenue, Longlevens, GL2 0EA

Proposed Ground, First and Roof Plans

Client

Scale 1 : 50 @ A2 - (roof plan not to scale)

Date May 2022 Checked DB

Revision

PA 22 06