

Application for Planning Permission

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x) Northing (y)

Description

Applicant Details

Name/Company

Title

Mr

First name

Andre

Surname

Fortune

Company Name

Marstons

Address

Address line 1

Marstons House

Address line 2

Brewery Road

Address line 3

Town/City

Wolverhampton

Country

United Kingdom

Postcode

WV1 4JT

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

***** REDACTED *****

Secondary number

Fax number

Email address

Agent Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Contact Details

Primary number

Secondary number

Fax number

Email address

Site Area

What is the measurement of the site area? (numeric characters only).

Unit

Description of the Proposal

Please note in regard to:

- **Fire Statements** - From 1 August 2021, planning applications for buildings of over 18 metres (or 7 stories) tall containing more than one dwelling will require a 'Fire Statement' for the application to be considered valid. There are some exemptions. [View government planning guidance on fire statements](#) or [access the fire statement template and guidance](#).
- **Permission In Principle** - If you are applying for Technical Details Consent on a site that has been granted Permission In Principle, please include the relevant details in the description below.
- **Public Service Infrastructure** - From 1 August 2021, applications for certain public service infrastructure developments will be eligible for faster determination timeframes. See help for further details or [view government planning guidance on determination periods](#).

Description

Please describe details of the proposed development or works including any change of use

Has the work or change of use already started?

Yes

No

Existing Use

Please describe the current use of the site

Is the site currently vacant?

Yes

No

Does the proposal involve any of the following? If Yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated

- Yes
 No

Land where contamination is suspected for all or part of the site

- Yes
 No

A proposed use that would be particularly vulnerable to the presence of contamination

- Yes
 No

Materials

Does the proposed development require any materials to be used externally?

- Yes
 No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

Type:

Boundary treatments (e.g. fences, walls)

Existing materials and finishes:

Wooden Picket Fence & Arbour

Proposed materials and finishes:

Paint

Type:

Other

Other (please specify):

Flooring

Existing materials and finishes:

Artificial Grass

Proposed materials and finishes:

Green

Are you supplying additional information on submitted plans, drawings or a design and access statement?

- Yes
 No

If Yes, please state references for the plans, drawings and/or design and access statement

102 Avenue Proposed Block Plan

103 Avenue Picket Fence Elevation

104 Avenue Furniture Elevation

Avenue Design & Access Statement

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicular access proposed to or from the public highway?

- Yes
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes
 No

Are there any new public roads to be provided within the site?

- Yes
 No

Are there any new public rights of way to be provided within or adjacent to the site?

- Yes
 No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

- Yes
 No

Vehicle Parking

Does the site have any existing vehicle/cycle parking spaces or will the proposed development add/remove any parking spaces?

- Yes
 No

Please provide information on the existing and proposed number of on-site parking spaces

Vehicle Type:

Disability spaces

Existing number of spaces:

2

Total proposed (including spaces retained):

2

Difference in spaces:

0

Vehicle Type:

Cars

Existing number of spaces:

30

Total proposed (including spaces retained):

23

Difference in spaces:

-7

Trees and Hedges

Are there trees or hedges on the proposed development site?

Yes

No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

Yes

No

If Yes to either or both of the above, you may need to provide a full tree survey, at the discretion of the local planning authority. If a tree survey is required, this and the accompanying plan should be submitted alongside the application. The local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

Assessment of Flood Risk

Is the site within an area at risk of flooding? (Check the location on the Government's [Flood map for planning](#). You should also refer to national [standing advice](#) and your local planning authority requirements for information as necessary.)

Yes

No

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

Yes

No

Will the proposal increase the flood risk elsewhere?

Yes

No

How will surface water be disposed of?

Sustainable drainage system

Existing water course

Soakaway

Main sewer

Pond/lake

Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

To assist in answering this question correctly, please refer to the help text which provides guidance on determining if any important biodiversity or geological conservation features may be present or nearby; and whether they are likely to be affected by the proposals.

a) Protected and priority species

Yes, on the development site

Yes, on land adjacent to or near the proposed development

No

b) Designated sites, important habitats or other biodiversity features

- Yes, on the development site
- Yes, on land adjacent to or near the proposed development
- No

c) Features of geological conservation importance

- Yes, on the development site
- Yes, on land adjacent to or near the proposed development
- No

Supporting information requirements

Where a development proposal is likely to affect features of biodiversity or geological conservation interest, you will need to submit, with the application, sufficient information and assessments to allow the local planning authority to determine the proposal.

Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the local planning authority has been submitted.

Your local planning authority will be able to advise on the content of any assessments that may be required.

Foul Sewage

Please state how foul sewage is to be disposed of:

- Mains sewer
- Septic tank
- Package treatment plant
- Cess pit
- Other
- Unknown

Are you proposing to connect to the existing drainage system?

- Yes
- No
- Unknown

Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

- Yes
- No

Have arrangements been made for the separate storage and collection of recyclable waste?

- Yes
- No

Trade Effluent

Does the proposal involve the need to dispose of trade effluents or trade waste?

- Yes
- No

Residential/Dwelling Units

Does your proposal include the gain, loss or change of use of residential units?

- Yes
- No

All Types of Development: Non-Residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?
Note that 'non-residential' in this context covers all uses except Use Class C3 Dwellinghouses.

- Yes
- No

Employment

Are there any existing employees on the site or will the proposed development increase or decrease the number of employees?

- Yes
- No

Hours of Opening

Are Hours of Opening relevant to this proposal?

- Yes
- No

Industrial or Commercial Processes and Machinery

Does this proposal involve the carrying out of industrial or commercial activities and processes?

- Yes
- No

Is the proposal for a waste management development?

- Yes
- No

Hazardous Substances

Does the proposal involve the use or storage of Hazardous Substances?

- Yes
- No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes
- No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
 The applicant
 Other person

If Other has been selected, please provide contact details:

Title

***** REDACTED *****

First name

***** REDACTED *****

Surname

***** REDACTED *****

Phone Number

***** REDACTED *****

Email

***** REDACTED *****

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes
 No

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
(b) an elected member
(c) related to a member of staff
(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes
 No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes
 No

Is any of the land to which the application relates part of an Agricultural Holding?

- Yes
 No

Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

- The Applicant
 The Agent

Title

Mr

First Name

Andre

Surname

Fortune

Declaration Date

09/03/2022

Declaration made

Declaration

I / We hereby apply for Full planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

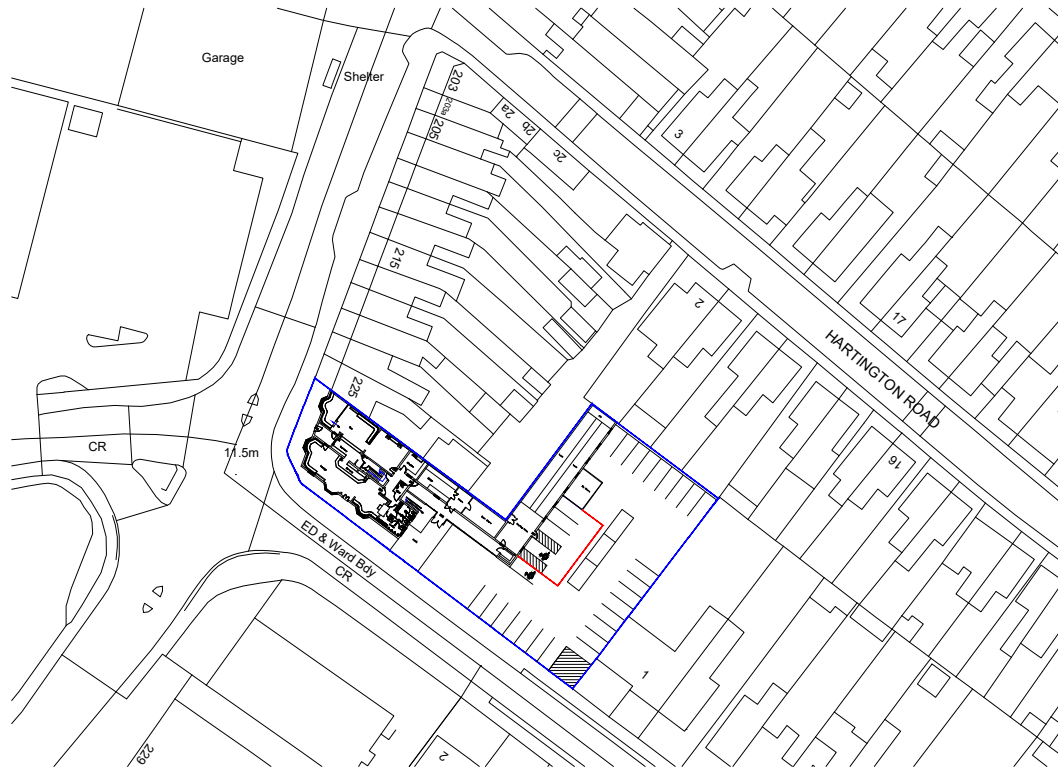
Signed

Andre Fortune


Date

09/03/2022

Contractors responsibility to check all site dimensions & levels prior to commencing works.
 Contractor to comply in all respects with current building regulations & guidelines whether specified on this drawing or not.
 The drawing must be read & checked against any other specialist drawings provided by the company or by consultants.
 This drawing and the works depicted are the copyright of the company & may not be replicated without written permission.



Ordnance Survey, (c) Crown Copyright 2022. All rights reserved. Licence number 100022432

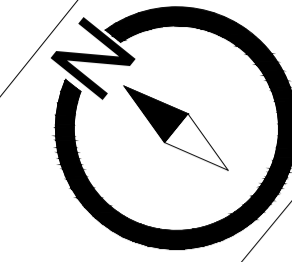
REV	DETAILS	BY
 MARSTON'S		
PROJECT Avenue 227 Bristol Rd, Gloucester, GL1 5TH		
TITLE Location Plan		
SCALE 1:1250 @ A4		DATE APR 2022
DRAWN BY AF	CHECKED BY -	DRAWING No. 12/04/9661/400/LP
MARSTON'S PLC, MARSTON'S HOUSE, BREWERY ROAD, WOLVERHAMPTON, WV1 4JT. Tel: 01902 711811		

Contractors responsibility to check all site dimensions & levels prior to commencing works.
Contractor to comply in all respects with current building regulations & guidelines whether specified on this drawing or not.
The drawing must be read & checked against any other specialist drawings provided by the company or by consultants.
This drawing and the works depicted are the copyright of the company & may not be replicated without written permission.



REV	DETAILS	BY
PROJECT Avenue 227 Bristol Rd, Gloucester, GL1 5TH		
TITLE Existing Block Plan		
SCALE 1:500 @ A3		DATE MARCH 2022
DRAWN BY AF	CHECKED BY -	DRAWING No. 07/03/9661/400
MARSTON'S PLC, MARSTON'S HOUSE, BREWERY ROAD, WOLVERHAMPTON, WV1 4JT.		

Contractors responsibility to check all site dimensions & levels prior to commencing works.
 Contractor to comply in all respects with current building regulations & guidelines whether specified
 on this drawing or not.
 The drawing must be read & checked against any other specialist drawings provided by the company
 or by consultants.
 This drawing and the works depicted are the copyright of the company & may not be replicated
 without written permission.



KEY

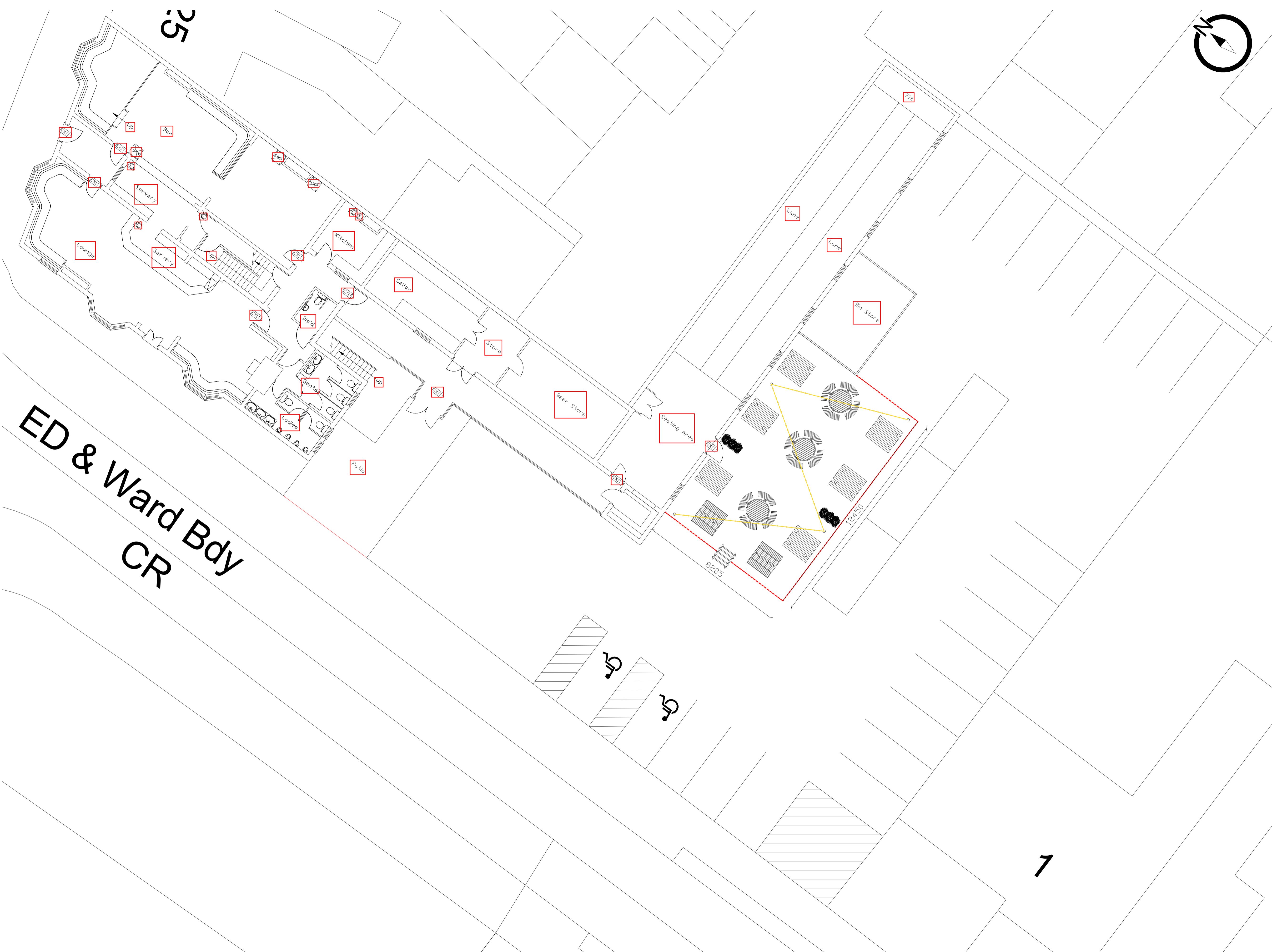
PICKET FENCE



FESTOON LIGHTING







- CREATE EXTERNAL DRINKING/DINING AREA TO CAR PARK OUTSIDE FUNCTION ROOM
- PICKET FENCE TO BOUNDARY AND ARBOUR TO ENTRANCE
- LAY ASTRO TURF TO NEW AREA
- INSTALL FESTOON TO NEW AREA OF GARDEN
- 2 POSEUR HEIGHT 8 SEATER TABLES
- 2 1200mm PLANTERS TO NEW GARDEN AREA
- RELOCATE 2 ACCESSIBLE PARKING BAYS
- REMOVE PERSPEX FROM EXISTING SMOKING SHELTER AND INFILL 3NO SIDES AND RETURN TO DADO HEIGHT
- DECORATE RAILINGS, FENCING AND SMOKING SHELTER
- 1 WALL MOUNTED CORREX FRAME TO MAIN BUILDING
- NEW PARASOLS (BASES ALREADY ON SITE)
- NEW BIN

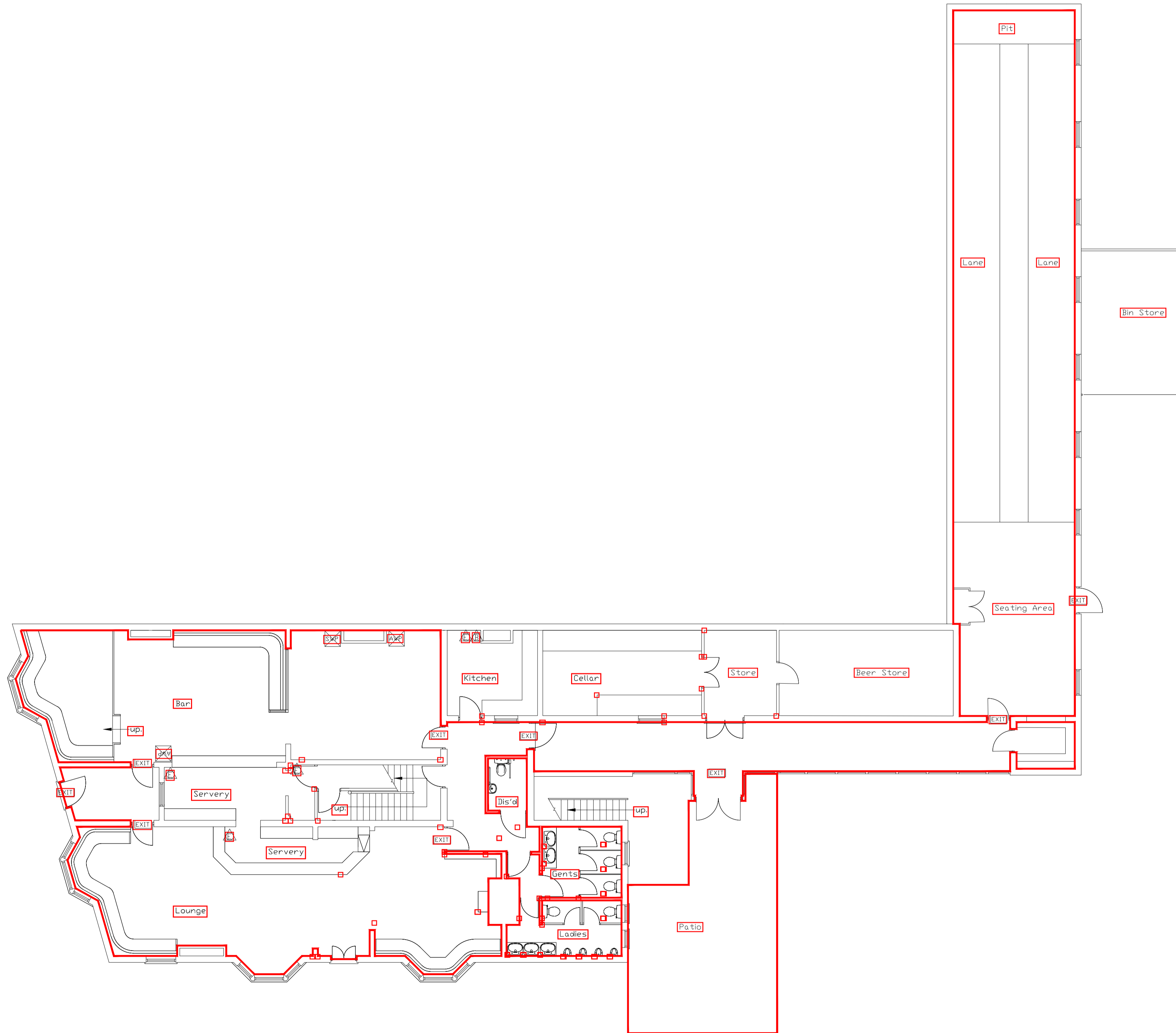


REV	DETAILS	BY
MARSTON'S		
PROJECT Avenue 227 Bristol Rd, Gloucester, GL1 5TH		
TITLE Proposed Block Plan		
SCALE 1:100 @ A1	DATE MARCH 2022	
DRAWN BY AF	CHECKED BY -	DRAWING No. 07/03/9661/401
MARSTON'S PLC, MARSTON'S HOUSE, BREWERY ROAD, WOLVERHAMPTON, WV1 4JT. Tel: [REDACTED]		

Contractors responsibility to check all site dimensions & levels prior to commencing works.
 Contractor to comply in all respects with current building regulations & guidelines whether specified on this drawing or not.
 The drawing must be read & checked against any other specialist drawings provided by the company or by consultants.
 This drawing and the works depicted are the copyright of the company & may not be replicated without written permission.

- KEY**
-  AWP
 -  Indicates fire escape door
 -  Indicates fire extinguisher position
 -  Indicates fire blanket position

NB: All existing and required fire and safety precautions will be maintained.
 Each step indicates a change of height of 180mm



REV	DETAILS	BY
 MARSTON'S		
PROJECT Avenue 227 Bristol Rd, Gloucester, GL1 5TH		
TITLE Floor Plan		
SCALE 1:100 @ A1	DATE MARCH 2022	
DRAWN BY AF	CHECKED BY -	DRAWING No. 07/03/9661/101
MARSTON'S PLC, MARSTON'S HOUSE, BREWERY ROAD, WOLVERHAMPTON, WV1 4JT. Tel: [REDACTED]		

MARSTON'S PLC

**Design & Access Statement for The Avenue, 227 Bristol Rd,
Gloucester, GL1 5TH**

Content

01 Introduction

02 Location Plan

03 Listing Status

04 Proposed Design & Development

05 Design of Development

06 Use and Amount

07 Access

Prepared by Andre Fortune

9th March 2022

Design & Access Statement for The Avenue, 227 Bristol Rd, Gloucester, GL1 5TH



01 Introduction:

This statement is prepared in support of the full or detailed planning permission that relates to The Avenue Gloucester.

The proposed works are to allow an outdoor seating area located within the carpark outside the function room and other supplementary work.

Our intent is to utilise space within the carpark to provide an external eating and drinking experience for our patrons. Utilising the carpark will provide more usable space. A protected walkway will be formed on the car park with a picket fence and an arbour that will show the public right of way.

02 Location Plan:



Crown Copyright 2022. All rights reserved. Licence number 100022432

FOR IDENTIFICATION PURPOSES ONLY NOT TO SCALE



IDENTIFICATION PURPOSES ONLY NOT TO SCALE

Design & Access Statement The Avenue, 227 Bristol Rd, Gloucester, GL1 5TH

03 Listing Status:

This Public House is neither Locally Listed or a Listed Building.

04 Proposed Design & Development:

Existing Site:

- I) The public house is in Gloucester which started off as a Roman settlement due to the proximity of the River Severn. Being located just on a main high street the public house possesses a strong residential backing.
- II) The car park is located to the right hand side of the public building and the outdoor eating/drinking area will be outside of the function room. In order to achieve this there will be a total loss of 7 car parking spaces.
- III) Various other site improvements such as; turfing of proposed area, installation of festoon lights, picket fence/arbours, decoration of existing railings, installation of signage to the front of The Avenue, relocation/white lining of the carpark to relocate the accessible parking bays near to the entrance of the carpark and infill Perspex within the smoking shelter to dado height.

05 Design of Development:

The proposal is to turn a designated area of the carpark into an outdoor eating/drinking area.

The proposed area will be covered in artificial grass and will include various seating, festoon lighting, planters, picket fence and arbour.

A protected walkway will be implemented from the carpark with an arbour to show the public right of way and a picket fence will be installed to protect guests from cars.

The fence and arbour will be self-supporting and will not be attached to the existing buildings.

In addition to the newly proposed area, other supplementary improvements will include infilling Perspex within the smoking shelter returning it to dado height, painting of existing railings and addition of signage to The Avenue

06 Use and Amount

This outdoor eating/drinking will be used all year around in addition to the outdoor patio area.

The outdoor/drinking area will cover approximately 102.2m².

07 Access

Access to public house and opening times will not be affected. Whilst installing the arbour, picket fence and relining the car park areas will be cordoned off to protect both the public and patrons.

During the infill of the Perspex panels the designated smoking area will be inaccessible to both the public and patrons.

With the loss of car parking spaces, the accessible bays will be relocated to the front of the car park and start from the existing bollards. This will allow ease of use and lead patrons onto the walkway oppose to navigating the carpark.



LED LITE™

Energy Saving LED

DT641-6 Rubber Festoon Harnesses



Features:

- Rubber festoon cable must be used for all permanent outdoor installations in accordance with BS EN 60598-1:2000.
- Suitable for permanent outdoor use.
- Outdoor installations in a sheltered area in accordance with BS EN 60598-1:2000.
- Mains voltage double insulated rubber festoon harness
- Complete with 16A-6h/230V 2P+E IP44 rated plug
- IP Rating: IP44 (with GLS or golf ball lamps fitted)
- BC Lampholders
- Maximum lamp rating: up to 10W LED lamps (lamps not included)
- The high temperatures rating of the lampholder rubber seal ensures a long life seal directly onto the golf ball or GLS lamps
- Tough H05RNH-F cable (2*1.5 mm²) for permanent outdoor installations
- Power cable: round rubber cable H05RN-F cable (2*1.0 mm²)
- 3 metres lead-in to the first lampholder
- Complies with BS EN 60598-1, BS EN 60598-2:20, BS EN 61184

Specifications:

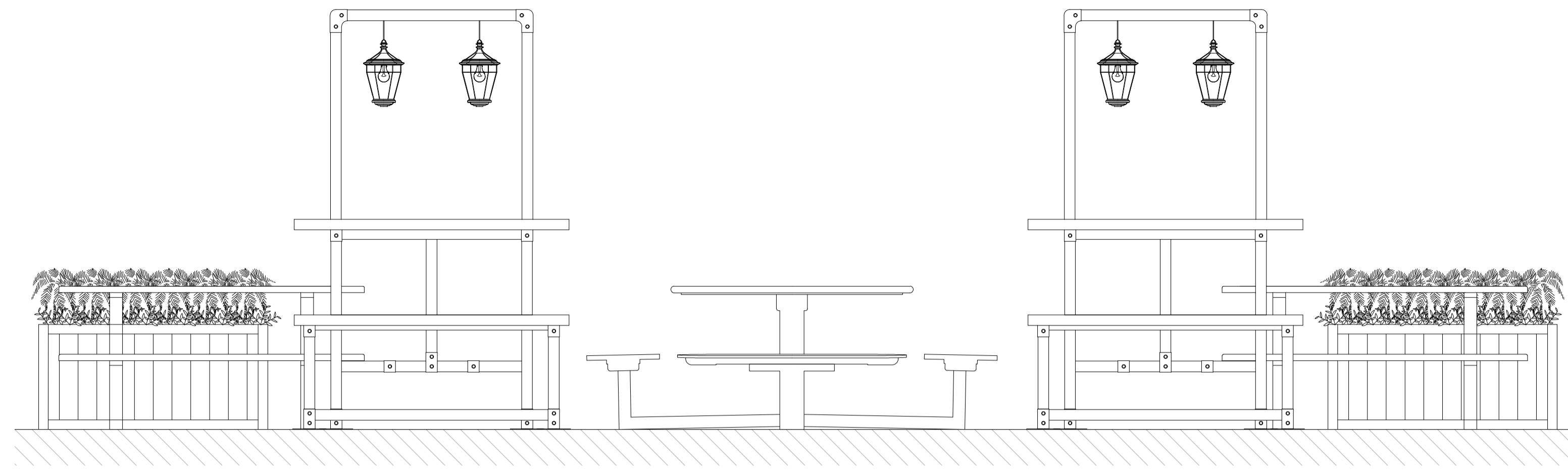
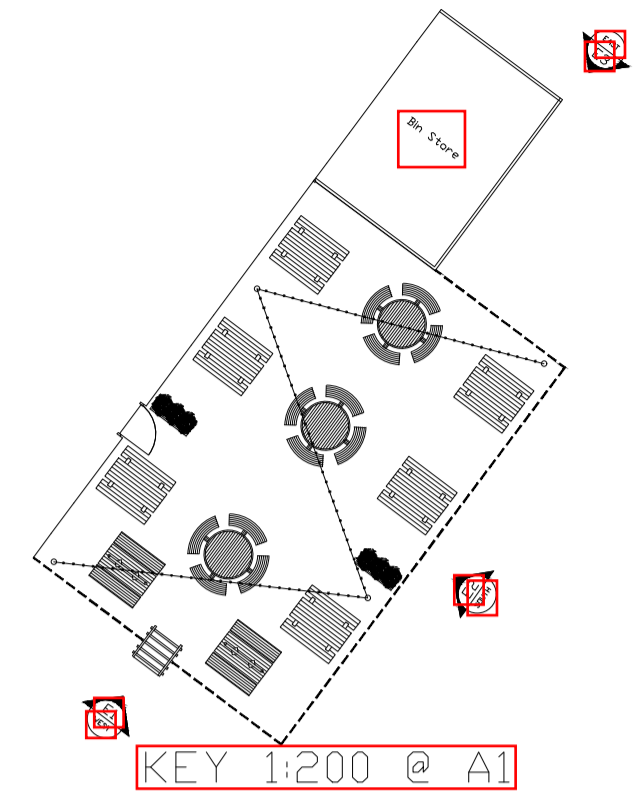
Model	Length	Distance to 1st lamp holder	Spacing between holders	Number of lamp holders
DT 641	7.5m	2.5m	50cm	10
DT 642	9m	3m	29cm	20
DT 643	15m	3m	29cm	40
DT 644	50m	3m	33cm	140
DT 645	100m	3m	100cm	100
DT 646	100m	3m	50cm	200



Festoon Lighting Link:

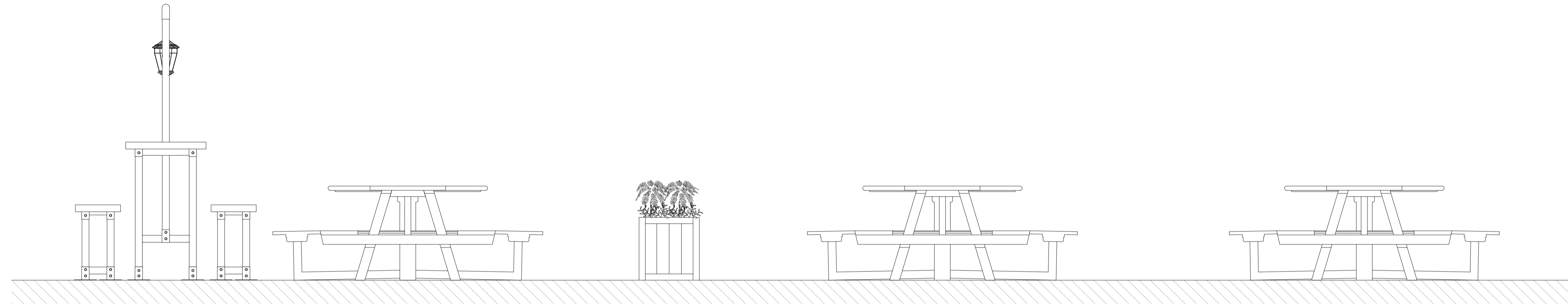
[9mtr x 20 LED Lamp - Rubber Festoon Harness - 29cm spacing
| LEDlite \(642\) \(tlc-direct.co.uk\)](#)

Contractors responsibility to check all site dimensions & levels prior to commencing works.
 Contractor to comply in all respects with current building regulations & guidelines whether specified on this drawing or not.
 The drawing must be read & checked against any other specialist drawings provided by the company or by consultants.
 This drawing and the works depicted are the copyright of the company & may not be replicated without written permission.



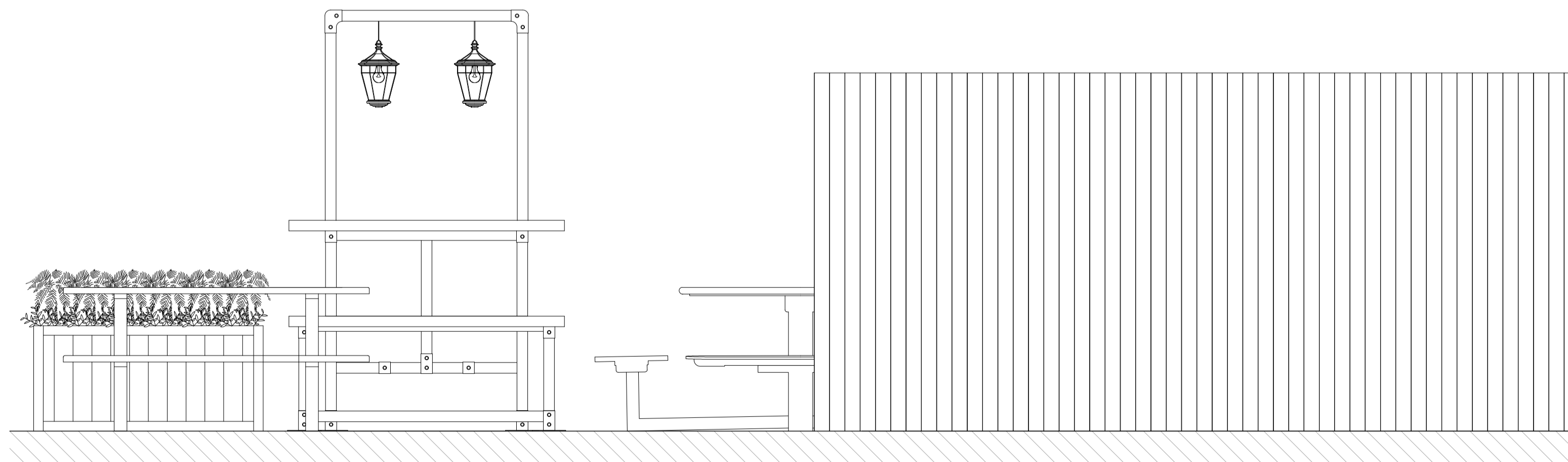
8205

West Elevation @ 1:20



12450

South Elevation @ 1:20

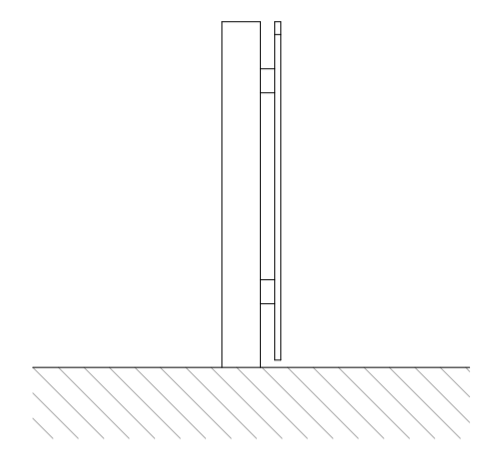
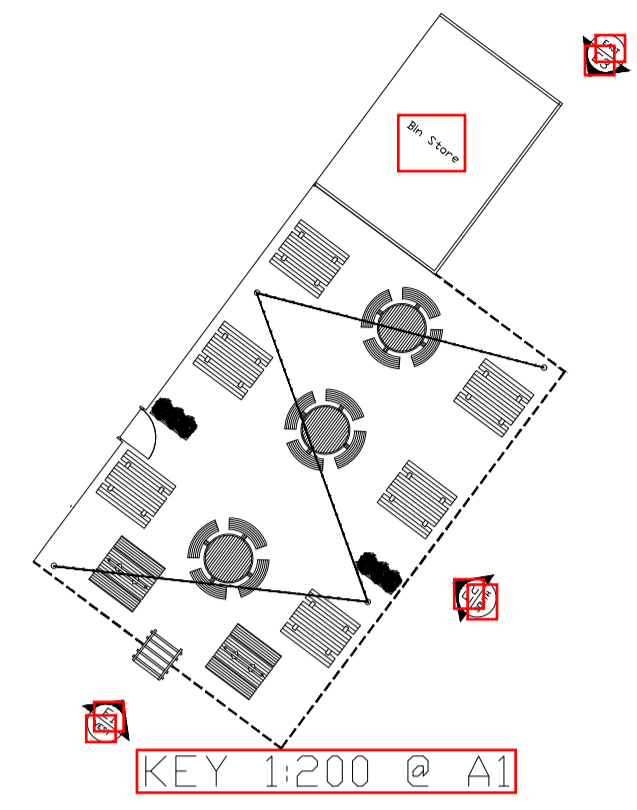


8205

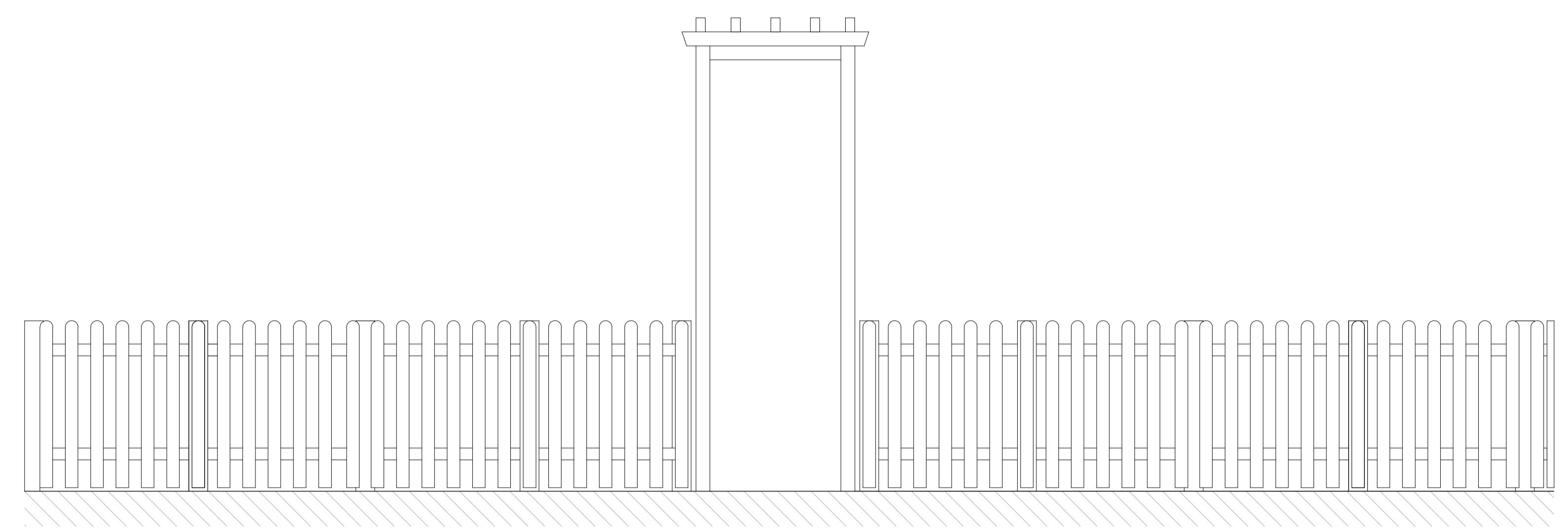
East Elevation @ 1:20

REV	DETAILS	BY
 MARSTON'S		
PROJECT Avenue 227 Bristol Rd, Gloucester, GL1 5TH		
TITLE Proposed Furniture Elevations		
SCALE AS STATED @ A1	DATE MARCH 2022	
DRAWN BY AF	CHECKED BY -	DRAWING No. 07/03/9661/PP/F/EL
REV -		
MARSTON'S PLC, MARSTON'S HOUSE, BREWERY ROAD, WOLVERHAMPTON, WV1 4JT. Tel: [REDACTED]		

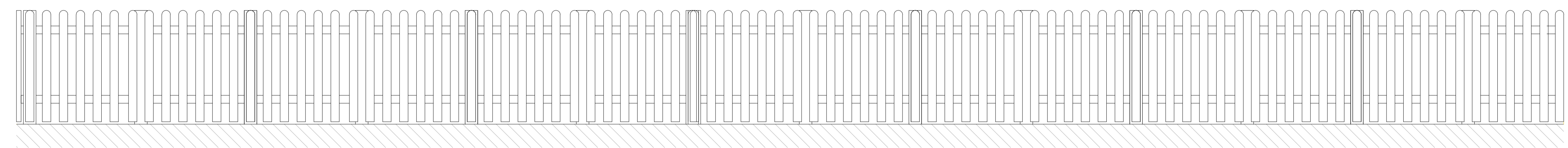
Contractors responsibility to check all site dimensions & levels prior to commencing works.
 Contractor to comply in all respects with current building regulations & guidelines whether specified on this drawing or not.
 The drawing must be read & checked against any other specialist drawings provided by the company or by consultants.
 This drawing and the works depicted are the copyright of the company & may not be replicated without written permission.



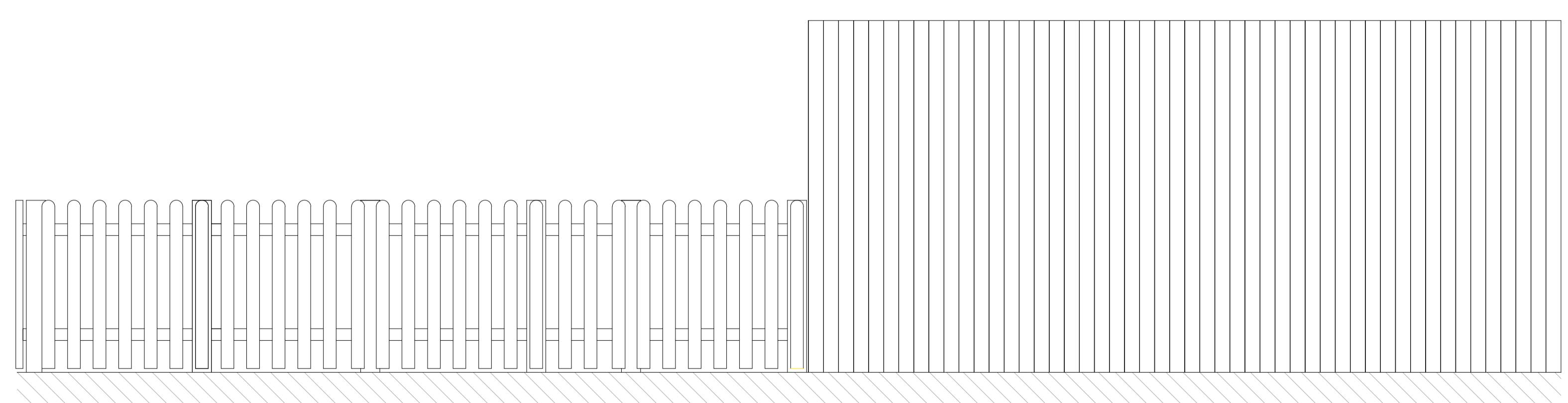
Picket Fence
 Cross Section
 @ 1:20




8205
 West Elevation @ 1:20



12450
 South Elevation @ 1:20



8205
 East Elevation @ 1:20

REV	DETAILS	BY
 MARSTON'S		
PROJECT Avenue 227 Bristol Rd, Gloucester, GL1 5TH		
TITLE Proposed Picket Fence Elevations		
SCALE AS STATED @ A1		DATE MARCH 2022
DRAWN BY AF	CHECKED BY -	DRAWING No. 07/03/9661/PP/PF/EL
MARSTON'S PLC, MARSTON'S HOUSE, BREWERY ROAD, WOLVERHAMPTON, WV1 4JT. Tel: [REDACTED]		