

Application for Planning Permission

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x) Northing (y)

Description

Applicant Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

County

Country

Postcode

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

Secondary number

***** REDACTED *****

Fax number

Email address

***** REDACTED *****

Agent Details

Name/Company

Title

mr

First name

Alan

Surname

Steele

Company Name

AGS Development Consultants

Address

Address line 1

Corse Grange

Address line 2

Address line 3

Town/City

Corse

County

Country

Postcode

GL19 3RQ

Contact Details

Primary number

***** REDACTED *****

Secondary number

***** REDACTED *****

Fax number

Email address

***** REDACTED *****

Site Area

What is the measurement of the site area? (numeric characters only).

725.00

Unit

Sq. metres

Description of the Proposal

Please note in regard to:

- **Fire Statements** - From 1 August 2021, planning applications for buildings of over 18 metres (or 7 stories) tall containing more than one dwelling will require a 'Fire Statement' for the application to be considered valid. There are some exemptions. [View government planning guidance on fire statements](#) or [access the fire statement template and guidance](#).
- **Permission In Principle** - If you are applying for Technical Details Consent on a site that has been granted Permission In Principle, please include the relevant details in the description below.
- **Public Service Infrastructure** - From 1 August 2021, applications for certain public service infrastructure developments will be eligible for faster determination timeframes. See help for further details or [view government planning guidance on determination periods](#).

Description

Please describe details of the proposed development or works including any change of use

Conversion of former garage , used for storage , to form an office ancillary to dwellings use

Has the work or change of use already started?

Yes

No

Existing Use

Please describe the current use of the site

Residential

Is the site currently vacant?

- Yes
 No

Does the proposal involve any of the following? If Yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated

- Yes
 No

Land where contamination is suspected for all or part of the site

- Yes
 No

A proposed use that would be particularly vulnerable to the presence of contamination

- Yes
 No

Materials

Does the proposed development require any materials to be used externally?

- Yes
 No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

<p>Type: Roof</p> <p>Existing materials and finishes: Mineral Felt .</p> <p>Proposed materials and finishes: Mineral Felt to match existing</p>
<p>Type: Walls</p> <p>Existing materials and finishes: Timber planking .</p> <p>Proposed materials and finishes: Timber planking to match existing .</p>
<p>Type: Windows</p> <p>Existing materials and finishes: Timber , single glazed .</p> <p>Proposed materials and finishes: Timber , double glazed .</p>

Are you supplying additional information on submitted plans, drawings or a design and access statement?

- Yes
 No

If Yes, please state references for the plans, drawings and/or design and access statement

Site Location Plan
Site/Block Plan
Existing floor plan and elevations
Proposed floor plan and elevations .
Design and Access Statement .

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicular access proposed to or from the public highway?

- Yes
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes
 No

Are there any new public roads to be provided within the site?

- Yes
 No

Are there any new public rights of way to be provided within or adjacent to the site?

- Yes
 No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

- Yes
 No

If you answered Yes to any of the above questions, please show details on your plans/drawings and state their reference numbers

Please see submitted Site Plan .

Vehicle Parking

Does the site have any existing vehicle/cycle parking spaces or will the proposed development add/remove any parking spaces?

- Yes
 No

Please provide information on the existing and proposed number of on-site parking spaces

Vehicle Type:

Cars

Existing number of spaces:

3

Total proposed (including spaces retained):

4

Difference in spaces:

1

Trees and Hedges

Are there trees or hedges on the proposed development site?

- Yes
 No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

- Yes
 No

If Yes to either or both of the above, you may need to provide a full tree survey, at the discretion of the local planning authority. If a tree survey is required, this and the accompanying plan should be submitted alongside the application. The local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

Assessment of Flood Risk

Is the site within an area at risk of flooding? (Check the location on the Government's [Flood map for planning](#). You should also refer to national [standing advice](#) and your local planning authority requirements for information as necessary.)

- Yes
 No

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

- Yes
 No

Will the proposal increase the flood risk elsewhere?

- Yes
 No

How will surface water be disposed of?

- Sustainable drainage system
 Existing water course
 Soakaway
 Main sewer
 Pond/lake

Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

To assist in answering this question correctly, please refer to the help text which provides guidance on determining if any important biodiversity or geological conservation features may be present or nearby; and whether they are likely to be affected by the proposals.

a) Protected and priority species

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

b) Designated sites, important habitats or other biodiversity features

- Yes, on the development site
- Yes, on land adjacent to or near the proposed development
- No

c) Features of geological conservation importance

- Yes, on the development site
- Yes, on land adjacent to or near the proposed development
- No

Supporting information requirements

Where a development proposal is likely to affect features of biodiversity or geological conservation interest, you will need to submit, with the application, sufficient information and assessments to allow the local planning authority to determine the proposal.

Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the local planning authority has been submitted.

Your local planning authority will be able to advise on the content of any assessments that may be required.

Foul Sewage

Please state how foul sewage is to be disposed of:

- Mains sewer
- Septic tank
- Package treatment plant
- Cess pit
- Other
- Unknown

Are you proposing to connect to the existing drainage system?

- Yes
- No
- Unknown

If Yes, please include the details of the existing system on the application drawings and state the plan(s)/drawing(s) references

Existing foul water manhole in rear garden

Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

- Yes
- No

Have arrangements been made for the separate storage and collection of recyclable waste?

- Yes
- No

Trade Effluent

Does the proposal involve the need to dispose of trade effluents or trade waste?

- Yes
- No

Residential/Dwelling Units

Does your proposal include the gain, loss or change of use of residential units?

Yes

No

All Types of Development: Non-Residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

Note that 'non-residential' in this context covers all uses except Use Class C3 Dwellinghouses.

Yes

No

Employment

Are there any existing employees on the site or will the proposed development increase or decrease the number of employees?

Yes

No

Existing Employees

Please complete the following information regarding existing employees:

Full-time

3

Part-time

3

Total full-time equivalent

2.00

Proposed Employees

If known, please complete the following information regarding proposed employees:

Full-time

Part-time

Total full-time equivalent

Hours of Opening

Are Hours of Opening relevant to this proposal?

- Yes
 No

Industrial or Commercial Processes and Machinery

Does this proposal involve the carrying out of industrial or commercial activities and processes?

- Yes
 No

Is the proposal for a waste management development?

- Yes
 No

Hazardous Substances

Does the proposal involve the use or storage of Hazardous Substances?

- Yes
 No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
 The applicant
 Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes
 No

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes
- No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes
- No

Is any of the land to which the application relates part of an Agricultural Holding?

- Yes
- No

Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

- The Applicant
- The Agent

Title

First Name

Surname

Declaration Date

04/11/2022

Declaration made

Declaration

I / We hereby apply for Full planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

Alan Steele

Date

04/11/2022

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rev.	date	description
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Planning

7 Denmark Road

Site Location Plan Date: - Oct 22

1/500 @ A3

Drawing No: 757/01 Rev _

Development Consultants
AGS
Conse. Grange, Corse, Glas G.19.370

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rev.	date	description
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Planning

7 Denmark Road

Site Location Plan

1/500 @ A3

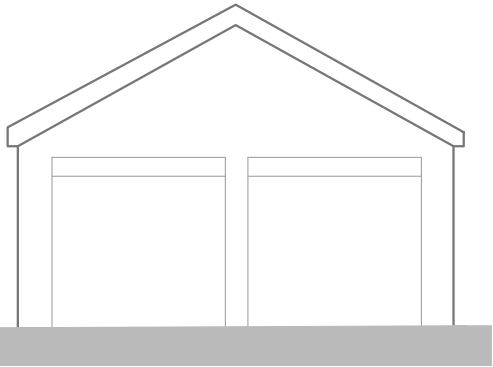
Date: - Oct 22

Drawing No: 757/02

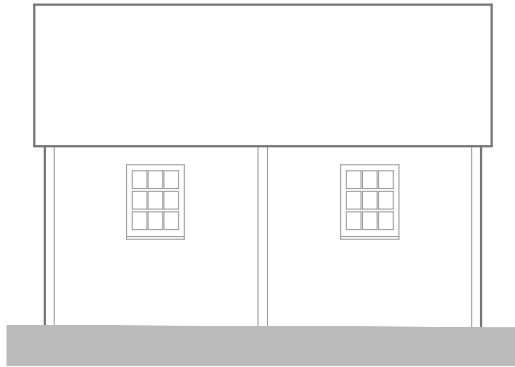
Rev

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Cres. Grange, Co. Wick, Co. Wick, Co. Wick

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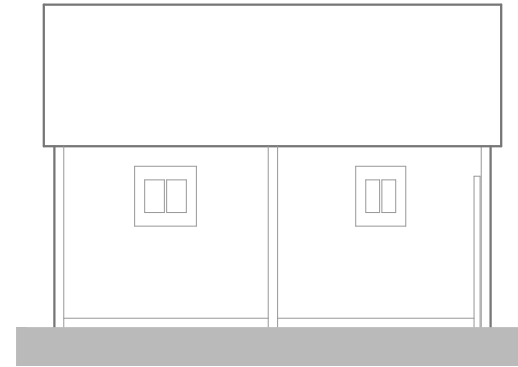
Existing Front Elevation



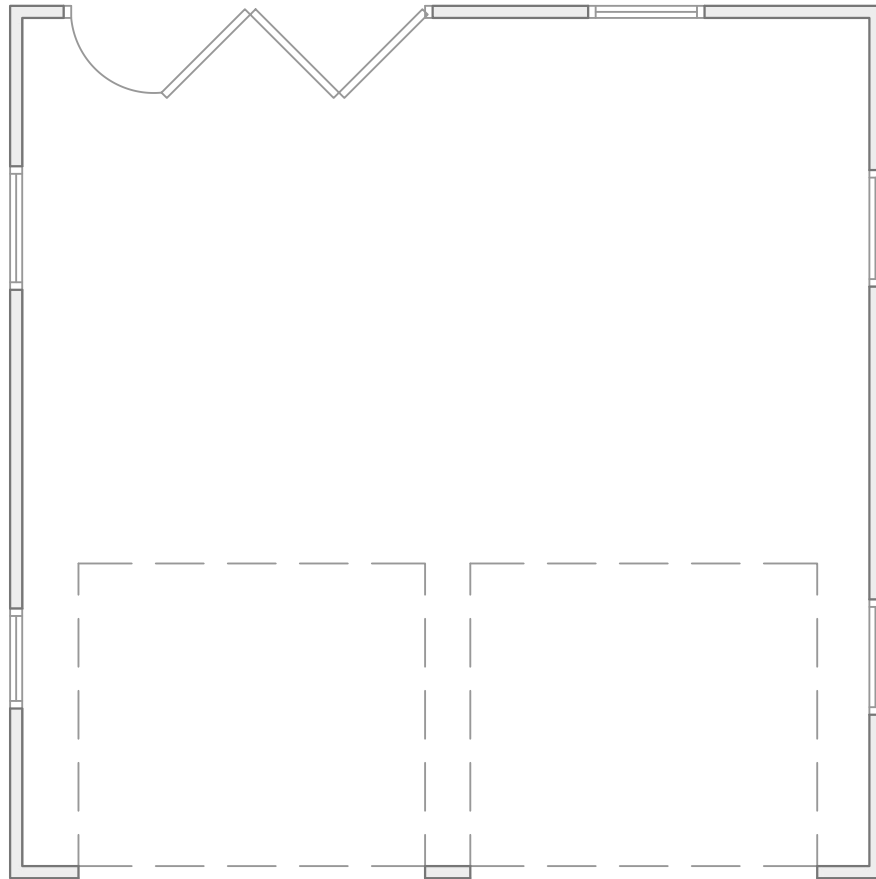
Existing Side Elevation



Existing Rear Elevation



Existing Side Elevation



Planning

7 Denmark Road

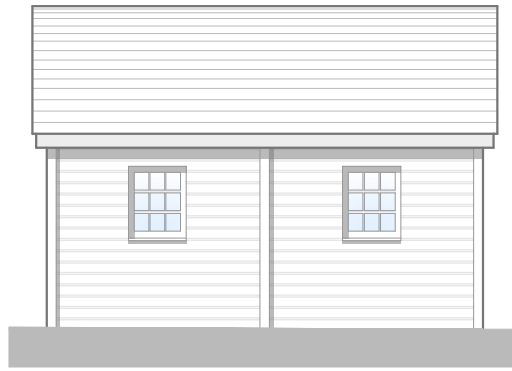
Existing Plan and Elevations Date: Oct 22

1/50 & 1/100 @ A4 Drawing No: 757/03 Rev

AGS
Development Consultants
Coast Group, Coast, Gate 01, 19-200



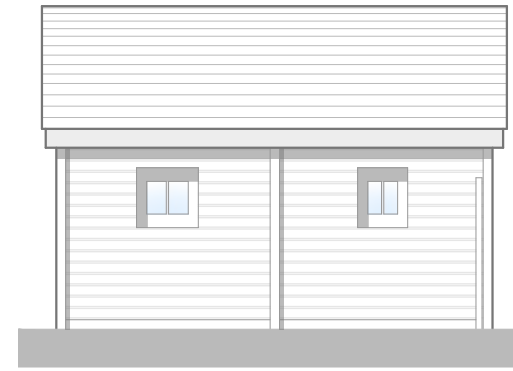
Proposed Front Elevation



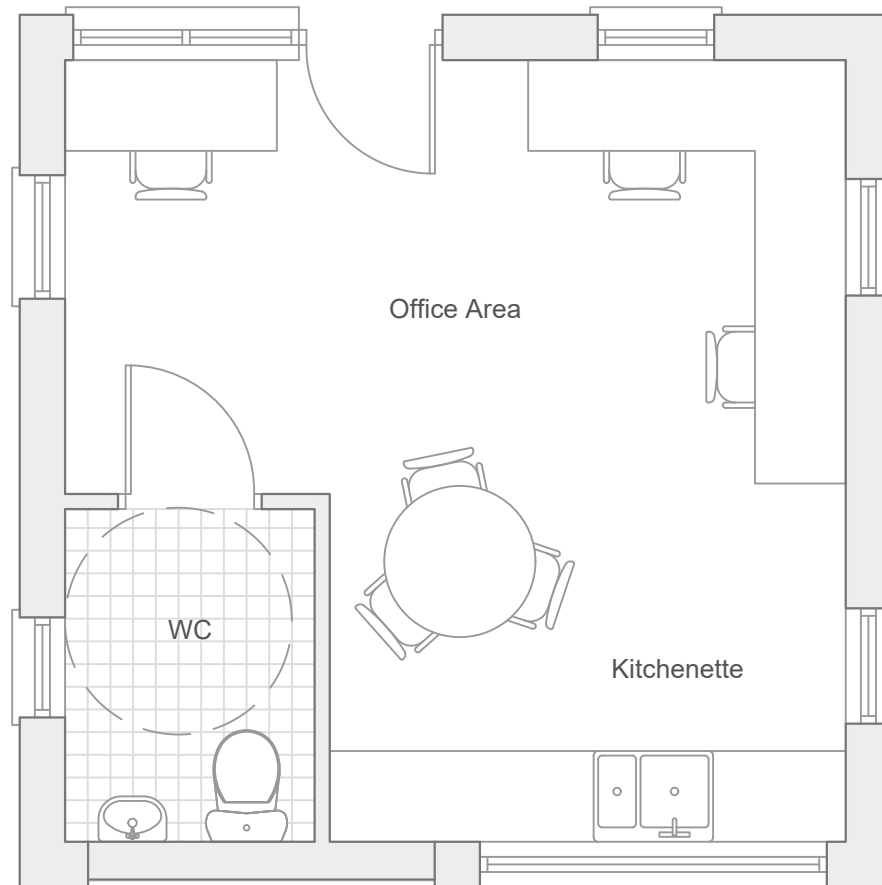
Proposed Side Elevation



Proposed Rear Elevation



Proposed Side Elevation



Planning

7 Denmark Road

Existing Plan and Elevations

Date: Oct 22

1/50 & 1/100 @ A4

Drawing No: 757/04

Rev

Ref. 757/D&A

DESIGN AND ACCESS STATEMENT

Written in support of: -

Proposed conversion of existing garage building, used for residential storage, to form an office ancillary to dwelling house.

7 Denmark Road

Gloucester

GL1 3HZ



DESIGN

In this section I will explain the design considerations adopted to ensure that the proposal is appropriate and in context with the surrounding area. I will also discuss the design principles and concepts that have been applied.

1.1 Use

The subject building is used in association with the Residential Use of the host dwelling. It currently serves as storage prior to the disposal of the unwanted/damaged items stored. Due to its location close to the public footpath its use as a vehicle parking provision is curtailed.

Previously parking was provided within the existing rear garden which is evidenced by the drop kerbs.

1.2 Amount = 33.35m²

1.3. Layout

The existing site layout is shown on the deposited drawing 757/01.

The proposed site layout is shown on the deposited drawing 757/02. Please note that the drop kerbs giving access to the vehicular parking/turning area are existing.

The existing building layout is shown on the deposited drawing 757/03

The proposed building layout is shown on the deposited drawing 757/04

1.4 Scale

The building scale remains unchanged.

The parking provision in terms of area extends from 36m² to 120m² to enable vehicular turning.

1.5 Landscaping

No standard landscaping is affected by this proposal.

1.6 Appearance

The existing building will not alter significantly. It will be renovated as is permitted.

The short section of fencing, which is to be removed to obtain access was installed by the current owner when originally purchasing the property for security, will be re-battened as is shown on the site plan 757/02. The existing drop kerbs provided access into the former hardstanding used for 2 car parking spaces

ACCESS

Given the permitted use we consider the proposed provides an opportunity to improve safety, whilst increasing the parking provision.

ECOLOGY

We have conducted a basic inspection to ensure no protected species or their habitat is affected by this proposal.

DRAINAGE

The existing building will be supplemented with rainwater butts with a controlled overflow/outfall in order to provide a modest improvement to flow rates to the public drainage system, whilst enabling surface water to be re-used should it be required. (Details to be conditioned if required).

The current hardstanding will be removed, the area being incorporated into the new permeable vehicular turning and parking area. (Construction details to be conditioned if required).

Ref: 757 Water/Drainage

WATER & DRAINAGE MANAGEMENT STATEMENT

**IN SUPPORT OF THE PLANNING APPLICATION FOR THE CONVERSION OF
GARAGE/STORE TO OFFICE.**

7 Denmark Road

Gloucester

GL1 3H2

Objective:

To minimise flood risk, improve water quality and groundwater recharge and enhance biodiversity and amenity interest.

These aims will be realised by: -

- Managing surface water
- Achieving sustainable drainage principles in new development
- Incorporating appropriate water management techniques into new development
- Ensuring priority is given to the re-use and recycling of water
- Ensure new development negates adverse effects on water cycle, supply and quality
- Establishing the lifelong maintenance and management responsibilities
- Restricting the developed rate of surface water run-off
- The provision of water harvesting, saving and recycling devices in new development

Site Details:

Conversion of garage/store to office.

Vehicular and pedestrian access is shown on the accompanying plans submitted with the application.

Water Management – Construction Phase

There is expected to be no measurable increase in contaminated water during the construction process.

Household Usage

General household water applications will have recognised water saving measures. For example, taps will be 'aerated taps', showers will have 'aerated showerheads', toilets will have dual flush cisterns (3/6 litres). The washing machine and dishwasher will be modern efficient appliances.

Foul Water Management

The subject site is served by an existing public foul drainage system. No increase created by the proposal.

Rainwater Gutters & Pipes (Roof Run off)

All downpipes taking rainwater 'run off' from roofs exist – No increase created by the proposal.

Surface and Hard Surfaces

All proposed hard surfaces are proposed to be water permeable, material choices such as brick paviours for parking areas etc. will facilitate this. Surface water drains located in the existing immediate area and at the low point of the parking area are proposed to be discharged to the existing system of the building. All drainage design will be approved via the Building Act post planning approval.

Maintenance

All drainage pipes will be maintained by occupiers of the building, as per the manufacturer's recommendations.

Conclusion

This proposal creates no risk of flood and provides a sustainable drainage solution with future proof credentials.