

Householder Application for Planning Permission for works or extension to a dwelling

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x) Northing (y)

Description

Applicant Details

Name/Company

Title

MR

First name

Ashley

Surname

Poole-Graham

Company Name

Address

Address line 1

9 Emerald Place

Address line 2

Address line 3

Town/City

Bishops Cleeve

County

Country

United Kingdom

Postcode

GL52 7ZA

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

***** REDACTED *****

Secondary number

Fax number

Email address

Description of Proposed Works

Please describe the proposed works

The plans proposed are to demolish the existing ground floor extension and conservatory to facilitate the construction of a new two storey extension, to the rear of the house. The extension will provide additional ground floor space. The first floor layout will be revised to create larger bedrooms, 2 new en-suites and additional store.

Has the work already been started without consent?

- Yes
 No

Materials

Does the proposed development require any materials to be used externally?

- Yes
 No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

Type:

Walls

Existing materials and finishes:

Engineering brick up to DPC Redbrick masonry up to first floor roughcast render above first floor

Proposed materials and finishes:

Engineering brick up to DPC to match existing Redbrick masonry up to first floor to match existing roughcast render above first floor to match existing

Type:

Roof

Existing materials and finishes:

Clay tiled roof

Proposed materials and finishes:

Single Ply membrane

Type:

Windows

Existing materials and finishes:

Brown UPVC Windows White UPVC windows to conservatory

Proposed materials and finishes:

brown UPVC windows throughout to match existing

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

A10 - Site location plan
A11 - Existing site plan
A12 - Existing Drawing
A13 - Proposed Drawing
A15 - Right to light drawing
A16 - Flood risk drawing
A104 - Proposed Site Plan
A17 - Design & Access Statement
A18 - Flood Risk Assessment

Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

Yes

No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

Yes

No

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

Yes

No

Is a new or altered pedestrian access proposed to or from the public highway?

Yes

No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

Yes

No

Parking

Will the proposed works affect existing car parking arrangements?

Yes

No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes

No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

The agent

The applicant

Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes

No

If Yes, please complete the following information about the advice you were given (this will help the authority to deal with this application more efficiently):

Officer name:

Title

***** REDACTED *****

First Name

***** REDACTED *****

Surname

***** REDACTED *****

Reference

22/00554/PREAPP

Date (must be pre-application submission)

05/08/2022

Details of the pre-application advice received

Summary

From the information provided it would appear that some design changes to the proposal will be necessary in order to ensure that it would be likely to comply with the policies and SPD which form the Development Plan. Additional information in the form of demonstrating compliance with the 45 degree rule, a Flood Risk Assessment and details of flood resilience measures should also be included.

Please note that any opinions expressed above are for your information and guidance only as a decision on this matter may only be made in response to a planning application.

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes
- No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes
- No

Is any of the land to which the application relates part of an Agricultural Holding?

- Yes
- No

Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

The Applicant

The Agent

Title

Mr

First Name

Ashley

Surname

Graham

Declaration Date

03/10/2022

Declaration made

Declaration

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

Ashley Poole-Graham

Date

11/11/2022

Amendments Summary

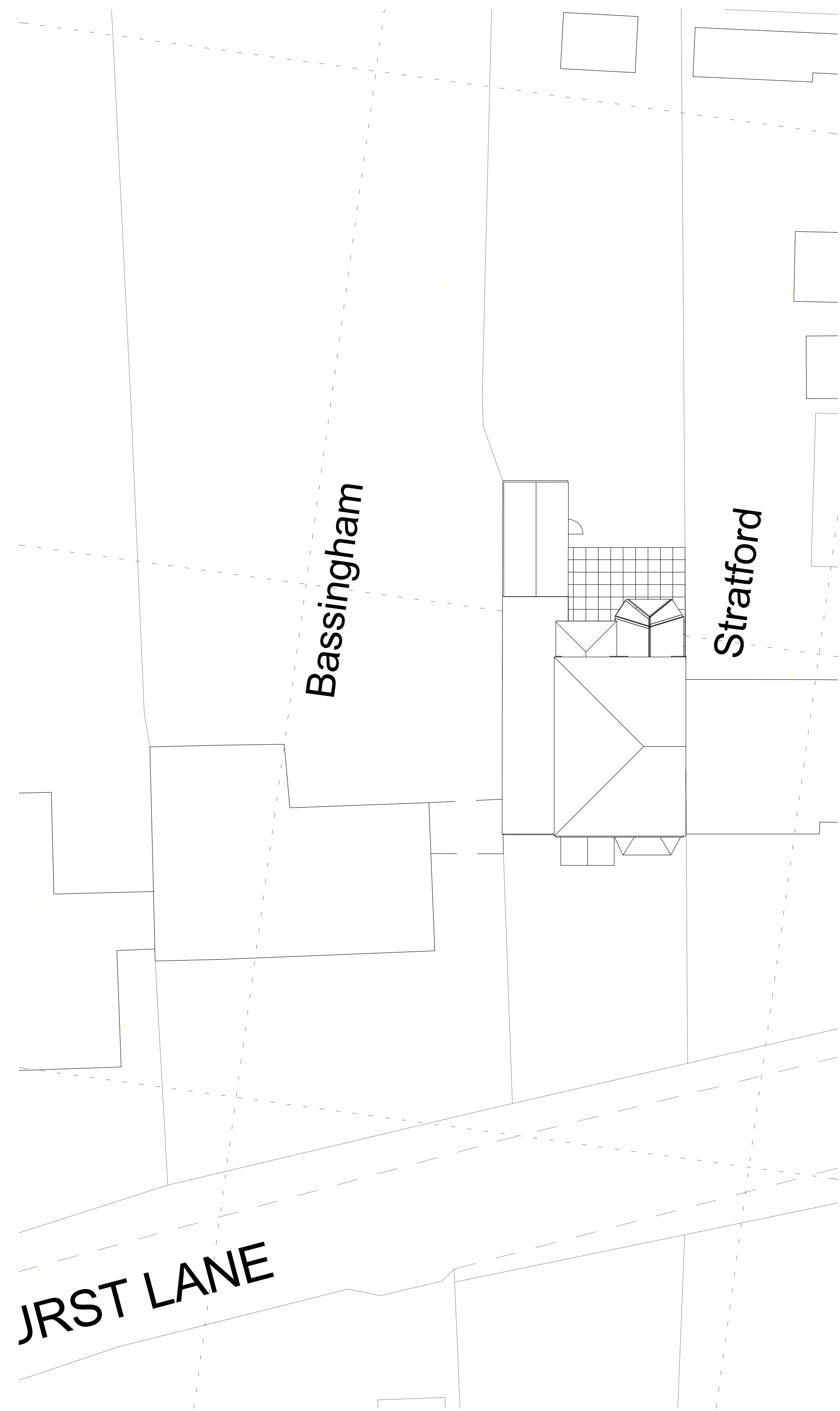
The proposed drawing sheet site plan, and existing drawing sheets have been updated, along with the design and access statement. After a further email from preplanning advice that was received after I submitted the plans, additional clarity was given on the right to light rule to the neighbours patio doors. Upon considering the right to light for this, it reduced the first floor area to an extent that it was not financially feasible to go ahead with an upper floor. The plans and design and access statement have been updated to a ground floor only extension.



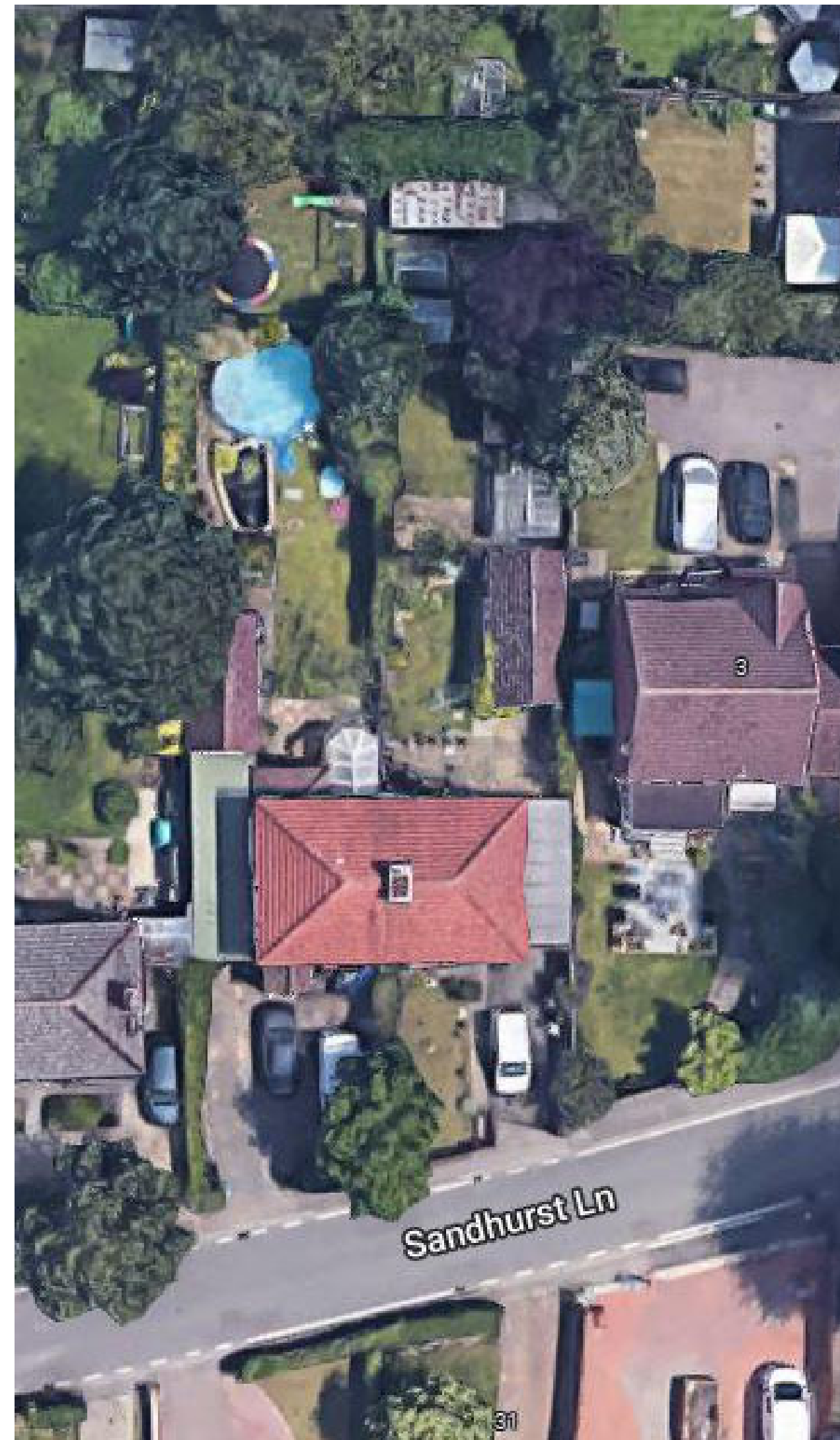
Site Location



| | | |
|--|----------------------------------|------------------|
| PROJECT | | |
| Cassmead, Sandhurst Lane, Kingsholm, & Wotton, Gloucester, GL2 9AB | | |
| TITLE | | |
| Site location plan | | |
| CLIENT | | |
| Mr & Mrs Joyce | | |
| DRAWN BY APG | CHECKED BY Checker | DATE 23/05/22 |
| SCALE (@ A1) 1 : 1250 | PROJECT NUMBER Project Number | |
| DRAWING NUMBER A10 | | REV |



Existing Site Plan
1 : 200

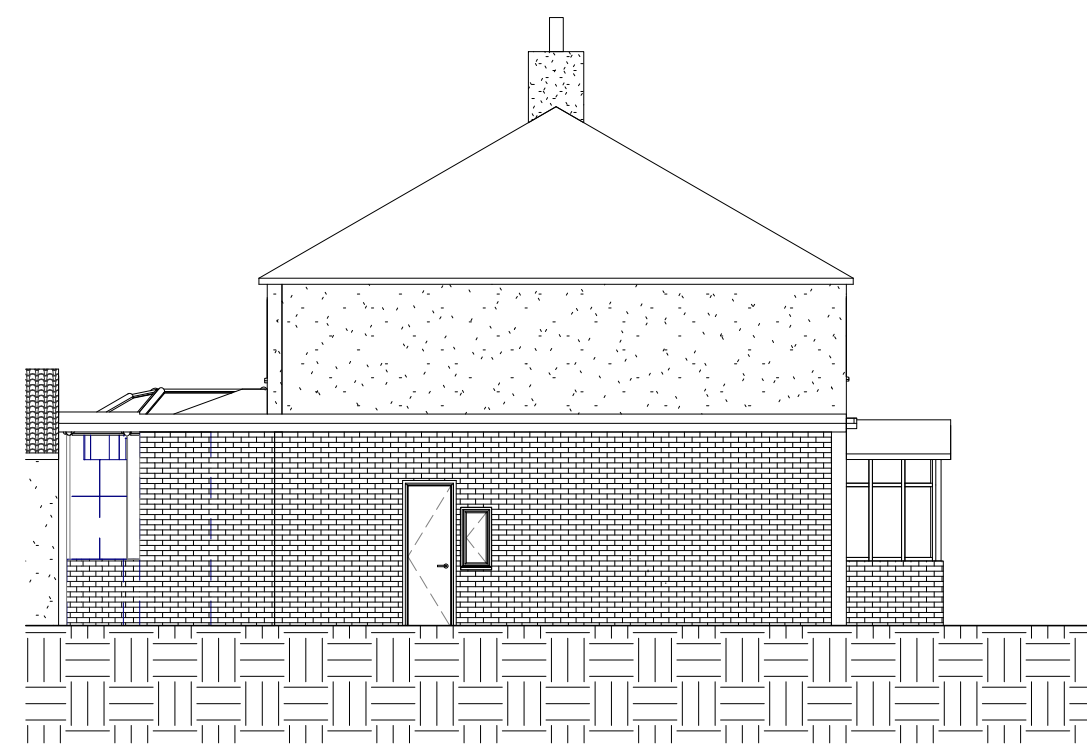


Google Earth screenshot of site

| | | |
|--|----------------|------------|
| PROJECT | | |
| Cassmead, Sandhurst Lane, Kingsholm, & Wotton, Gloucester, GL2 9AB | | |
| TITLE | | |
| Existing Site Plan | | |
| CLIENT | | |
| Mr & Mrs Joyce | | |
| DRAWN BY | CHECKED BY | DATE |
| APG | Checker | 29.09.2022 |
| SCALE (@A2) | PROJECT | |
| 1 : 200 | Project Number | |
| DRAWING NUMBER | REV | |
| A11 | | |



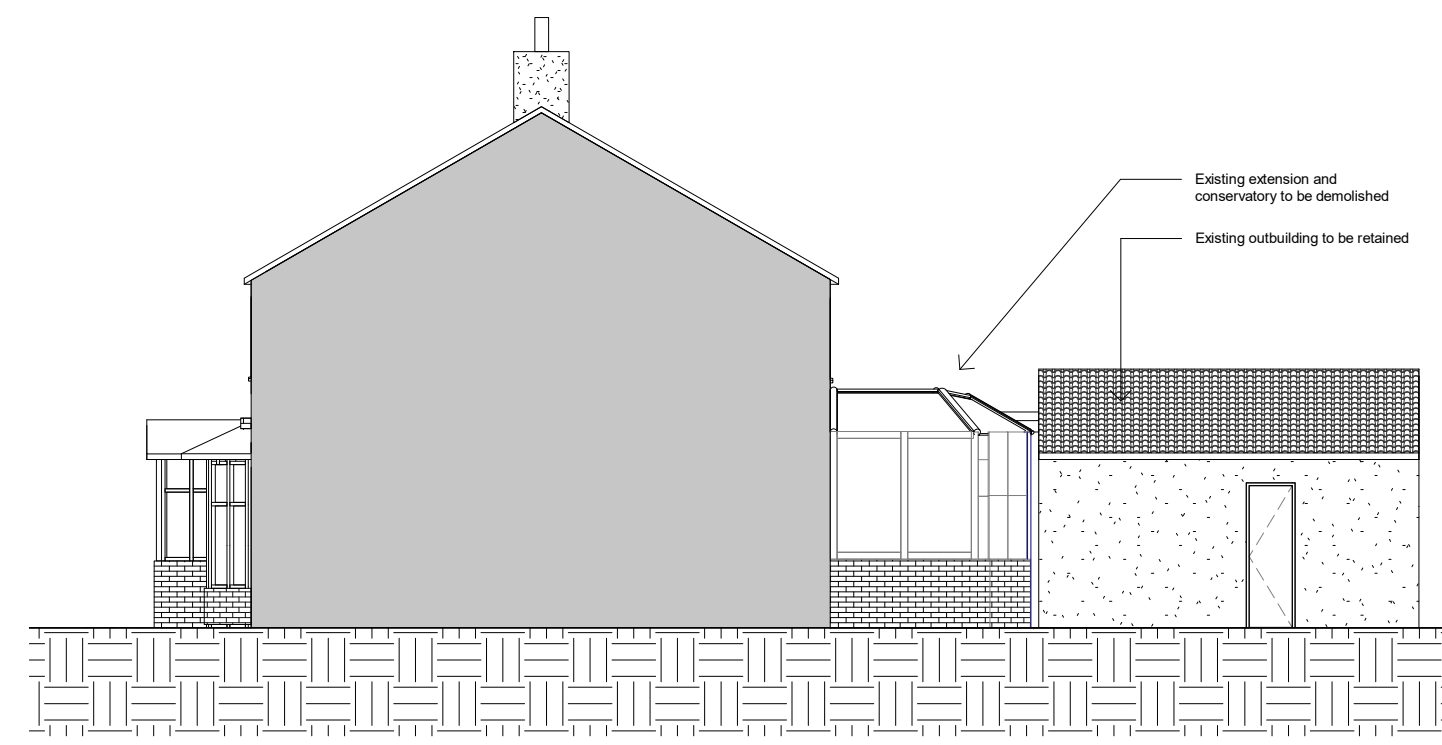
Existing East Elevation
1 : 100



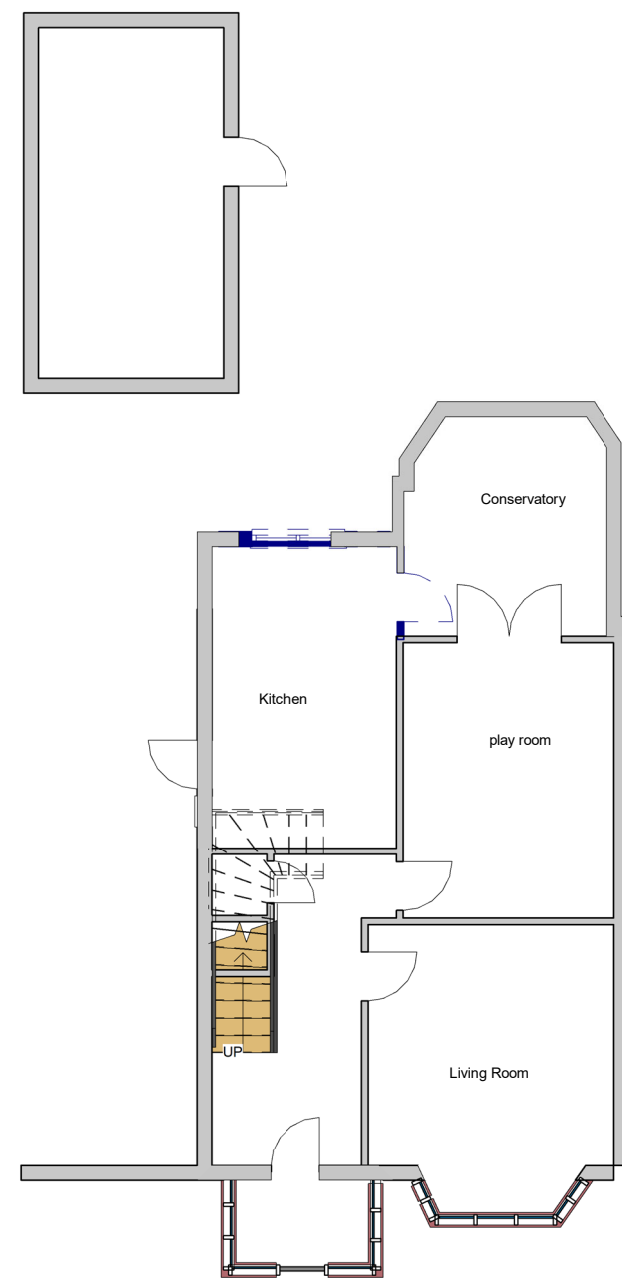
Existing North Elevation
1 : 100



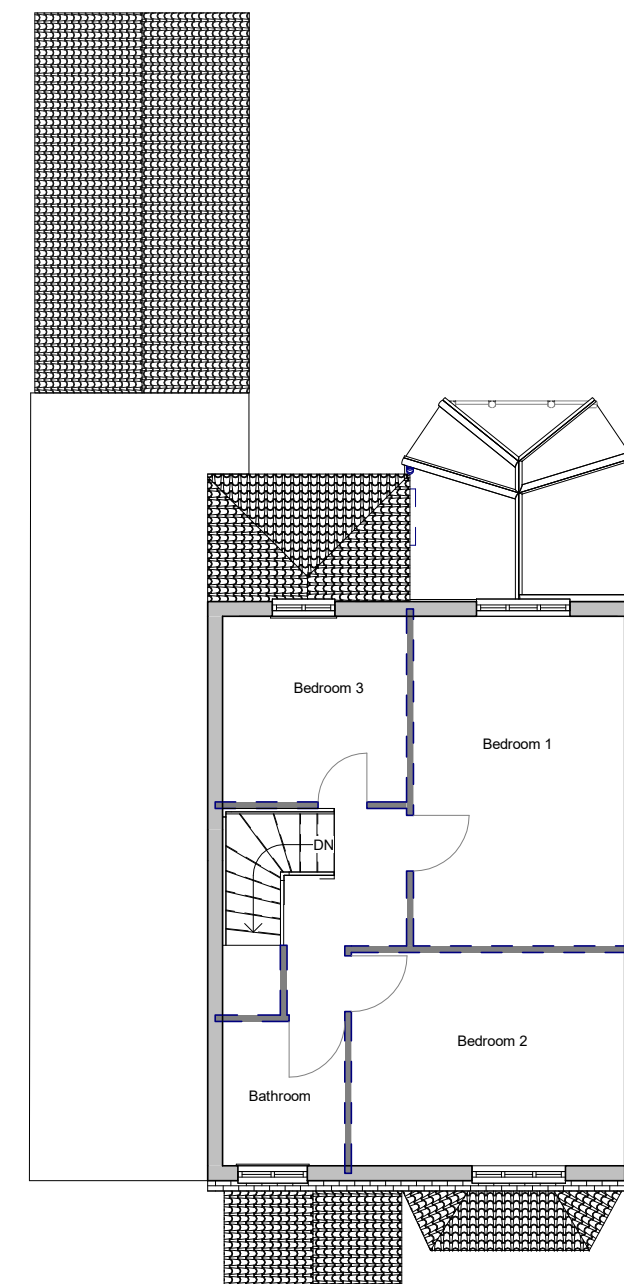
Existing West Elevation
1 : 100



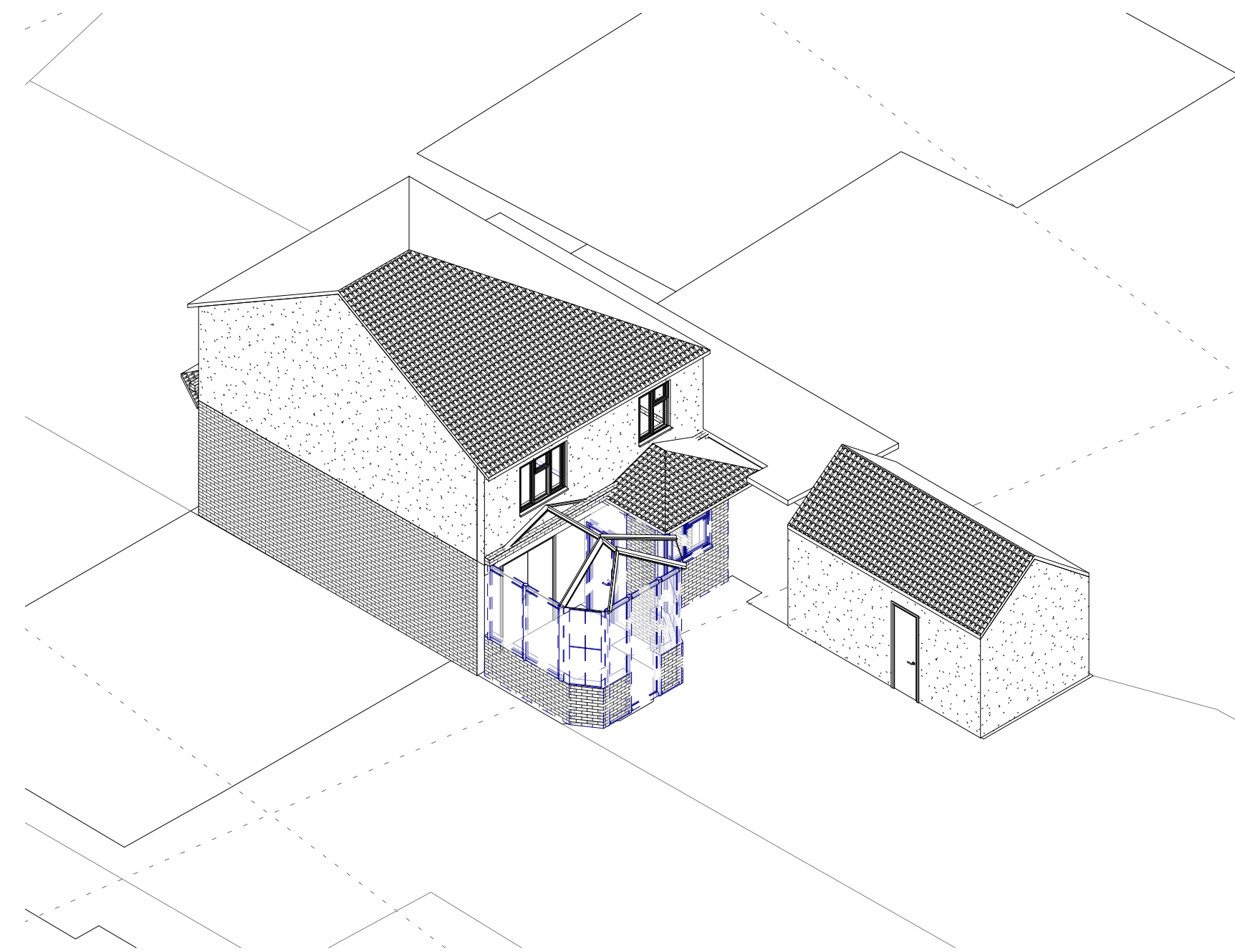
Existing South Elevation
1 : 100



Existing Ground Floor Plan
1 : 100



Existing First Floor Plan
1 : 100

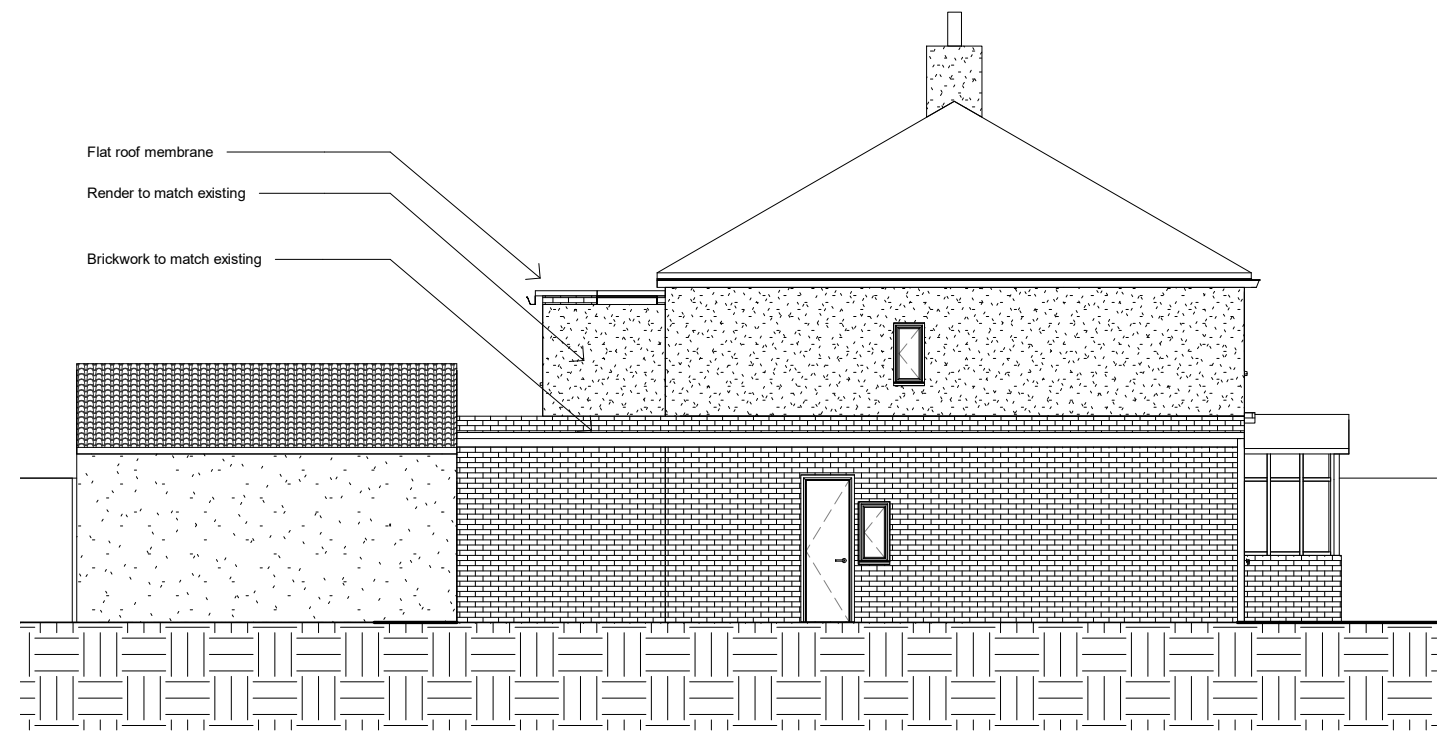


Existing 3D

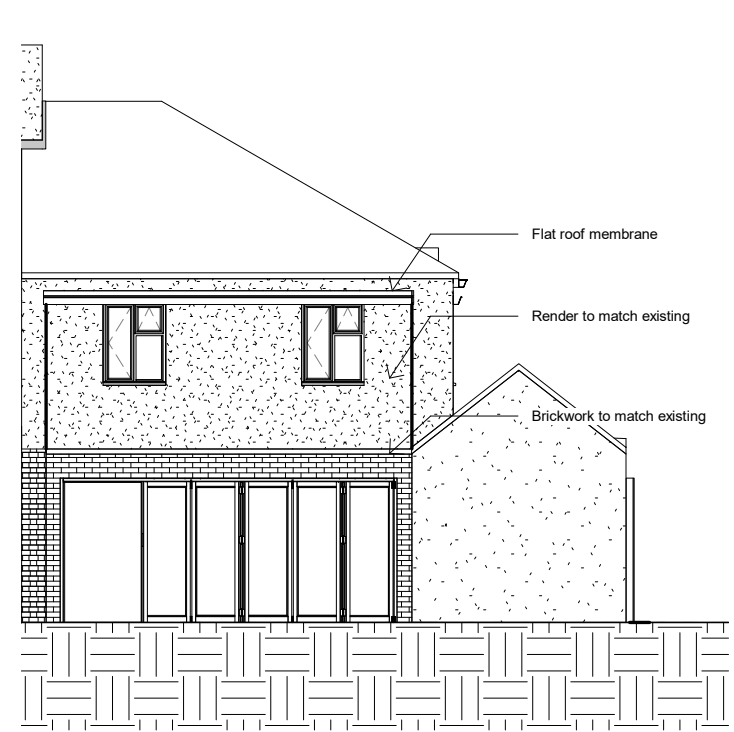
| | | |
|---|----------------------------------|------------------|
| PROJECT | | |
| Cassmead, Sandhurst Lane, Kingsholm, & Wotton, Gloucester, GL2 9AB | | |
| TITLE | | |
| Existing Drawing | | |
| CLIENT | | |
| Mr & Mrs Joyce | | |
| DRAWN BY APG | CHECKED BY Checker | DATE 01/23/07 |
| SCALE (@ A1) 1 : 100 | PROJECT NUMBER Project Number | |
| DRAWING NUMBER A12 | REV | |



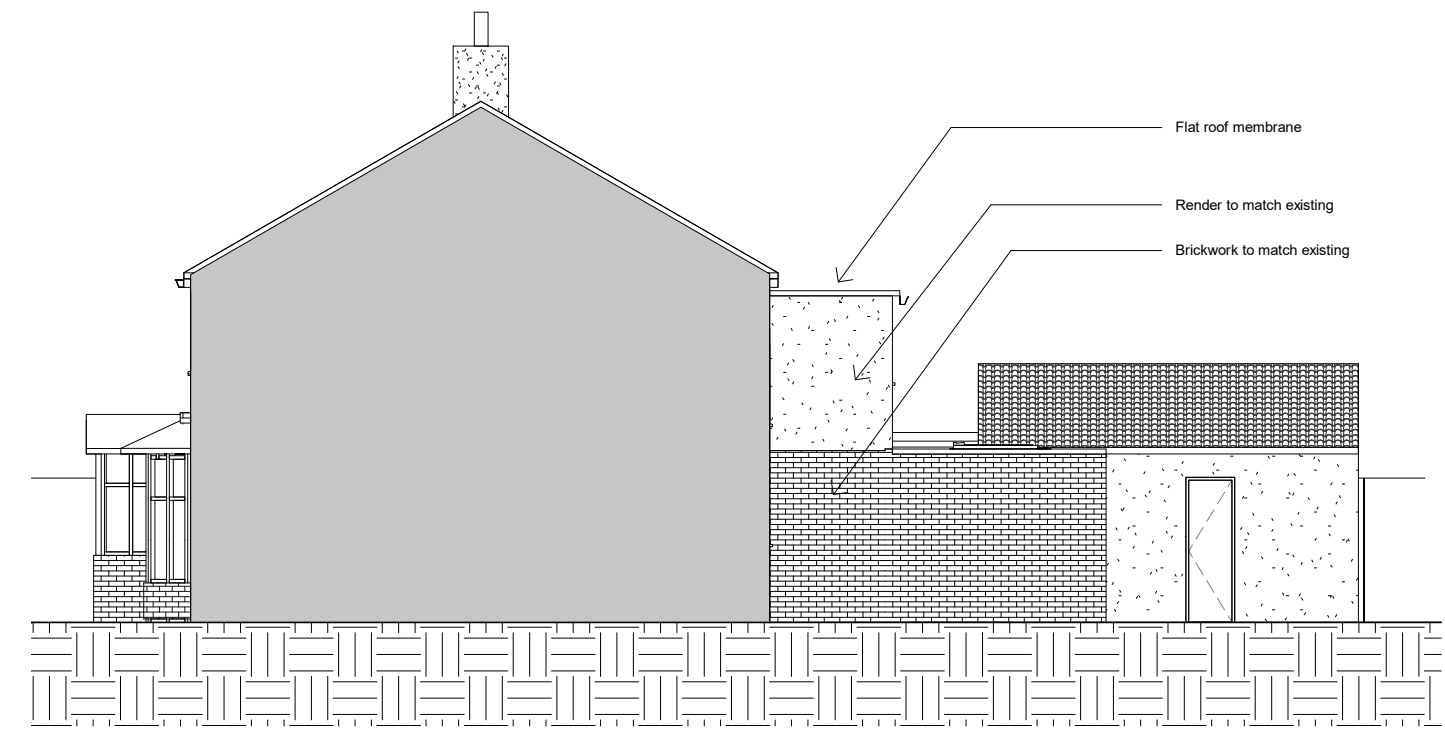
Proposed East Elevation
1 : 100



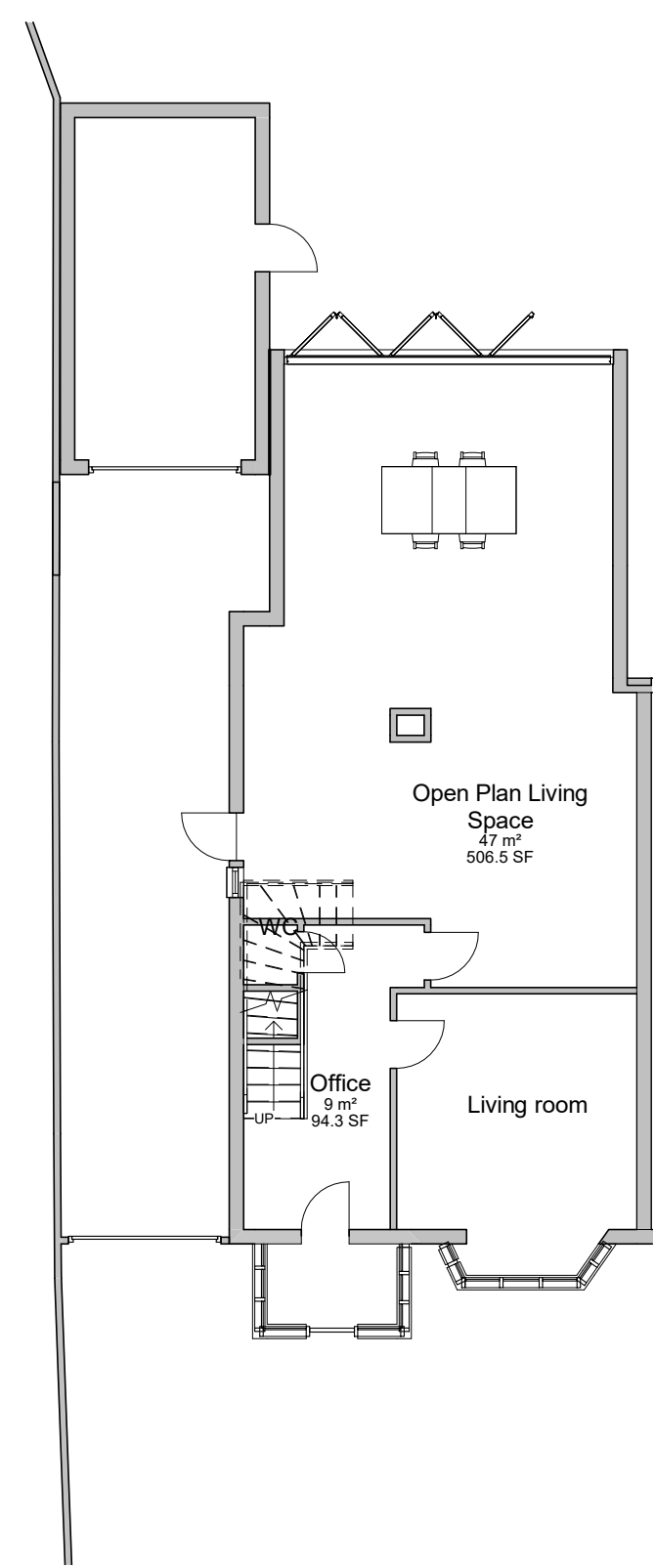
Proposed North Elevation
1 : 100



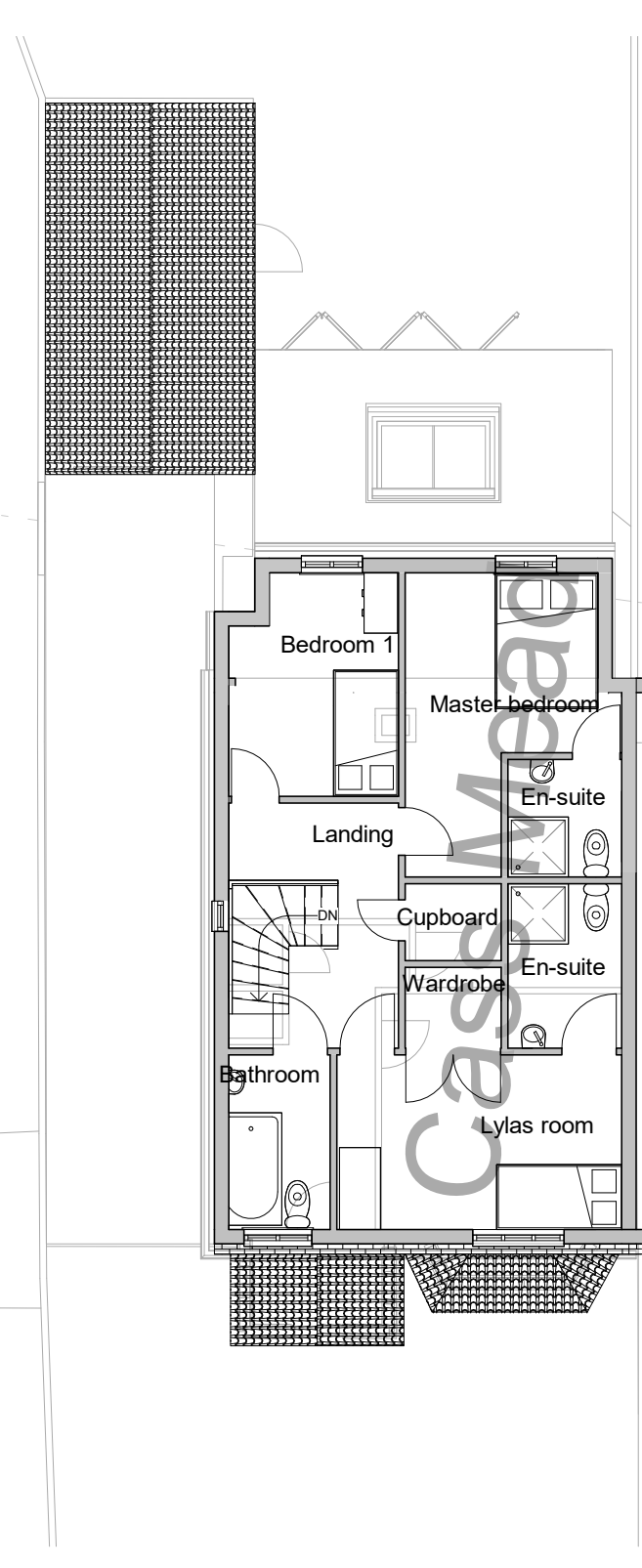
Proposed West Elevation
1 : 100



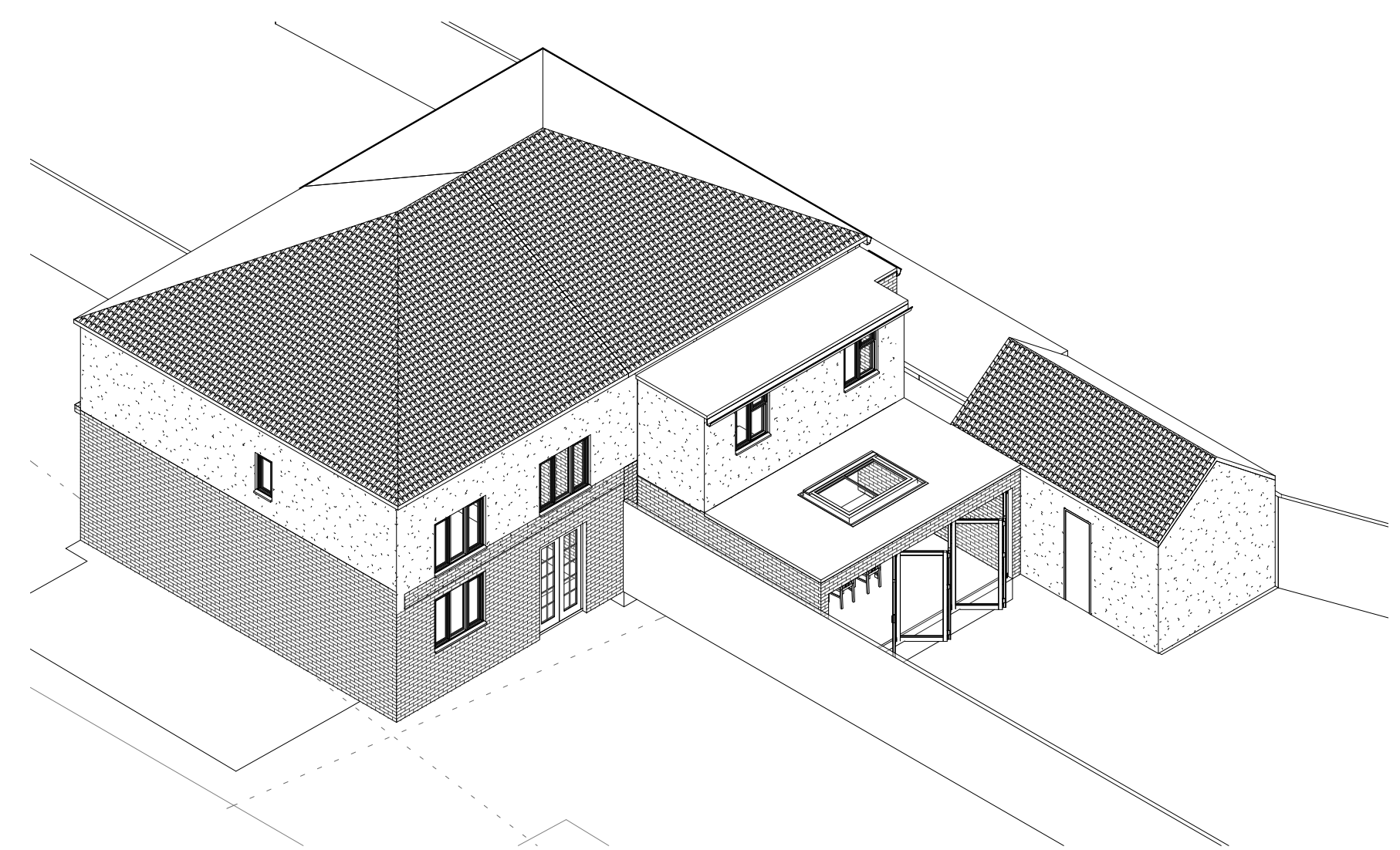
Proposed South Elevation
1 : 100



Proposed Ground Floor Plan
1 : 100

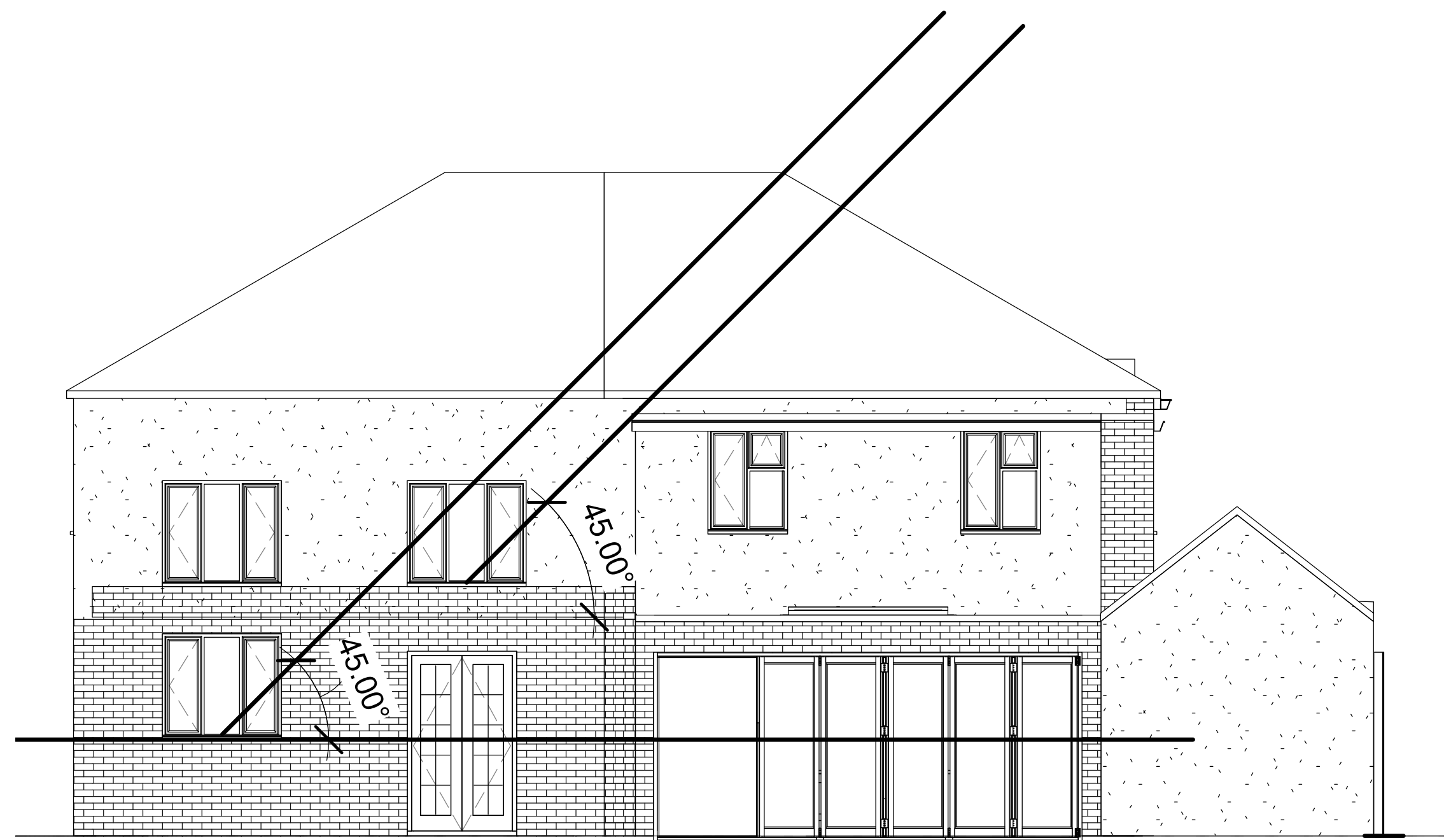


Proposed First Floor Plan
1 : 100

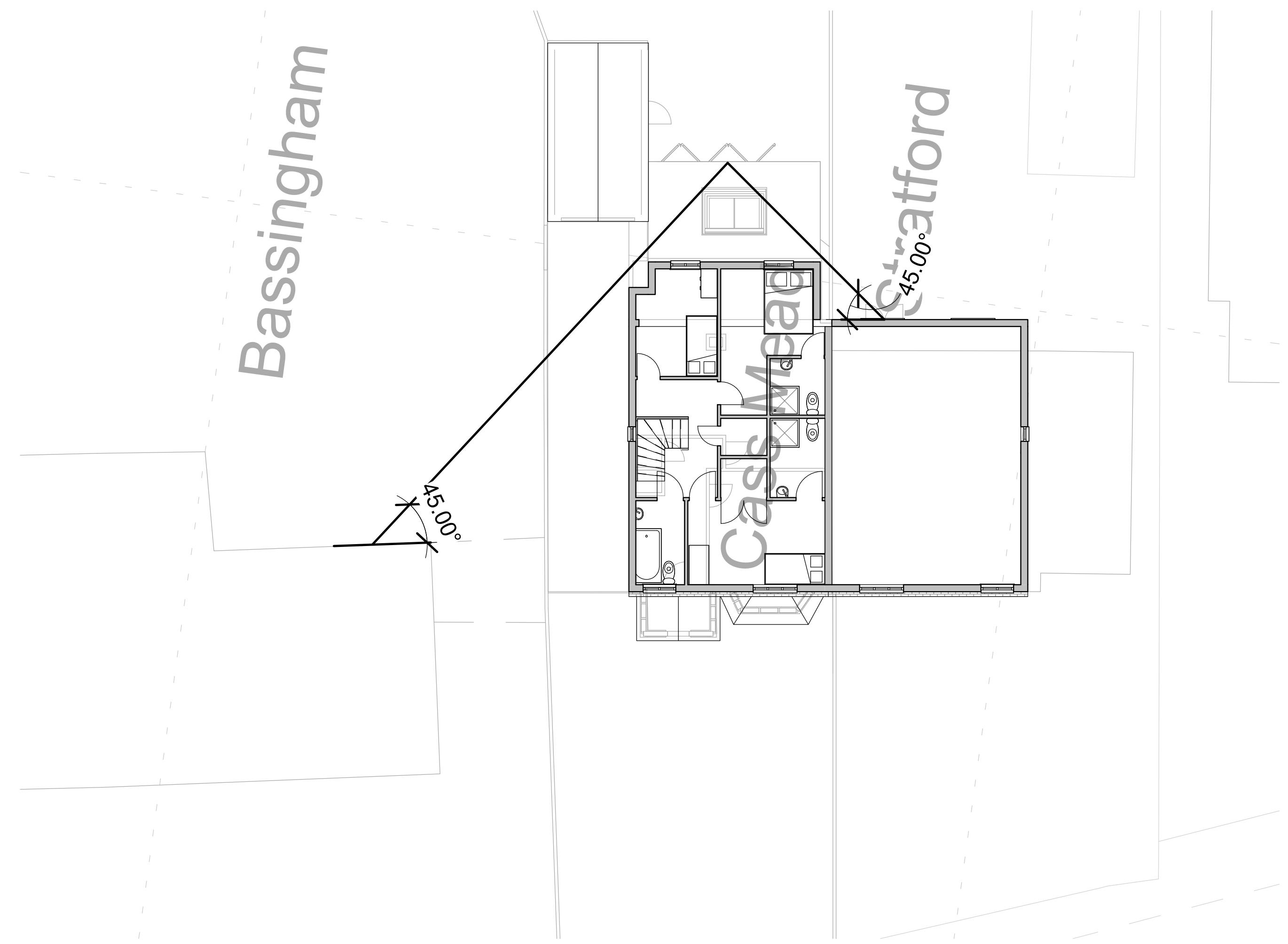


Proposed 3D

| | | |
|---|----------------------------------|------------------|
| PROJECT | | |
| Cassmead, Sandhurst Lane, Kingsholm, & Wotton, Gloucester, GL2 9AB | | |
| TITLE | | |
| Proposed Drawing | | |
| CLIENT | | |
| Mr & Mrs Joyce | | |
| DRAWN BY APG | CHECKED BY Checker | DATE 08/05/16 |
| SCALE (@ A1) 1 : 100 | PROJECT NUMBER Project Number | |
| DRAWING NUMBER A13 | REV | |

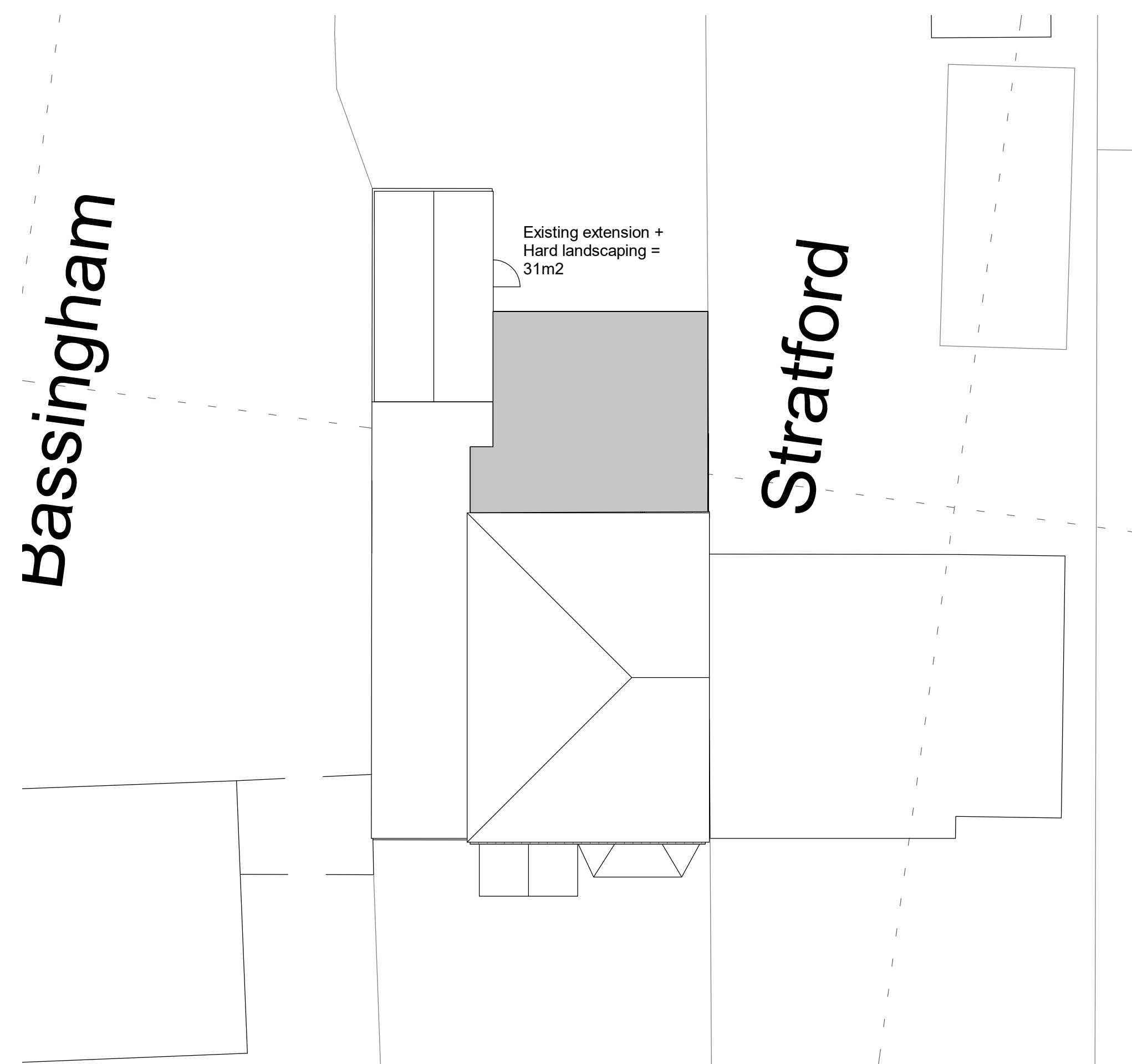


Right to light Elevation
1 : 100



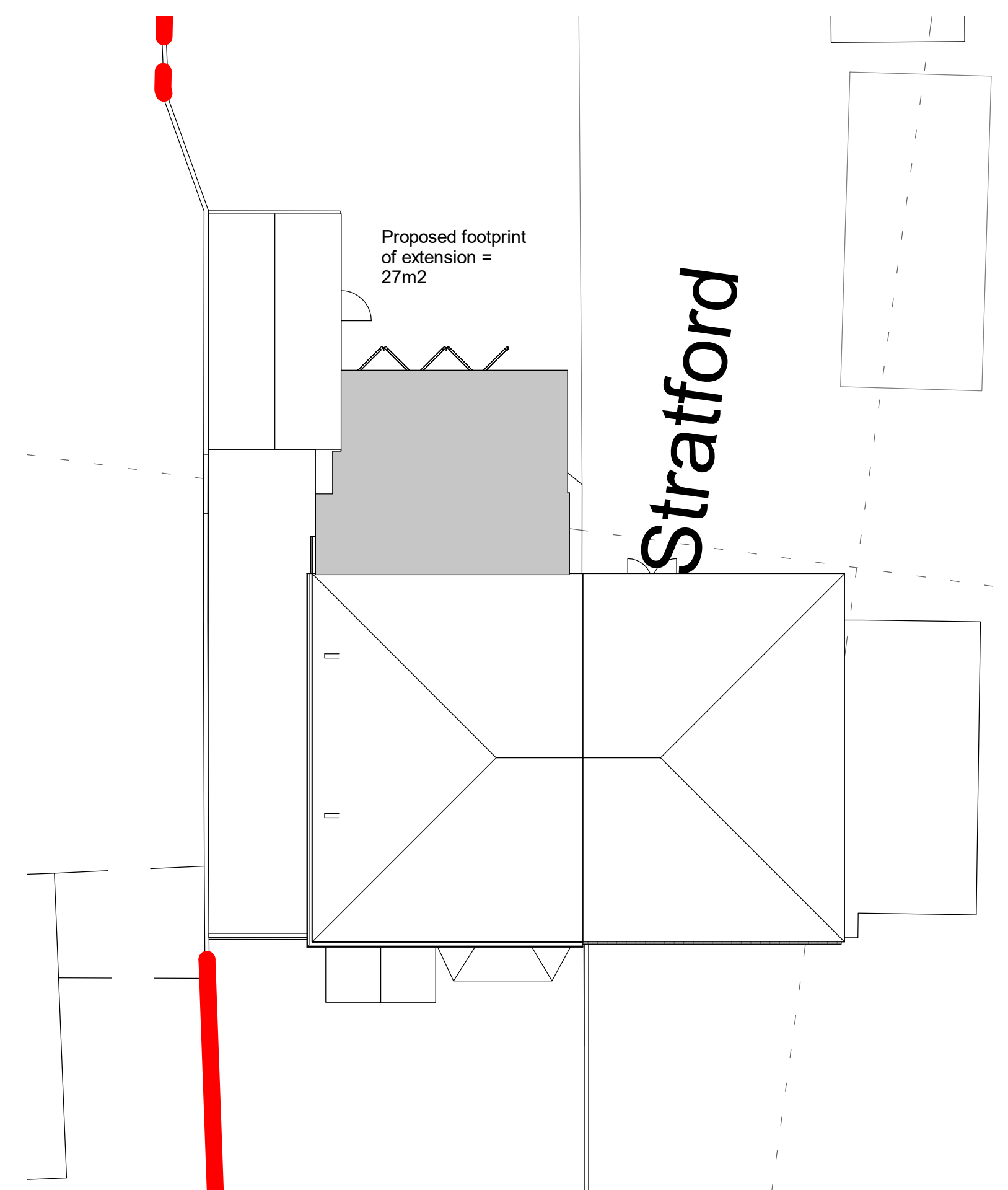
Right to light plan
1 : 200

| | | | | | | |
|---------|--|------------|----------------|----------------|----------------|--------------|
| PROJECT | Cassmead, Sandhurst Lane, Kingsholm, & Wotton, Gloucester, GL2 9AB | | | CLIENT | Mr & Mrs Joyce | |
| | Date | 29.09.2022 | Project number | Project Number | Scale (@ A3) | As indicated |
| SHEET | Right to Light Drawings | | | Drawn by | DRAWING NUMBER | |
| | | | | APG | A15 | |
| | | | Checked by | | | |
| | | | APG | | | |



Hard Surface area calculation

1 : 200

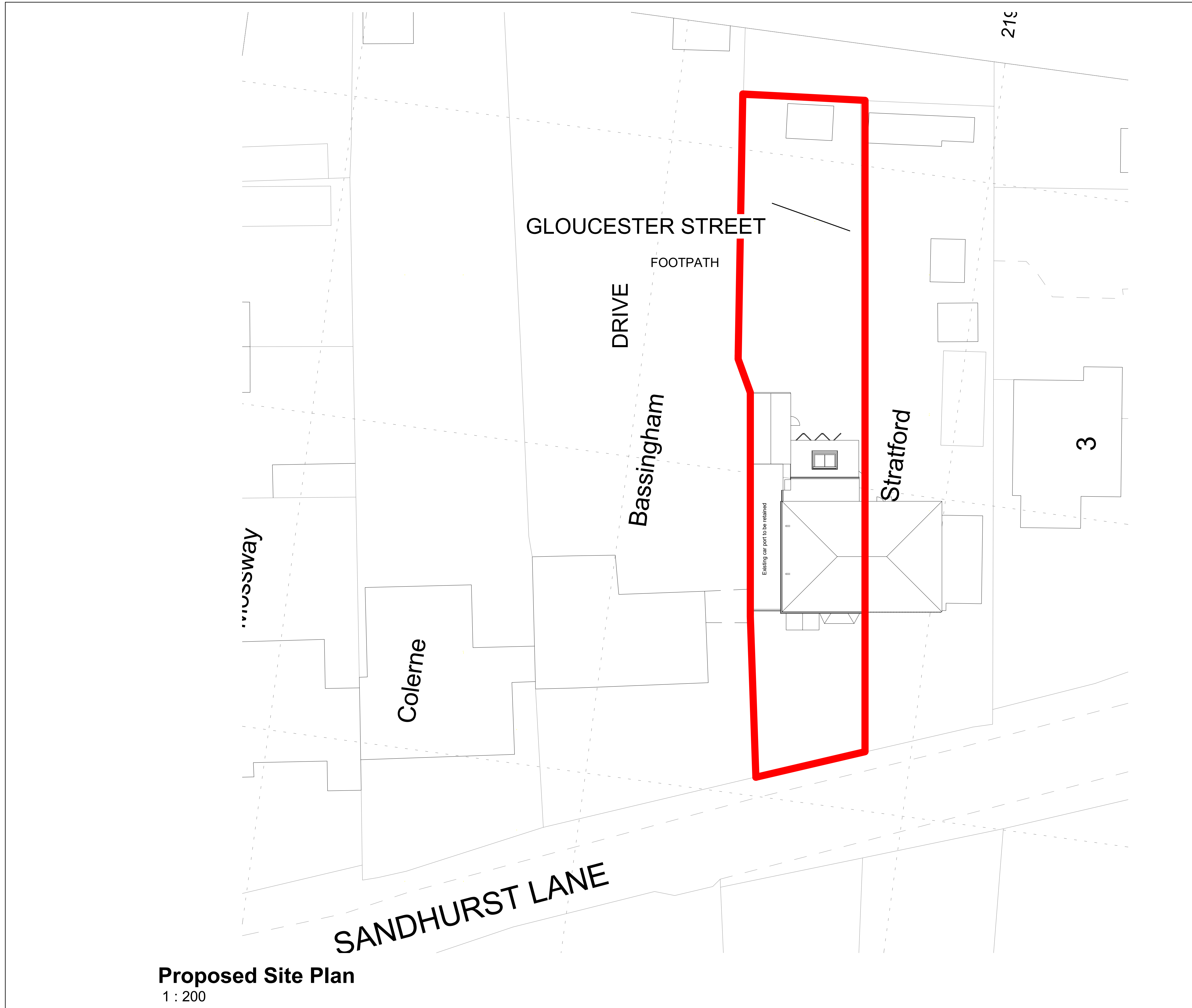


Hard surface proposed

1 : 200

Existing hard landscaping and extension footprint = 31m²
 Proposed extension footprint = 27m²
 Reduction in hard surfacing = **4m²**

| | | | |
|---|--|--------------------------|----------------------------------|
| PROJECT Cassmead, Sandhurst Lane, Kingsholm, & Wotton, Gloucester, GL2 9AB | | CLIENT Mr & Mrs Joyce | |
| SHEET Flood Risk Drawings | | Date 29.09.2022 | Project number Project Number |
| | | Scale (@ A3) 1 : 200 | REV |
| | | Drawn by Author | DRAWING NUMBER |
| | | Checked by Checker | A16 |



Proposed Site Plan
1 : 200

| | | |
|--|----------------|------------|
| PROJECT | | |
| Cassmead, Sandhurst Lane, Kingsholm, & Wotton, Gloucester, GL2 9AB | | |
| TITLE | | |
| Proposed Site Plan | | |
| CLIENT | | |
| Mr & Mrs Joyce | | |
| DRAWN BY | CHECKED BY | DATE |
| APG | Checker | 29.09.2022 |
| SCALE (@A2) | PROJECT | |
| 1 : 200 | Project Number | |
| DRAWING NUMBER | REV | |
| A104 | | |

FLOOD RISK ASSESSMENT

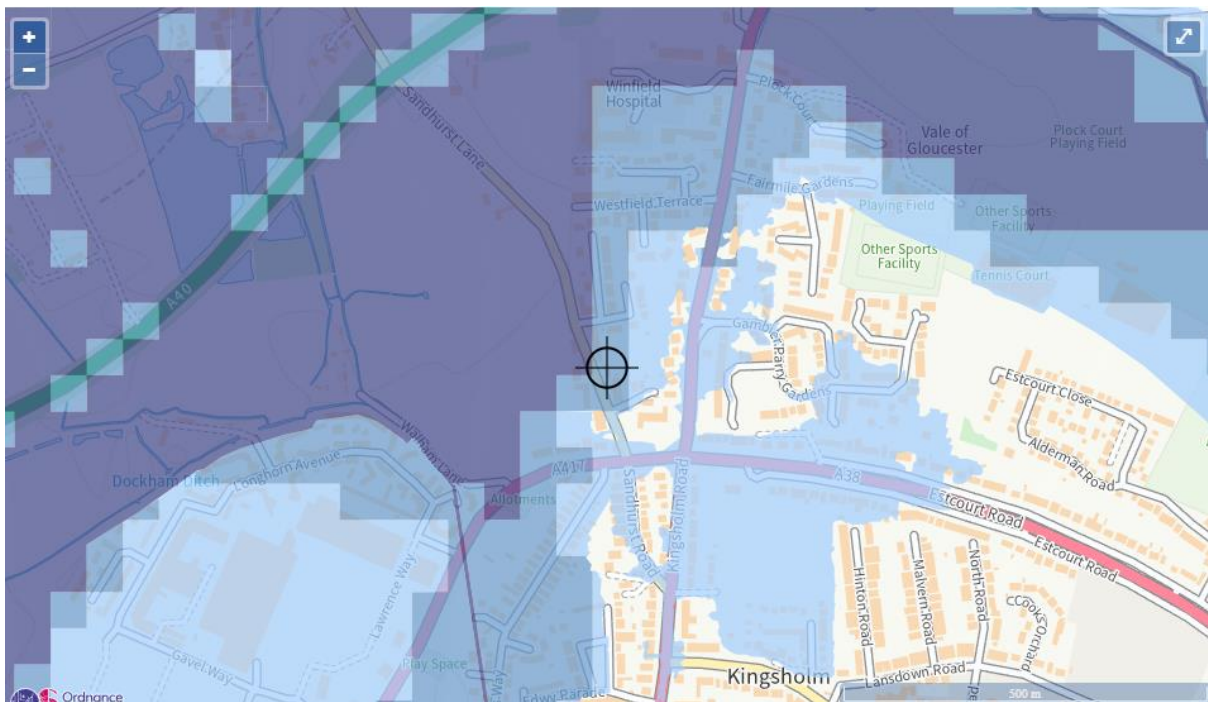
Proposed Development Location:

**Cassmead
Sandhurst Lane
Gloucester
GL2 9AB**

Date 30.09.2022

This document has been prepared on behalf of the property owner, Mr & Mrs Joyce. The document comprises of a Flood Risk Assessment in respect of the proposed extension to Cassmead, Sandhurst Lane.

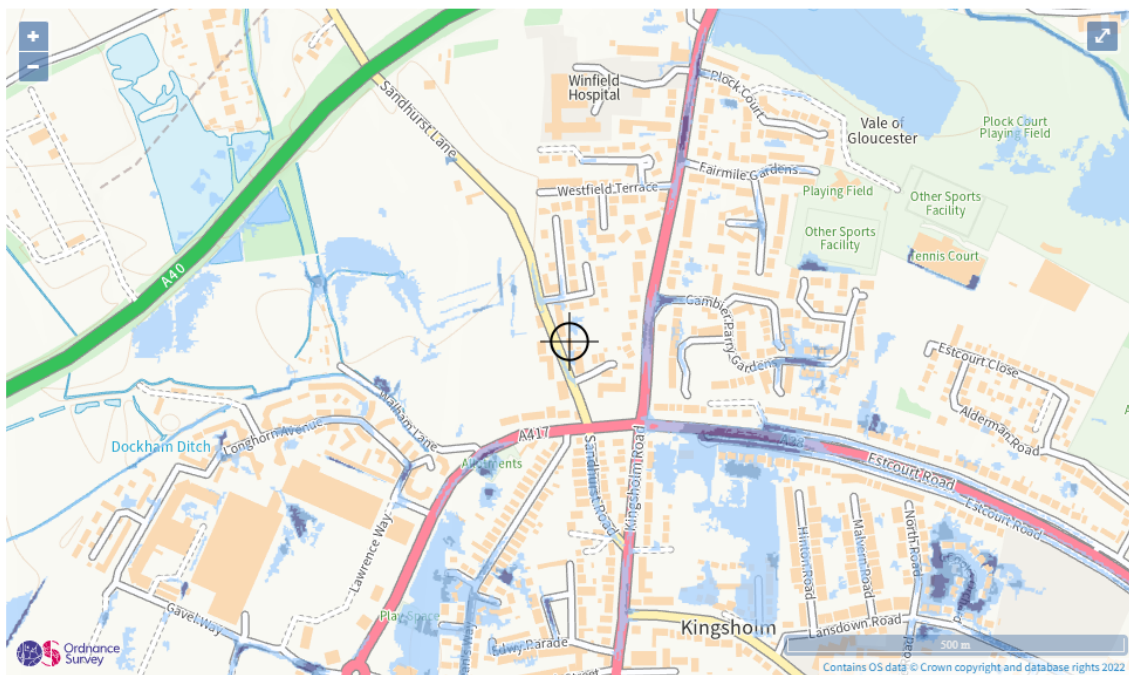
Flood Zone Classification



Flood Zone Classification the Environment Agency determines the site as falling within Flood Zone 2, an area with a medium probability of flooding. Flood Zone 2 defines the site as having between a 1 in 100 and 1 in 1,000 annual probability of river flooding (1% – 0.1%).

Surface water flooding

Low risk from surface water flooding



Extent of flooding from surface water

● High ● Medium ● Low ○ Very low ⊕ Location you selected

The Surface water mapping shows the property is not at risk from surface water flooding

The existing extension footprint and patio surface adjacent to this, is an area of 31m². The proposed extension will occupy an area of 27m², equal to 5.7% of the site area. No existing soft/permeable surface sits within the footprint of the extension.

The NPPF definition of minor development is as follows:

- 1. Minor non-residential extensions**
- 2. Alterations**
- 3. Householder development:** For example; sheds, garages, games rooms etc, within the curtilage of the existing dwelling, in addition to physical extensions in the existing dwelling itself.

The proposed development is considered a minor development within NPPF, Under NPPF it states that minor developments are unlikely to cause significant flood risk unless they:

- Have an adverse effect on a watercourse, flood plain or its defences
- Would Impede access to flood defence and management facilities, or
- Where the cumulative impact of such developments would have a significant effect on local flood storage capacity or flood flows

The proposed extension is within the footprint of an existing extension and hard landscaped areas none of the above are relevant to the proposal.

Flood resilience

Floor levels within the proposed extension will be set no lower than existing levels

And

Flood proofing of the proposed development has been considered by the applicant and incorporated where appropriate.

It is recommended that the proposed extension be subject to the following measures:

- As far as possible resilience measures will be taken on the outside and inside of the extension to a height of 1m
- No piping running under the extension will be metal due to threat of corrosion
- Electrics will run down from the ceiling to sockets and switches which will be set at a height of 1m
- There will be facility to make the external door flood proof
- Non return valves fitted to foul drainage

Drainage Strategy

The additional building footprint does not constitute to an increase in impermeable surface area and therefore a drainage strategy is not required.

Residual Risk

The property should be a subscriber to the EA flood line initiative which gives a three-phase warning system 1. Be aware of a possible flood threat 2. Prepare to evacuate 3. Get out

Groundwater

The proposed extension does not fall within any groundwater protection zones

Conclusion

The proposed extension falls within flood zone 2 and therefore the flood resilience measures outlined in this report will be incorporated into the proposal.

The proposed extension is within the existing footprint of the building and the patio hard surface; it can therefore be concluded that the flood risk remains the same.

DESIGN AND ACCESS STATEMENT

For proposed demolition of existing single storey extension to enable construction of a two storey extension to the rear of Cassmead, Sandhurst Lane, Gloucester, GL2 9AB

Author: [REDACTED]

1.0 The Site

1.1 The property is a semi-detached 3 bedroom dwelling located on Sandurst Lane, Gloucester



1.2 The property lies outside the conservation area

2.0 Use

2.1 The property is a privately owned 3 bedroom semi-detached dwelling.

2.2 The plans proposed are to demolish the existing ground floor extension and conservatory to facilitate the construction of a new two storey extension, to the rear of the house. The extension will provide additional ground floor space. The first floor layout will be revised to create larger bedrooms, 2 new en-suites and additional store.

3.0 Area & Scale

3.1 The total amount of existing ground floor space is 58m², and 46m² of first floor space excluding the existing garage and porch.

3.2 The proposed extension will constitute an additional 16m² to the ground floor to the GIFA, excluding the garage and porch.

3.3 The extension will set in from the existing structure on the rear elevation

3.4 These measures are aimed to ensure that the extension remains subservient to the existing building.

4.0 Landscaping

- 4.1 No trees or shrubs will be removed to facilitate construction.
- 4.2 A small area of existing patio will be used for the enlargement of the extension footprint, however the majority of the extension will be formed within the footprint of the existing building.
- 4.3 No alterations will be made to the existing entrance.

5.0 Appearance

- 5.1 The aesthetic nature of the materials for the proposed construction will match that of the existing structure, with red brick ground floor, and render coat on the upper floor, with UPVC windows to match existing and overlapping roof tiles to match existing.
- 5.2 As the property is located within a relatively built up area it is not thought that the proposal would have any detrimental effect on the character.
- 5.3 The extension walls are set in from the original house making the overall impression of the extension subservient to the original house. The window arrangement follows the same spacing as the original house.
- 5.4 A flat roof has been proposed to the extension as the existing pitched roof is joined to the neighbouring property. The housing extension design guide states that : a flat roof will not normally be permitted on two-storey extensions where they are visible from the street. The extension is not visible from the street. The design guide also states that flat roofs are acceptable to rear extensions.

6.0 Right to Light

The proposed extension is a ground floor only extension so the 45 degree rule does not apply.

7.0 Overlooking

No windows overlook neighbouring gardens

8.0 Overshadowing

There is no adverse overshadowing from the extension onto the neighbours property as the nearest adjacent property is South of the proposed extension.

9.0 Access

9.1 The property is located within easy walking distance of the local bus stop and amenities.

10.0 Sustainability

10.1 New windows will be 'A' rated energy efficient with a U-Value of 1.44

10.2 The new extension will be constructed with good levels of insulation and with air permeability in mind to ensure a 'fabric first' approach to improving energy efficiency.

10.3 The measures outlined above will improve the overall energy performance of the dwelling.