

Householder Application for Planning Permission for works or extension to a dwelling

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x) Northing (y)

Description

Applicant Details

Name/Company

Title

mr

First name

Piotr

Surname

Pigan

Company Name

Address

Address line 1

14 Bluebell Close

Address line 2

Address line 3

Gloucestershire

Town/City

Gloucester

Country

Postcode

GL4 4GP

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

Secondary number

Fax number

Email address

Agent Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Contact Details

Primary number

Secondary number

Fax number

Email address

Description of Proposed Works

Please describe the proposed works

Has the work already been started without consent?

Yes

No

Materials

Does the proposed development require any materials to be used externally?

Yes

No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

Type:

Walls

Existing materials and finishes:

facing brick

Proposed materials and finishes:

facing brick

Type:

Roof

Existing materials and finishes:

concrete interlocking tiles

Proposed materials and finishes:

concrete interlocking tiles

Type:

Windows

Existing materials and finishes:

white upvc

Proposed materials and finishes:

white upvc

Type:

Doors

Existing materials and finishes:

red composite front door white upvc rear door metal garage doors

Proposed materials and finishes:

white aluminium rear bi-fold doors metal garage doors

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

PP001 AND PP002

Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

Yes

No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

Yes

No

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

- Yes
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes
 No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

- Yes
 No

Parking

Will the proposed works affect existing car parking arrangements?

- Yes
 No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
 The applicant
 Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes
 No

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
(b) an elected member
(c) related to a member of staff
(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

Yes

No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

Yes

No

Is any of the land to which the application relates part of an Agricultural Holding?

Yes

No

Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

The Applicant

The Agent

Title

mr

First Name

Piotr

Surname

Pigan

Declaration Date

20/09/2022

Declaration made

Declaration

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

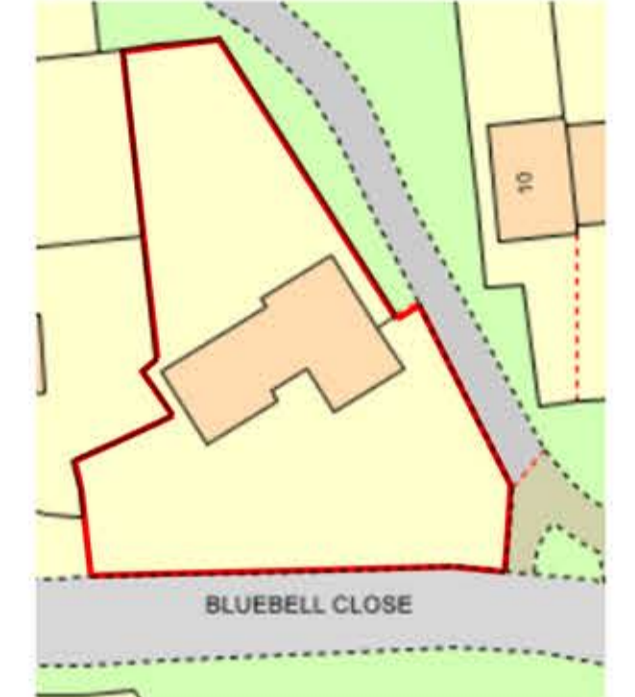
richard matthews

Date

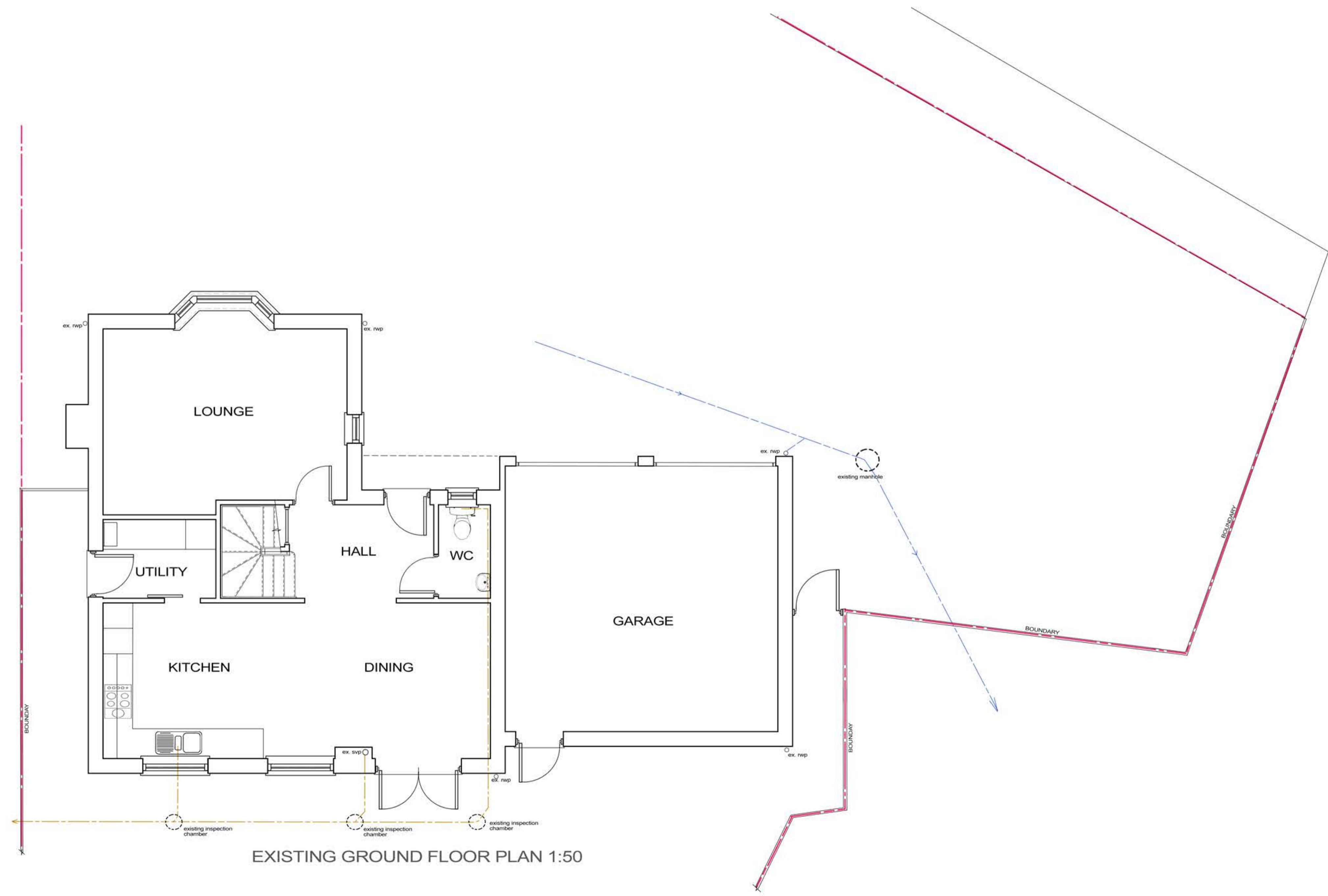
20/09/2022



SITE LOCATION 1:1250



EXISTING BLOCK PLAN 1:500



EXISTING GROUND FLOOR PLAN 1:50



Client PIOTR PIGAN

Job Title
EXISTING GARAGE CONVERSION AND PROPOSED NEW DETACHED GARAGE AND STORE TO NO. 14 BLUEBELL CLOSE, ABBEYMEAD, GLOUCESTER.

Dwg Title
EXISTING PLANS AND ELEVATIONS
SITE LOCATION AND BLOCK PLAN

Scale 1:50 1:100 1:1250 1:500

Date

Dwg No.

ROOF CONSTRUCTION MAIN ROOF

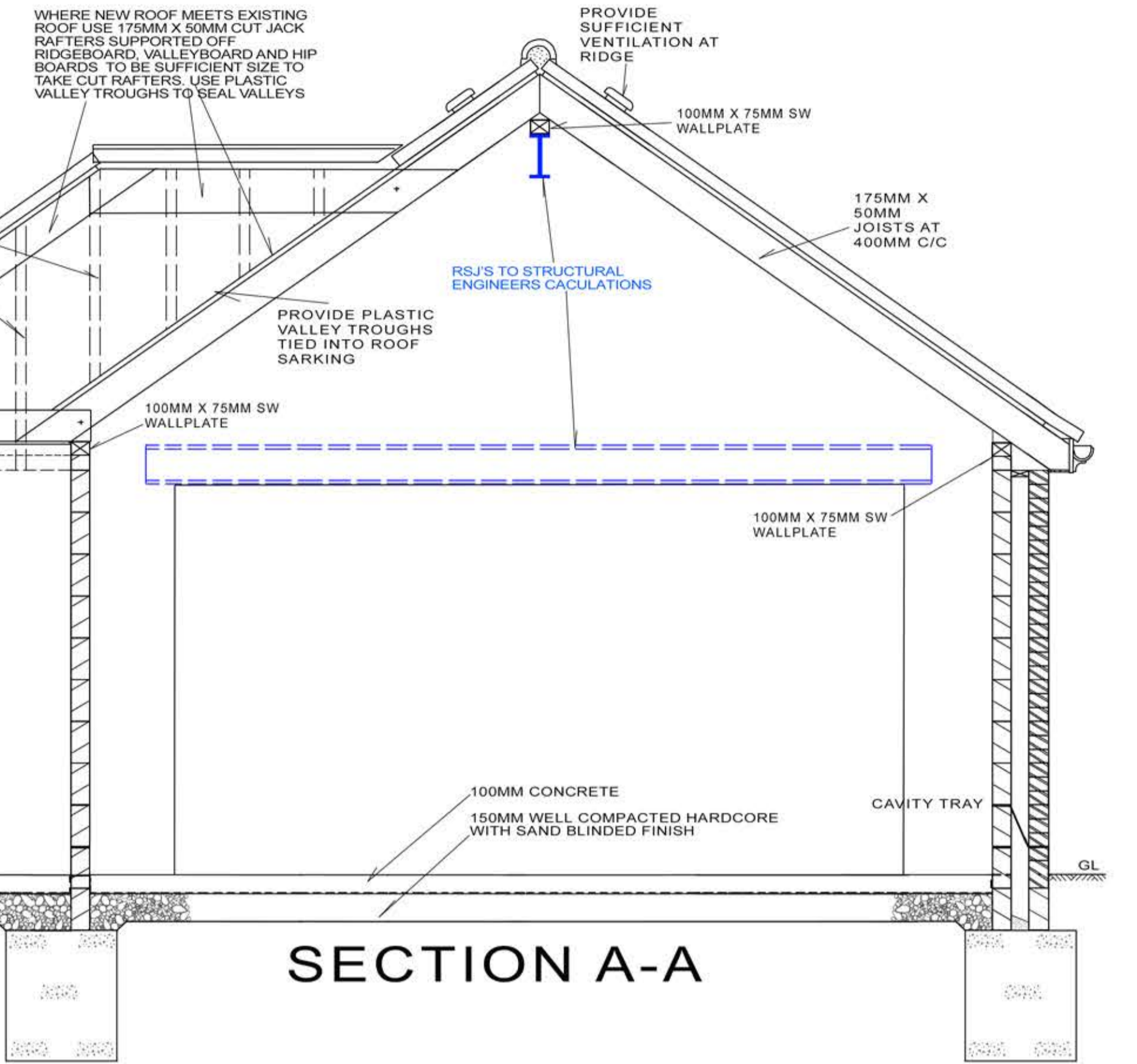
TRADITIONAL ROOF CONSTRUCTION BUILT ON SITE. CONCRETE INTERLOCKING TILES TO MATCH EXISTING HOUSE ON 25X38MM TREATED SW BATTENS ON KINGSPAN NILVENT MEMBRANE ON 175MM X50MM SW RAFTERS AT 400MM C/C. SUPPORTED AS PER SECTION. SUPPORTED AT EAVES BY 100MM X 75MM WALLPLATES TO BE STRAPPED DOWN 100MM TO BLOCKWORK WITH 30X55MM GALVANISED STRAPS. ALLOW FOR LATERAL RESTRAINT TIES AT CEILING AND RAFTER LEVEL AT 2000MM CENTRES WITH NOGGINs AND BLOCKS SECURED TO 3 NO. RAFTERS TO WALLS. CEILING BINDER PROVIDED ACROSS CEILING FIXED TO TRUSS RAFTERS ABOVE CEILING. 100 X 25MM TIMBER DIAGONAL BRACING TO BE USED. ALL ROOF VENTILATION TO COMPLY WITH BUILDING REGULATIONS DOCUMENT F2

VENTILATION

WINDOW VENTILATION OPENINGS MIN. 1/20TH FLOOR AREA OF HABITABLE ROOMS. ALL WINDOWS TO HAVE TRICKLE VENTS. PROVIDE MECHANICAL VENTILATION TO NEW EN-SUITE 15L/S.

LINTELS

EXTERNAL LINTELS TO BE CATNIC OR SIMILAR APPROVED. CAVITY TRAYS OVER LINTELS WITH WEEP HOLES AT 450MM LATERAL CENTRES. INTERNAL LINTELS TO BE MIN. 100 X 140MM PRECAST CONCRETE.

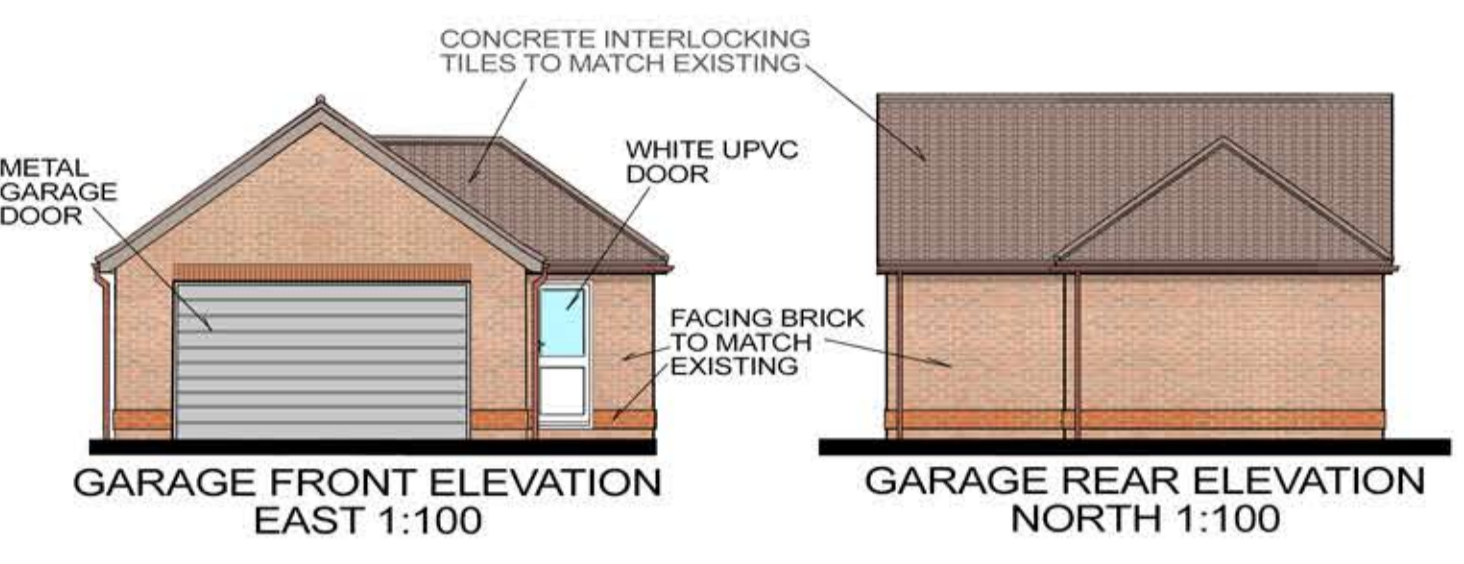


SECTION A-A



PROPOSED FRONT ELEVATION (STREET SCENE) SOUTH 1:100

PROPOSED SIDE ELEVATION WEST 1:100

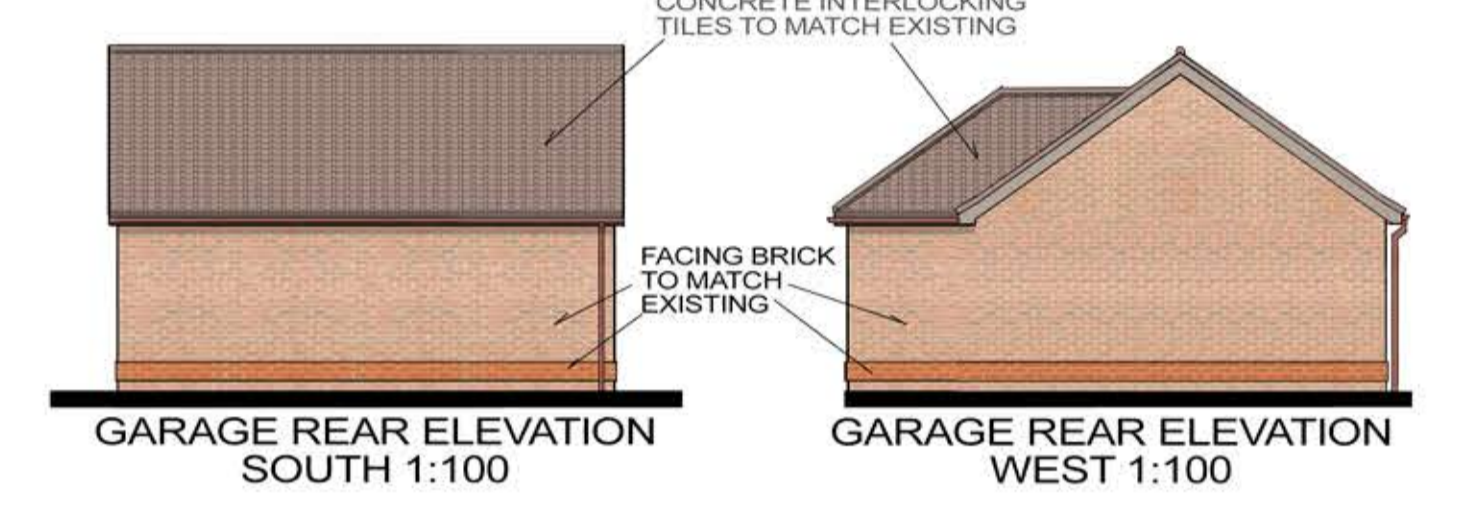


GARAGE FRONT ELEVATION EAST 1:100

GARAGE REAR ELEVATION NORTH 1:100

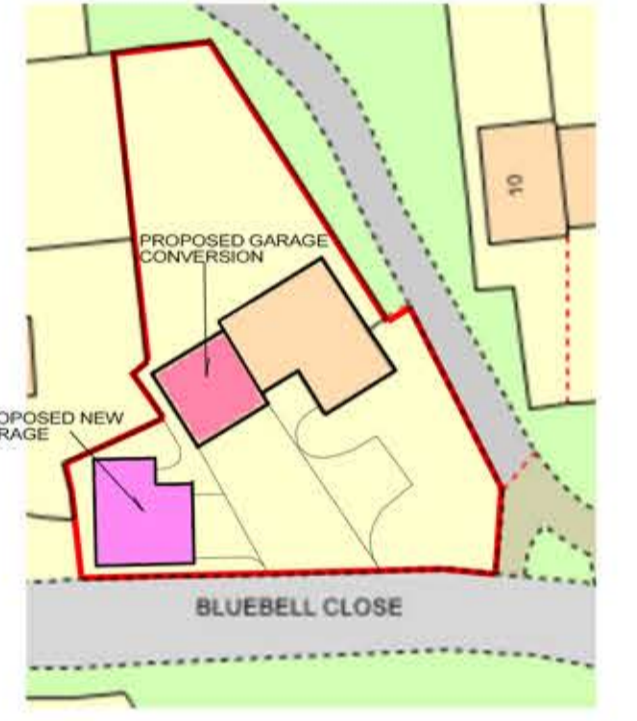


PROPOSED REAR ELEVATION NORTH 1:100



GARAGE REAR ELEVATION SOUTH 1:100

GARAGE REAR ELEVATION WEST 1:100



PROPOSED BLOCK PLAN 1:500

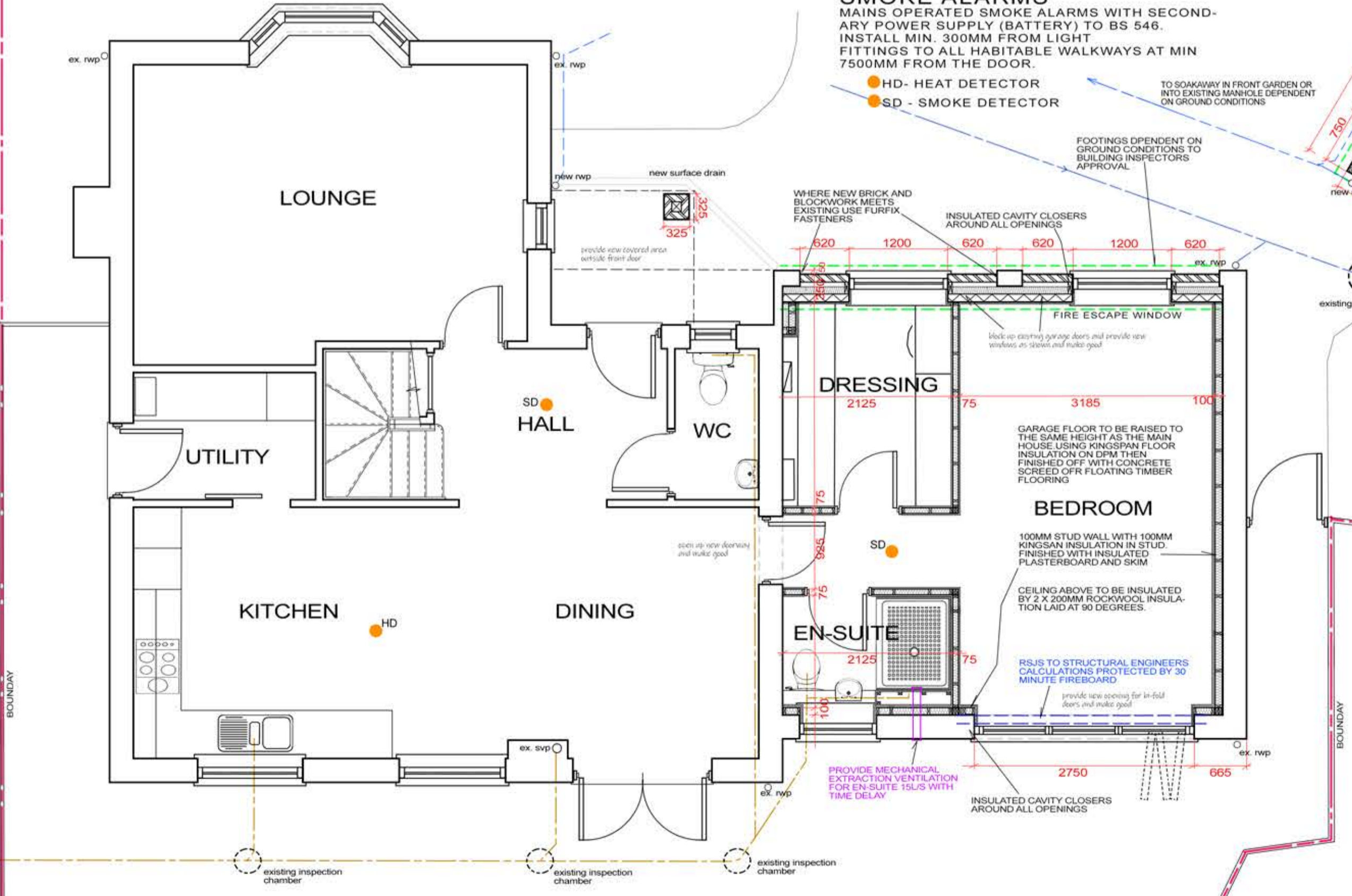
NOTE

THE CONTRACTOR IS TO CHECK AND VERIFY ALL BUILDING AND SITE DIMENSIONS, LEVELS AND SEWER INVERT LEVELS AT CONNECTION POINTS BEFORE WORK STARTS. THE CONTRACTOR IS TO COMPLY IN ALL ASPECTS WITH CURRENT BUILDING LEGISLATION - BRITISH STANDARDS SPECIFICATIONS, BUILDING REGULATIONS ETC. WHETHER OR NOT SPECIALLY STATED ON THIS DRAWING. THIS DRAWING MUST BE READ WITH AND CHECKED AGAINST ANY STRUCTURAL, GEOTECHNICAL OR OTHER SPECIALIST DOCUMENTATION. THIS DRAWING IS NOT INTENDED TO SHOW DETAILS OF FOUNDATIONS, GROUND CONDITIONS OR GROUND CONTAMINANTS. THE CONTRACTOR WILL INVESTIGATE THE BUILDING AREA AND A SUITABLE METHOD OF FOUNDATION FOR THE WHOLE BUILD SHOULD BE PROVIDED ALLOWING FOR EXISTING GROUND CONDITIONS. ANY SUSPECT GROUND CONDITIONS SHOULD BE FURTHER INVESTIGATED BY A SUITABLE EXPERT. MEASUREMENTS FOR ANY PRODUCTS THAT ARE PRE-FABRICATED OFF SITE ARE TO BE MEASURED OFF SITE AND NOT SCALED OFF THESE DRAWINGS.

SMOKE ALARMS

MAINS OPERATED SMOKE ALARMS WITH SECONDARY POWER SUPPLY (BATTERY) TO BS 546. INSTALL MIN. 300MM FROM LIGHT FITTINGS TO ALL HABITABLE WALKWAYS AT MIN 7500MM FROM THE DOOR.

- HD - HEAT DETECTOR
- SD - SMOKE DETECTOR



PROPOSED GROUND FLOOR PLAN 1:50

EXTERNAL WALLS- FRONT EXISTING OF GARAGE

FACING BRICK TO MATCH EXISTING HOUSE. 150MM CAVITY WITH 100MM KINGSPAN INSULATION IN CAVITY. 100MM THERMALITE (OR SIMILAR) INSULATING BLOCKWORK, DRY LINED WITH 12.5MM PLASTERBOARD & SKIM COAT. INSULATION IN CAVITIES TAKEN DOWN TO FINISH IN LINE WITH THE UNDERSIDE OF THE FLOOR INSULATION. WALL TIES AT 750MM CENTRES HORIZONTALLY AND 450MM CENTRES VERTICALLY AROUND UNBONDED JAMBS WALL TIES TO BE 450MM HORIZONTALLY AND 225MM VERTICALLY. 150MM VERTICAL DPC AROUND DOOR AND WINDOW OPENINGS AND INSULATED CAVITY CLOSERS AROUND OPENINGS TO ELIMINATE COLD BRIDGING. WALLS TO BE SEALED AT EAVES LEVEL WITH INSULATED CAVITY CLOSERS.

INNER STUD PARTITION WALLS

50 X 75MM STUD PARTITIONS WITH INSULATION BETWEEN AS SOUND DEADENING. 12.5MM PLASTERBOARD AND SKIM COAT TO EACH FACE.

ELECTRICS

ALL SWITCHES AND SOCKETS TO BE LOCATED SO THEY ARE EASILY REACHABLE. BETWEEN 450MM AND 1200MM FROM FLOOR LEVEL. ALL WIRING AND ELECTRICAL WORKS WILL BE DESIGNED, INSTALLED, INSPECTED AND TESTED IN ACCORDANCE WITH REQUIREMENTS OF BS 7671. IEE LATEST EDITION WIRING GUIDANCE AND BUILDING REGULATIONS PART P (COMPETENT PERSON MEANS MEMBER OF THE O.D.P.M. COMPETENT PERSONS SCHEME). THE COMPETENT PERSON IS TO SEND TO THE LOCAL AUTHORITY A 'SELF CERTIFICATION CERTIFICATE' WITHIN 30 DAYS OF THE ELECTRICAL WORKS COMPLETION. THE CLIENT MUST RECEIVE BOTH A COPY OF THE 'SELF CERTIFICATION CERTIFICATE' AND A BS 7671 ELECTRICAL INSTALLATION CERTIFICATE. ENSURE 75 PERCENT OF ALL NEW LIGHT FITTINGS ARE EFFICIENT FITTINGS.

PLUMBING

HEATING TO NEW ROOMS FROM HOT WATER RADIATOR LINKED INTO EXISTING BOILER. ALL NEW RADIATORS TO BE FITTED WITH TRVs. ALL WORK TO BE INSTALLED AND COMMISSIONED BY A QUALIFIED TRADESMAN IN ACCORDANCE WITH THE DOMESTIC HEATING GUIDE 2010.

WINDOWS

WHITE UPVC DOUBLE GLAZED WINDOWS AND DOORS AND WHITE ALUMINIUM BI-FOLD DOORS WITH DOUBLE GLAZED UNITS MIN 24MM COMPRISING 4MM PILKINGTON K GLASS. ALL GLASS WINDOWS UP TO A HEIGHT OF 800MM ABOVE FLOOR LEVEL AND 150MM WITHIN 300MM FROM A DOOR AND ALL DOORS UP TO A HEIGHT OF 1500MM ABOVE FLOOR LEVEL TO BE TOUGHENED OR LAMINATED TO BS 6206. WINDOWS TO HAVE MAX. U VALUE OF 1.4 W/M2K. WINDOWS TO PROVIDE DAYLIGHT EQUIVALENT TO 1/10TH FLOOR AREA AND OPENABLE VENTILATION 1/20TH FLOOR AREA. ALL HABITABLE ROOMS TO HAVE FIRE ESCAPE WINDOWS WITH MIN 450MM WIDE AND 450MM HIGH OPENING AND MIN AREA OF 0.75 M2.

EXTERNAL WALLS - PROPOSED GARAGE

FACING BRICK TO MATCH EXISTING HOUSE. 100MM CAVITY. 100MM CONCRETE BLOCK INNER WALL. WALL TIES AT 750MM CENTRES HORIZONTALLY AND 450MM CENTRES VERTICALLY AROUND UNBONDED JAMBS WALL TIES TO BE 450MM HORIZONTALLY AND 225MM VERTICALLY. 150MM VERTICAL DPC AROUND DOOR AND WINDOW OPENINGS AND INSULATED CAVITY CLOSERS AROUND OPENINGS TO ELIMINATE COLD BRIDGING. WALLS TO BE SEALED AT EAVES LEVEL WITH INSULATED CAVITY CLOSERS.

GROUND FLOOR - PROPOSED GARAGE

100MM CONCRETE BASE LAYER ON 1200 GAUGE POLY D.P.M. SHEETING ON 150MM WELL COMPACTED AND CONSOLIDATED HARDWARE FILL (ALLOW FOR COMPACTED SAND ON HARDWARE TO AVOID TEARS IN D.P.M.).

DRAINAGE

ALLOW FOR LONG RADIUS BENDS. 40MM WASTE FROM BATHS & BASINS. 50MM FROM SINKS & SHOWERS ALL WITH 75MM SEALS. 100MM WASTE FROM W.C. WITH 50MM SEAL. WHERE ANY DRAINS PASS UNDER FLOOR SLABS ENCASE IN MIN. 150MM PEA GRAVEL AND LINTELS INSTALLED WHERE THEY PASS THROUGH WALLS WITH COMPRESSIBLE MATERIAL AROUND HOLE. ANTI-SYMPHONIC TRAPS TO BE USED FOR ALL BATHROOM APPLIANCES. DRAINPIPES 100MM SUPERSLEVE LAID AT MIN. 1 IN 80 FALL TO CONNECT UP TO EXITING DRAINAGE RUN. NEW MANHOLE POSITION AS PER PLANS. STORMDRAINS: 63MM DOWNPIPES TO GULLIES WITH COPPER WIRE BALLOONS AT GUTTER JUNCTIONS. GUTTERS 100MM TRUE HALF ROUND LAID TO FALL FROM GULLIES. 100MM SUPERSLEVE DRAINS TO DRAIN AWAY INTO EXISTING DRAINAGE RUN.

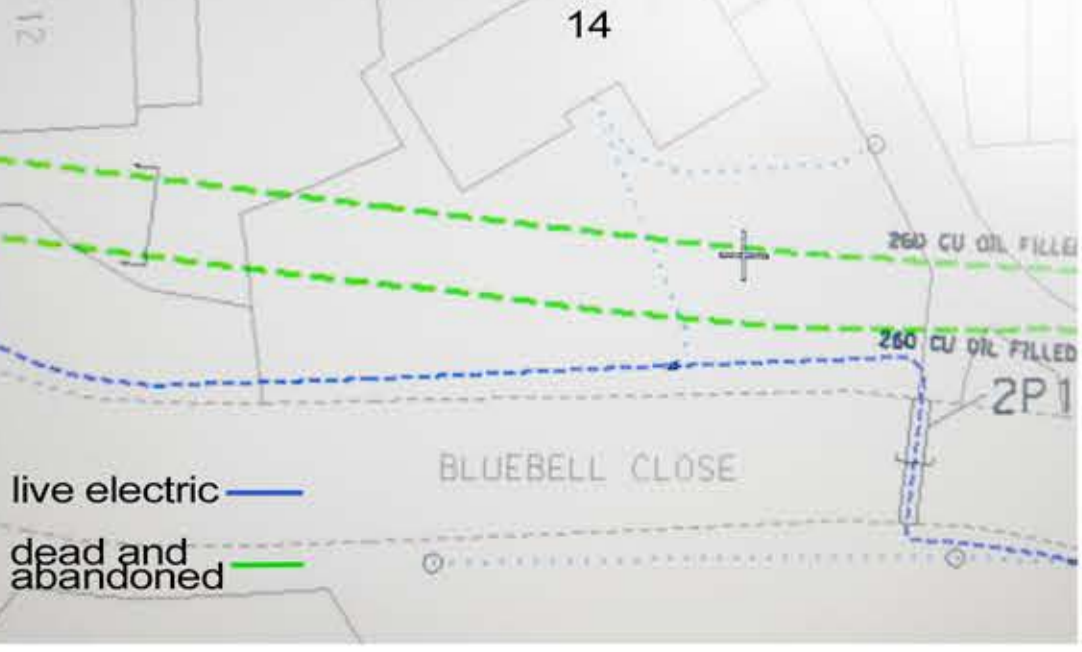
SUBSTRUCTURE WALLS

INNER SKIN TO BE 100MM 7N/m2 CONCRETE BLOCK BELOW D.P.C LEVEL. USE SAME TO EXTERNAL SKIN BELOW GROUND LEVEL AND FACING BRICK ABOVE GROUND LEVEL UP TO D.P.C. BUILD IN FULL WIDTH D.P.C AT MINIMUM 150MM ABOVE GROUND LEVEL. LINK TO D.P.M. BUILD IN CAVITY TRAY IMMEDIATELY OVER D.P.C. TO FULL PERIMETER OF BUILDING. BUILD LINTELS WHERE SEWERS DRAINS PASS THROUGH EXTERNAL WALLS. ENSURE MINIMUM 150MM CLEARANCE AROUND DRAINS WILL FLEXIBLE MATERIAL FILLING TO VOID SPACE. WEAK MIX CONCRETE CAVITY FILL TO BASE OF WALL TO 225MM.

FOOTINGS

CONCRETE STRIP FOUNDATIONS TO MIN. 1000MM BELOW GROUND LEVEL TO LOCAL AUTHORITY APPROVAL. FOOTINGS TO BE CLEAR OF ROOTS AND DEBRIS PRIOR TO POURING CONCRETE. MESS FILL TO 3 COURSES BELOW LOWEST D.P.C. LEVEL.

SITE TO BE CHECKED FOR POSITION NOF ANY LIVE CABLES BEFORE COMMENCING BUILD



RM Architectural Services
Design and Planning

Client **PIOTR PIGAN**

Job Title
EXISTING GARAGE CONVERSION AND PROPOSED NEW DETACHED GARAGE AND STORE TO NO. 14 BLUEBELL CLOSE, ABBEYMEAD, GLOUCESTER.

Dwg Title
PROPOSED PLANS AND ELEVATIONS SITE LOCATION AND BLOCK PLAN SECTION AND DETAILS

Scale 1:50 1:100 1:1250 1:500 1:25

Date

Dwg No. PP002



Householder and other minor extensions in Flood Zones 2 and 3

This guidance is for domestic extensions; and non-domestic extensions where the additional footprint created by the development does not exceed 250 square metres. It should NOT be applied if an additional dwelling is being created.

We recommend that:

Planning Authorities

- 1) Refer the applicant to the standing advice pages on the Environment Agency website or provide them with a copy of this page for them to include as part of the planning application submission.
- 2) Check the planning application to ensure that one or other of the mitigation measures from the table below has been incorporated.

Applicants complete the table below and include it with the planning application submission. The table, together with the supporting evidence, will form the Flood Risk Assessment (FRA) and will act as an assurance to the Local Planning Authority that flood risk issues have been adequately addressed. Print the completed form to a PDF writer if submitting this form electronically.

Applicant to choose one or other of the flood mitigation measures below	Applicant to provide the LPA with the supporting information detailed below as part of their FRA	Applicant to indicate their choice in the box below. Enter 'yes' or 'no'
Either ; Floor levels within the proposed development will be set no lower than existing levels AND, flood proofing of the proposed development has been incorporated where appropriate.	Details of any flood proofing / resilience and resistance techniques, to be included in accordance with 'Improving the flood performance of new dwellings' CLG (2007)	Yes.
Or, Floor levels within the extension will be set 300mm above the known or modelled 1 in 100 annual probability river flood (1%) or 1 in 200 annual probability sea flood (0.5%) in any year. This flood level is the extent of the Flood Zones	This must be demonstrated by a plan that shows finished floor levels relative to the known or modelled flood level. All levels should be stated in relation to Ordnance Datum ¹	

Subterranean/basement extensions

Due to the risk of rapid inundation by floodwater; basements should be avoided in areas at risk of flooding.

The LPA may hold additional guidance for basement extensions.

Self-contained basement dwellings are 'Highly Vulnerable' development and should not be permitted in flood zone 3. We are fundamentally opposed to these developments.

Continued...

¹ Ordnance Datum or the abbreviation 'OD' is the mean level of the sea at Newlyn in Cornwall from which heights above sea level are taken. The contour