

## Application for a Lawful Development Certificate for a Proposed Use or Development

### Town and Country Planning Act 1990 (as amended)

#### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

### Site Location

**Disclaimer:** We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)  Northing (y)

Description

## Applicant Details

### Name/Company

Title

mr

First name

david

Surname

bevan

Company Name

### Address

Address line 1

10 Alpine Close

Address line 2

Address line 3

Town/City

Gloucester

County

Gloucestershire

Country

Postcode

GL4 4QZ

Are you an agent acting on behalf of the applicant?

Yes

No

### Contact Details

Primary number

Secondary number

Fax number

Email address

## Agent Details

### Name/Company

Title

First name

Surname

Company Name

### Address

Address line 1

Address line 2

Address line 3

Town/City

County

Country

Postcode

## Contact Details

Primary number

\*\*\*\*\* REDACTED \*\*\*\*\*

Secondary number

Fax number

Email address

\*\*\*\*\* REDACTED \*\*\*\*\*

## Description of Proposal

Does the proposal consist of, or include, the carrying out of building or other operations?

Yes

No

If Yes, please give detailed description of all such operations (includes the need to describe any proposal to alter or create a new access, layout any new street, construct any associated hard-standings, means of enclosure or means of draining the land/buildings) and indicate on your plans (in the case of a proposed building the plan should indicate the precise siting and exact dimensions)

single storey rear extension

Does the proposal consist of, or include, a change of use of the land or building(s)?

Yes

No

Has the proposal been started?

Yes

No

## Grounds for Application

### Information about the existing use(s)

Please explain why you consider the existing or last use of the land is lawful, or why you consider that any existing buildings, which it is proposed to alter or extend are lawful

the use is lawful because the applicant owns the property. It is currently a domestic dwelling and will remain so.

Please list the supporting documentary evidence (such as a planning permission) which accompanies this application

Select the use class that relates to the existing or last use.

C3 - Dwellinghouses

**Please note that following changes to Use Classes on 1 September 2020:** The list includes the now revoked Use Classes A1-5, B1, and D1-2 that should not be used in most cases. Also, the list does not include the newly introduced Use Classes E and F1-2. To provide details in relation to these or any 'Sui Generis' use, select 'Other' and specify the use where prompted. See help for more details on Use Classes.

### Information about the proposed use(s)

Select the use class that relates to the proposed use.

C3 - Dwellinghouses

**Please note that following changes to Use Classes on 1 September 2020:** The list includes the now revoked Use Classes A1-5, B1, and D1-2 that should not be used in most cases. Also, the list does not include the newly introduced Use Classes E and F1-2. To provide details in relation to these or any 'Sui Generis' use, select 'Other' and specify the use where prompted. See help for more details on Use Classes.

Is the proposed operation or use

- Permanent  
 Temporary

Why do you consider that a Lawful Development Certificate should be granted for this proposal?

The certificate should be granted because the proposal falls within the guidelines where planning permission is not required

### Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes  
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent  
 The applicant  
 Other person

### Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes  
 No

### Authority Employee/Member

**With respect to the Authority, is the applicant and/or agent one of the following:**

- (a) a member of staff  
(b) an elected member  
(c) related to a member of staff  
(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes  
 No

## Interest in the Land

Please state the applicant's interest in the land

- Owner
- Lessee
- Occupier
- Other

## Declaration

I / We hereby apply for Lawful development: Proposed use as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

richard matthews

Date

14/11/2022





EXISTING FRONT ELEVATION  
SOUTHEAST 1:100



EXISTING SIDE ELEVATION  
SOUTHWEST 1:100



EXISTING REAR ELEVATION  
NORTHWEST 1:100



EXISTING SIDE ELEVATION  
NORTHEAST 1:100



PROPOSED FRONT ELEVATION  
SOUTHEAST 1:100



PROPOSED SIDE ELEVATION  
SOUTHWEST 1:100



PROPOSED REAR ELEVATION  
NORTHWEST 1:100



PROPOSED SIDE ELEVATION  
SOUTHWEST 1:100

**LINTELS**  
EXTERNAL LINTELS TO BE CATNIC OR SIMILAR APPROVED. CAVITY TRAYS OVER LINTELS WITH WEEP HOLES AT 450MM LATERAL CENTRES. INTERNAL LINTELS TO BE MIN. 100 X 140MM PRECAST CONCRETE.

**VENTILATION**  
WINDOW VENTILATION OPENINGS MIN. 1/20TH FLOOR AREA OF HABITABLE ROOMS. ALL WINDOWS TO HAVE TRICKLE VENTS. PROVIDE MECHANICAL VENTILATION DOWNSTAIRS TO KITCHEN(60L/S)

**ELECTRICS**  
ALL SWITCHES AND SOCKETS TO BE LOCATED SO THEY ARE EASILY REACHABLE. BETWEEN 450MM AND 1200MM FROM FLOOR LEVEL. ALL WIRING AND ELECTRICAL WORKS WILL BE DESIGNED, INSTALLED, INSPECTED AND TESTED IN ACCORDANCE WITH REQUIREMENTS OF BS 7671. IEE LATEST EDITION WIRING GUIDANCE AND BUILDING REGULATIONS PART P (COMPETENT PERSON MEANS MEMBER OF THE O.D.P.M. COMPETENT PERSONS SCHEME). THE COMPETENT PERSON IS TO SEND TO THE LOCAL AUTHORITY A "SELF CERTIFICATION CERTIFICATE" WITHIN 30 DAYS OF THE ELECTRICAL WORKS COMPLETION. THE CLIENT MUST RECEIVE BOTH A COPY OF THE "SELF CERTIFICATION CERTIFICATE" AND A BS 7671 ELECTRICAL INSTALLATION CERTIFICATE. ENSURE 75 PERCENT OF ALL NEW LIGHT FITTINGS ARE EFFICIENT FITTINGS

**PLUMBING**  
HEATING TO NEW ROOMS FROM HOT WATER RADIATOR LINKED INTO EXISTING BOILER. ALL NEW RADIATORS TO BE FITTED WITH TRV'S. ALL WORK TO BE INSTALLED AND COMMISSIONED BY A QUALIFIED TRADESMAN IN ACCORDANCE WITH THE DOMESTIC HEATING GUIDE 2010

**WINDOWS**  
WOODGRAIN UPVC DOUBLE GLAZED WINDOWS AND DOORS AND BROWN ALUMINIUM BI-FOLD DOORS WITH DOUBLE GLAZED UNITS MIN 24MM COMPRISING 4MM PILKINGTON K GLASS. ALL GLASS WINDOWS UP TO A HEIGHT OF 800MM ABOVE FLOOR LEVEL AND OR WITHIN 300MM FROM A DOOR AND ALL DOORS UP TO A HEIGHT OF 1500MM ABOVE FLOOR LEVEL TO BE TOUGHENED OR LAMINATED TO BS 6206. WINDOWS TO HAVE MAX. U VALUE OF 1.4 W/M2K. WINDOWS TO PROVIDE DAYLIGHT EQUIVALENT TO 1/10TH FLOOR AREA AND OPENABLE VENTILATION 1/20TH FLOOR AREA. ALL HABITABLE ROOMS TO HAVE FIRE ESCAPE WINDOWS WITH MIN 450MM WIDE AND 450MM HIGH OPENING AND MIN AREA OF 0.75 M2

**ROOF CONSTRUCTION REAR FLAT ROOF**  
TRADITIONAL WARM FLAT ROOF CONSTRUCTION BUILT ON SITE. FIBREGLASS OR RUBBER COMPOUND FLAT ROOFING SYSTEM ON 150MM KINGSPAN OR SIMILAR APPROVED DECK INSULATION ON BREATHABLE MEMBRANE ON 22MM MARINE PLYWOOD ON 150 MM X 50MM SW ROOF JOISTS AT 400MM C/C. SUPPORTED AT EAVES BY 100MM X 75 MM WALL PLATES TO BE STRAPPED DOWN 1000MM TO BLOCKWORK WITH 30X5MM GALVANISED STRAPS. ALLOW FOR LATERAL RESTRAINT TIES AT CEILING AND RAFTER LEVEL AT 2000MM CENTRES WITH NOGGINS AND BLOCKS SECURED TO 3 NO. JOIST TO WALLS.

ALL ROOF VENTILATION TO COMPLY WITH BUILDING REGULATIONS DOCUMENT F2

**ROOF CONSTRUCTION PORCH ROOF**  
TRADITIONAL ROOF CONSTRUCTION BUILT ON SITE. CONCRETE ON EXISTING RAFTERS AT 400MM C/C. SUPPORTED AT EAVES BY 100MM X 75 MM WALLPLATE. WALLPLATE TO BE STRAPPED DOWN 1000MM TO BLOCKWORK WITH 30X5MM GALVANISED STRAPS. ALLOW FOR LATERAL RESTRAINT TIES AT CEILING LEVEL AT 2000MM CENTRES WITH NOGGINS AND BLOCKS SECURED TO 3 NO. RAFTERS TO GABLE WALLS. CEILING BINDER PROVIDED ACROSS CEILING FIXED TO TRUSS RAFTERS ABOVE CEILING. 100 X 25MM TIMBER DIAGONAL BRACING TO BE USED. INSULATION TO BE 125MM KINGSPAN INSULATION BETWEEN RAFTERS LEAVING 50MM AIR GAP. 50MM CROSS BATTENS WITH 50MM KINGSPAN INSULATION BETWEEN BATTENS.

ALL ROOF VENTILATION TO COMPLY WITH BUILDING REGULATIONS DOCUMENT F2



SITE LOCATION 1:1250



EXISTING BLOCK PLAN 1:500

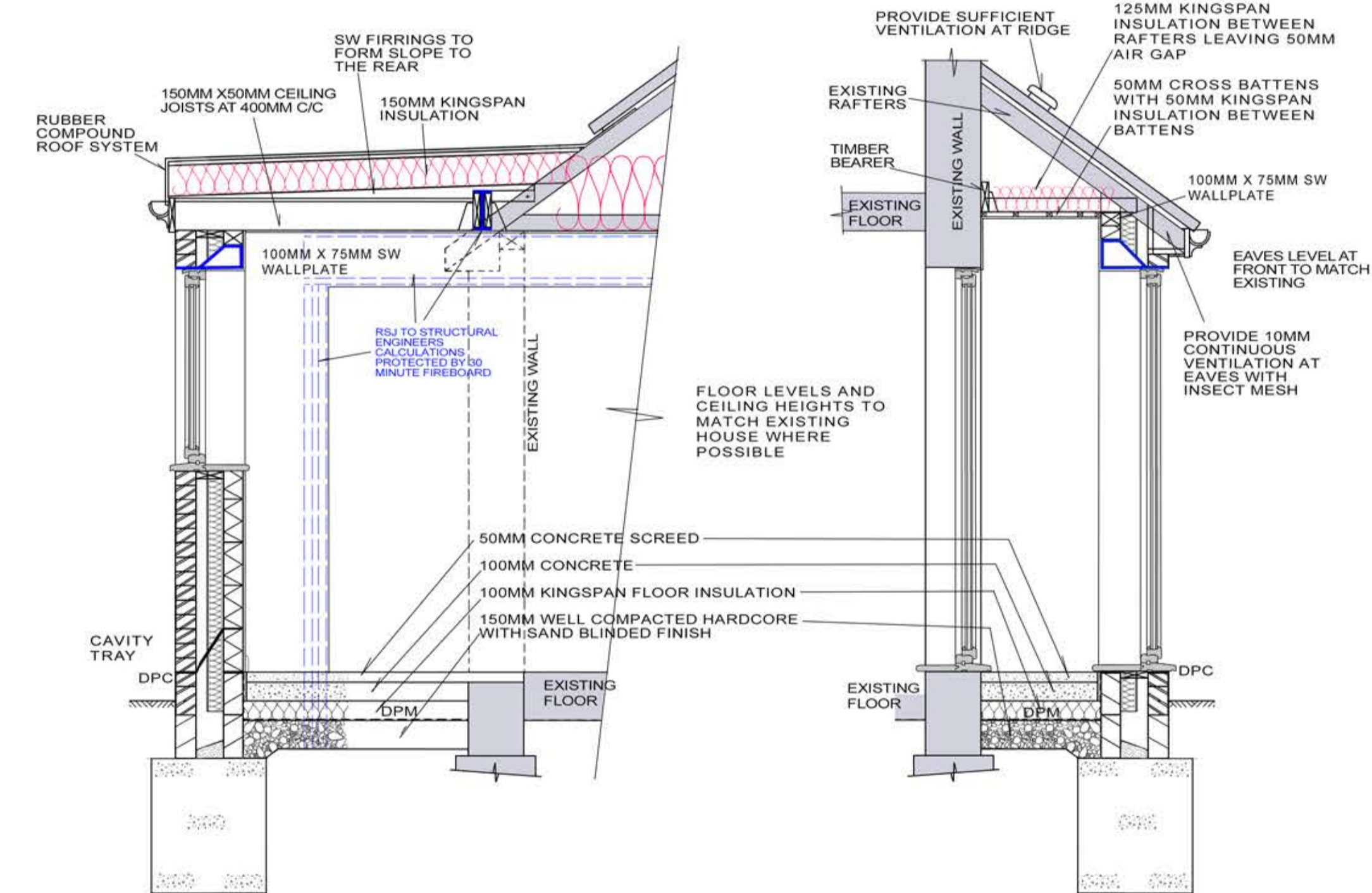


PROPOSED BLOCK PLAN 1:500

**NOTE**  
THE CONTRACTOR IS TO CHECK AND VERIFY ALL BUILDING AND SITE DIMENSIONS, LEVELS AND SEWER INVERT LEVELS AT CONNECTION POINTS BEFORE WORK STARTS. THE CONTRACTOR IS TO COMPLY IN ALL ASPECTS WITH CURRENT BUILDING LEGISLATION - BRITISH STANDARDS SPECIFICATIONS, BUILDING REGULATIONS ETC. WHETHER OR NOT SPECIALLY STATED ON THIS DRAWING. THIS DRAWING MUST BE READ WITH AND CHECKED AGAINST ANY STRUCTURAL, GEOTECHNICAL OR OTHER SPECIALIST DOCUMENTATION. THIS DRAWING IS NOT INTENDED TO SHOW DETAILS OF FOUNDATIONS, GROUND CONDITIONS OR GROUND CONTAMINANTS. THE CONTRACTOR WILL INVESTIGATE THE BUILDING AREA AND A SUITABLE METHOD OF FOUNDATION FOR THE WHOLE BUILD SHOULD BE PROVIDED ALLOWING FOR EXISTING GROUND CONDITIONS. ANY SUSPECT GROUND CONDITIONS SHOULD BE FURTHER INVESTIGATED BY A SUITABLE EXPERT.

**SMOKE ALARMS**  
MAINS OPERATED SMOKE ALARMS WITH SECONDARY POWER SUPPLY (BATTERY) TO BS 5446. INSTALL MIN. 300MM FROM LIGHT FITTINGS TO ALL HABITABLE WALKWAYS AT MIN 7500MM FROM THE DOOR.

- HD - HEAT DETECTOR
- SD - SMOKE DETECTOR



SECTION A-A

SECTION B-B

**EXTERNAL WALLS**  
FACING BRICK EXTERNAL WALL. 150MM CAVITY WITH 100MM KINGSPAN TW50 ZERO ODP K8 INSULATION. RETAINED AGAINST INNER SKIN WITH RETAINER CLIPS. 100MM THERMALITE (OR SIMILAR) INSULATING BLOCKWORK. DRY LINED WITH 12.5MM PLASTERBOARD & SKIM COAT. INSULATION IN CAVITIES TAKEN DOWN TO FINISH IN LINE WITH THE UNDERSIDE OF THE FLOOR INSULATION. WALL TIES AT 750MM CENTRES HORIZONTALLY AND 450MM CENTRES VERTICALLY. AROUND UNBONDED JAMBS WALL TIES TO BE 450MM HORIZONTALLY AND 225MM VERTICALLY. 150MM VERTICAL DPC AROUND DOOR AND WINDOW OPENINGS AND INSULATED CAVITY CLOSERS AROUND OPENINGS TO ELIMINATE COLD BRIDGING. WALLS TO BE SEALED AT EAVES LEVEL WITH INSULATED CAVITY CLOSERS.

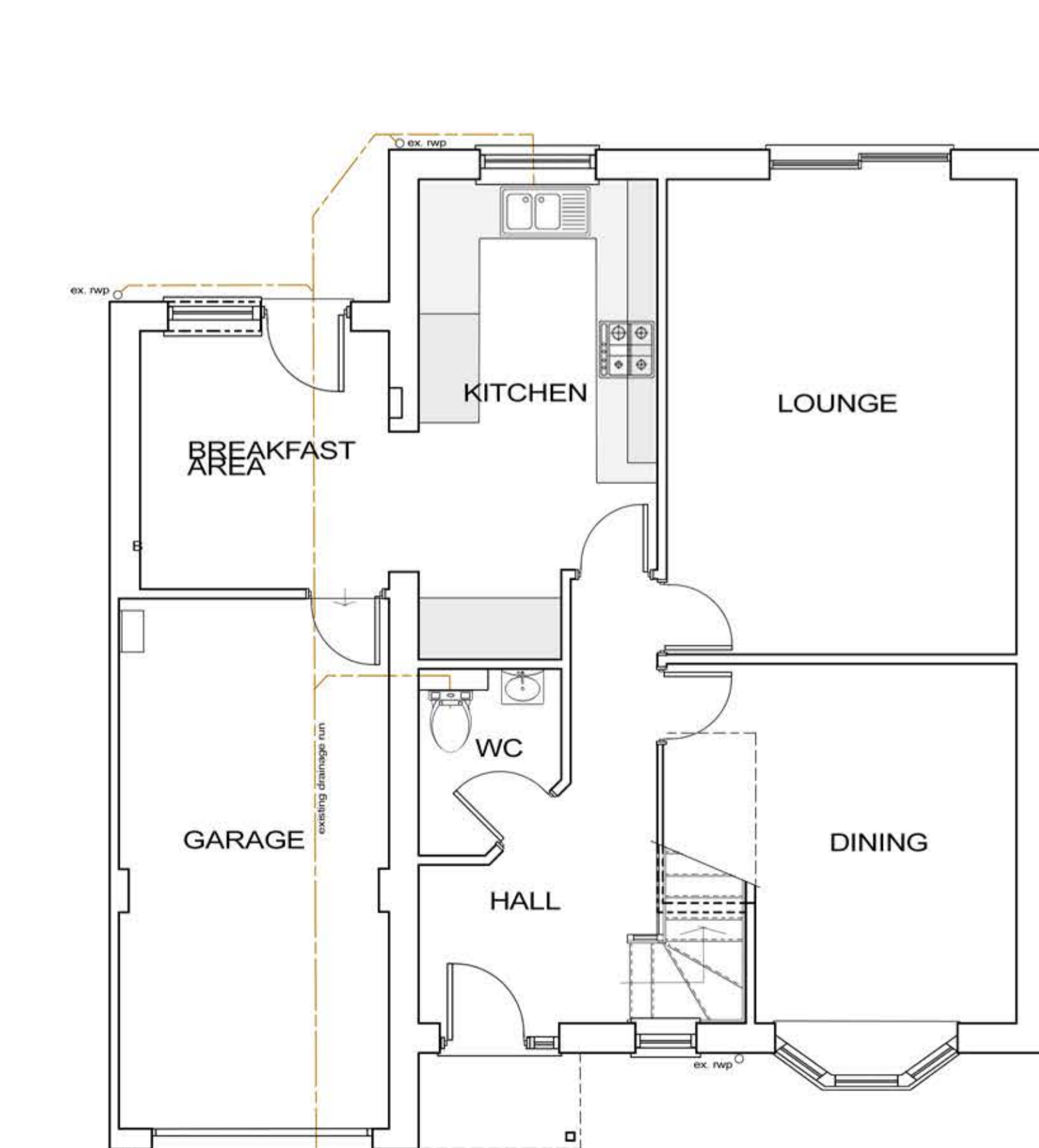
**GROUND FLOOR**  
50MM SAND AND CEMENT SCREED ON 100MM CONCRETE BASE. LAYER OF BUILDING PAPER ON KINGSPAN TF70 100MM THERMAFLOOR INSULATION ON 1200 GAUGE POLY D.P.M. SHEETING ON 150MM WELL COMPACTED AND CONSOLIDATED HARDWARE FILL (ALLOW FOR COMPACTED SAND ON HARDWARE TO AVOID TEARS IN D.P.M.). PROVIDE 25MM UP STAND OF INSULATION AROUND PERIMETER OF FLOORS

**DRAINAGE**  
ALLOW FOR LONG RADIUS BENDS. 40MM WASTE FROM BATHS & BASINS. 50MM FROM SINKS & SHOWERS ALL WITH 75MM SEALS. 100MM WASTE FROM W.C. WITH 50MM SEAL. WHERE ANY DRAINS PASS UNDER FLOOR SLABS ENCASE IN MIN. 150MM PE4 GRAVEL AND LINTELS INSTALLED WHERE THEY PASS THROUGH WALLS WITH COMPRESSIBLE MATERIAL AROUND HOLE. ANTI-SYMPHONIC TRAPS TO BE USED FOR ALL BATHROOM APPLIANCES. DRAINPIPES 100MM SUPERSLEVE LAID AT MIN. 1 IN 60 FALL TO CONNECT UP TO EXISTING DRAINAGE RUN or into soakaway in rear garden dependent on ground conditions

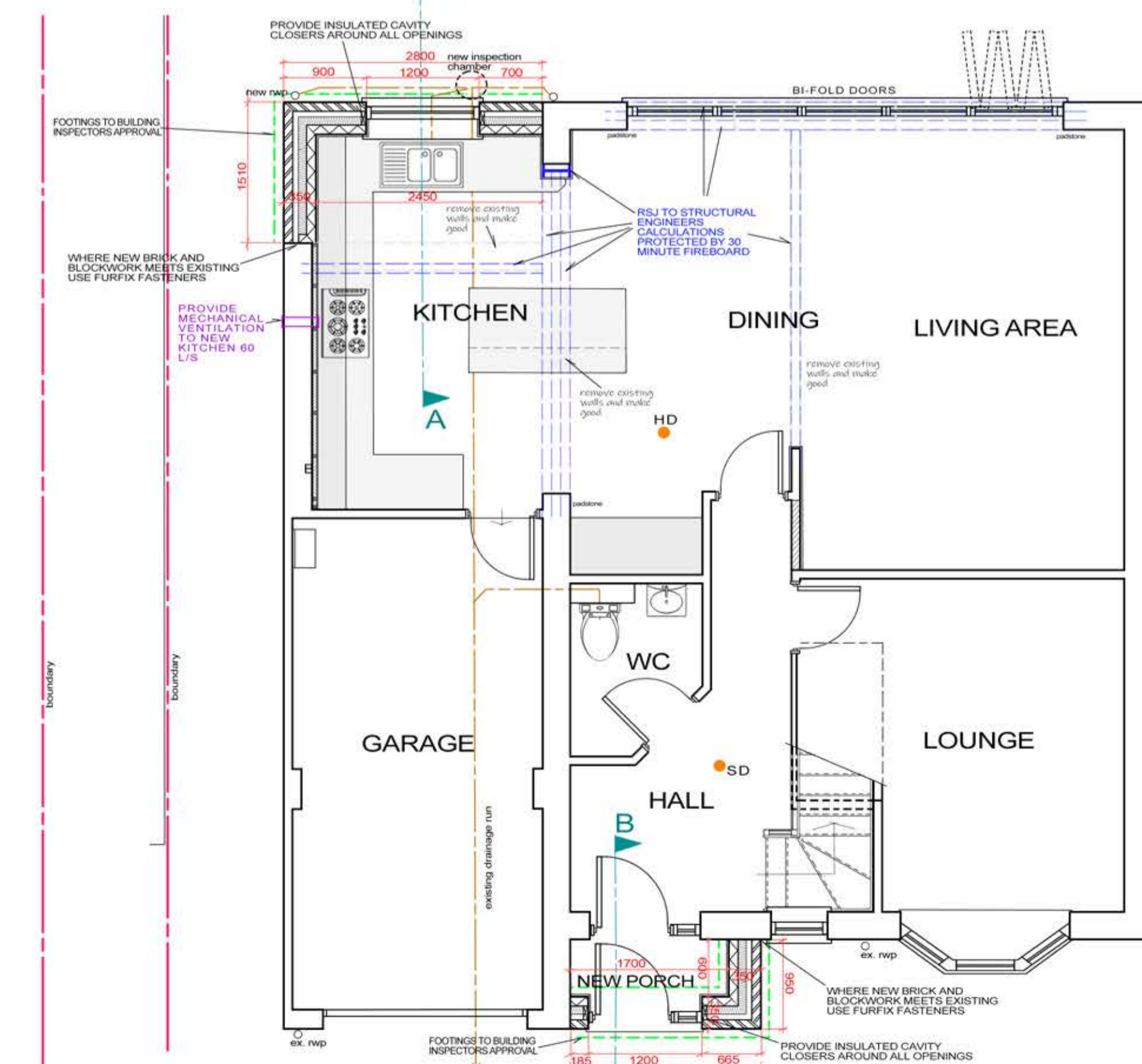
**STORMDRAINS**: 63MM DOWNPIPES TO GULLIES WITH COPPER WIRE BALLOONS AT GUTTER JUNCTIONS. GUTTERS 100MM TRUE HALF ROUND LAID TO FALL. FROM GULLIES 100MM SUPERSLEVE DRAINS TO DRAIN AWAY INTO SOAKAWAY IN REAR GARDEN DEPENDING ON GROUND CONDITIONS. SOAKAWAY TO BRITISH STANDARDS

**SUBSTRUCTURE WALLS**  
INNER SKIN TO BE 100MM 7N/mm<sup>2</sup> CONCRETE BLOCK BELOW D.P.C LEVEL. USE SAME TO EXTERNAL SKIN BELOW GROUND LEVEL AND FACING BRICK ABOVE GROUND LEVEL UP TO D.P.C. BUILD IN FULL WIDTH D.P.C AT MINIMUM 150MM ABOVE GROUND LEVEL. LINK TO D.P.M. BUILD IN CAVITY TRAY IMMEDIATELY OVER D.P.C. TO FULL PERIMETER OF BUILDING. BUILD LINTELS WHERE SERVICES/DRAINS PASS THROUGH EXTERNAL WALLS. ENSURE MINIMUM 150MM CLEARANCE AROUND DRAINS WILL FLEXIBLE MATERIAL/FILLING TO VOID SPACE. WEAK MIX CONCRETE CAVITY FILL TO BASE OF WALL UP TO 225MM

**FOOTINGS**  
CONCRETE STRIP FOUNDATIONS TO MIN. 1000MM BELOW GROUND LEVEL TO LOCAL AUTHORITY APPROVAL. FOOTINGS TO BE CLEAR OF ROOTS AND DEBRIS PRIOR TO POURING CONCRETE. MASS FILL TO 3 COURSES BELOW LOWEST D.P.C. LEVEL



EXISTING GROUND FLOOR 1:50



PROPOSED GROUND FLOOR 1:50

	Client DAVID AND JULIE BEVAN	Dwg Title EXISTING AND PROPOSED PLANS AND ELEVATIONS SITE AND BLOCK PLAN
	Dwg No. DJB001 Scale: 1:50 1:100 1:1250 1:500 1:250 Date:	Dwg Title SINGLE STOREY FRONT PORCH AND SINGLE STOREY SIDE/REAR EXTENSION TO NO.10 ALPINE CLOSE, GLOUCESTER