

Householder Application for Planning Permission for works or extension to a dwelling. Town and Country Planning Act 1990

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Local Planning Authority details:



Development Control
Gloucester City Council
PO Box 3252, Gloucester, GL1 9FW
01452 396396
development.control@gloucester.gov.uk
www.gloucester.gov.uk/planning

Publication on Local Planning Authority websites

Information provided on this form and in supporting documents may be published on the authority's planning register and website.

Please ensure that the information you submit is accurate and correct and does not include personal or sensitive information. If you require any further clarification, please contact the authority directly.

If printed, please complete using block capitals and black ink.

It is important that you read the accompanying guidance notes and help text as incorrect completion will delay the processing of your application.

1. Applicant Name and Address

Title: First name:

Last name:

Company (optional):

Unit: House number: House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Country:

Postcode:

2. Agent Name and Address

Title: First name:

Last name:

Company (optional):

Unit: House number: House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Country:

Postcode:

3. Description of Proposed Works

Please describe the proposed works:

PROPOSED NEW SINGLE STOREY REAR EXTENSION

Has the work already started? Yes No

If Yes, please state when the work was started (DD/MM/YYYY): (date must be pre-application submission)

Has the work already been completed? Yes No

If Yes, please state when the work was completed (DD/MM/YYYY): (date must be pre-application submission)

4. Site Address Details

Please provide the full postal address of the application site.

Unit: House number: House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Postcode (optional):

5. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? Yes No

Is a new or altered pedestrian access proposed to or from the public highway? Yes No

Do the proposals require any diversions, extinguishments and/or creation of public rights of way? Yes No

If Yes to any questions, please show details on your plans or drawings and state the reference number(s) of the plan(s)/drawing(s):

6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? Yes No

If Yes, please complete the following information about the advice you were given. (This will help the authority to deal with this application more efficiently).

Please tick if the full contact details are not known, and then complete as much possible:

Officer name:

Reference:

Date (DD MM YYYY): (must be pre-application submission)

Details of the pre-application advice received:

7. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your proposed development? Yes No

If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings:

Will any trees or hedges need to be removed or pruned in order to carry out your proposal? Yes No

If Yes, please show on your plans which trees by giving them numbers e.g. T1, T2 etc, state the reference number of the plan(s)/drawing(s) and indicate the scale.

8. Parking

Will the proposed works affect existing car parking arrangements? Yes No

If Yes, please describe:

9. Authority Employee / Member

It is an important principle of decision-making that the process is open and transparent. For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the local planning authority.

Do any of the following statements apply to you and/or agent? Yes No

With respect to the authority, I am:
(a) a member of staff
(b) an elected member
(c) related to a member of staff
(d) related to an elected member

If Yes, please provide details of their name, role and how you are related to them.

10. Materials

If applicable, please state what materials are to be used externally. Include type, colour and name for each material:

	Existing (where applicable)	Proposed	Not applicable	Don't Know
Walls	BRICK	BRICKWORK TO MATCH EXISTING	<input type="checkbox"/>	<input type="checkbox"/>
Roof	TILE	TILE TO MATCH EXISTING	<input type="checkbox"/>	<input type="checkbox"/>
Windows	UPVC	UPVC & VELUX/ VELUX STYLE ROOF LIGHT	<input type="checkbox"/>	<input type="checkbox"/>
Doors	UPVC	UPVC	<input type="checkbox"/>	<input type="checkbox"/>
Boundary treatments (e.g. fences, walls)			<input checked="" type="checkbox"/>	<input type="checkbox"/>

10. Materials

If applicable, please state what materials are to be used externally. Include type, colour and name for each material:

Vehicle access and hard-standing			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Lighting			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Others (please specify)			<input checked="" type="checkbox"/>	<input type="checkbox"/>

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

Yes

No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

KREE8 ARCHITECT'S DRAWINGS 01 - 06

11. Ownership Certificates and Agricultural Land Declaration

One Certificate A, B, C, or D, must be completed with this application form

CERTIFICATE OF OWNERSHIP - CERTIFICATE A

Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

CERTIFICATE OF OWNERSHIP - CERTIFICATE B

Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/ The applicant certifies that I have/the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner* and/or agricultural tenant** of any part of the land or building to which this application relates.

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural tenant" has the meaning given in section 65(8) of the Town and Country Planning Act 1990

Name of Owner / Agricultural Tenant	Address	Date Notice Served

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

11. Ownership Certificates and Agricultural Land Declaration (continued)

CERTIFICATE OF OWNERSHIP - CERTIFICATE C

Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/ The applicant certifies that:

- Neither Certificate A or B can be issued for this application
- All reasonable steps have been taken to find out the names and addresses of the other owners* and/or agricultural tenants** of the land or building, or of a part of it, but I have/ the applicant has been unable to do so.

* **"owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.**

** **"agricultural tenant" has the meaning given in section 65(8) of the Town and Country Planning Act 1990**

The steps taken were:

Name of Owner / Agricultural Tenant	Address	Date Notice Served

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

CERTIFICATE OF OWNERSHIP - CERTIFICATE D

Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/ The applicant certifies that:

- Certificate A cannot be issued for this application
- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner* and/or agricultural tenant** of any part of the land to which this application relates, but I have/ the applicant has been unable to do so.

* **"owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.**

** **"agricultural tenant" has the meaning given in section 65(8) of the Town and Country Planning Act 1990**

The steps taken were:

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

12. Planning Application Requirements - Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority (LPA) has been submitted.

The original and 3 copies* of a completed and dated application form:

The original and 3 copies* of a plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North:

The original and 3 copies* of other plans and drawings or information necessary to describe the subject of the application:

The original and 3 copies* of a design and access statement if proposed works fall within a conservation area or World Heritage Site, or relate to a Listed Building:

The correct fee:

The original and 3 copies* of the completed, dated Ownership Certificate (A, B, C or D – as applicable) and Article 14 Certificate (Agricultural Holdings):

*National legislation specifies that the applicant must provide the original plus three copies of the form and supporting documents (a total of four copies), unless the application is submitted electronically or, the LPA indicate that a smaller number of copies is required. LPAs may also accept supporting documents in electronic format by post (for example, on a CD, DVD or USB memory stick). You can check your LPA's website for information or contact their planning department to discuss these options.

13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

(date cannot be pre-application)

14. Applicant Contact Details

Telephone numbers

Country code: National number: Extension number:

Country code: Mobile number (optional):

Country code: Fax number (optional):

Email address (optional):

15. Agent Contact Details

Telephone numbers

Country code: National number: Extension number:

Country code: Mobile number (optional):

Country code: Fax number (optional):

Email address (optional):

16. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? *(Please select only one)*

Agent Applicant Other (if different from the agent/applicant's details)

If Other has been selected, please provide:

Contact name:

Telephone number:

Email address:

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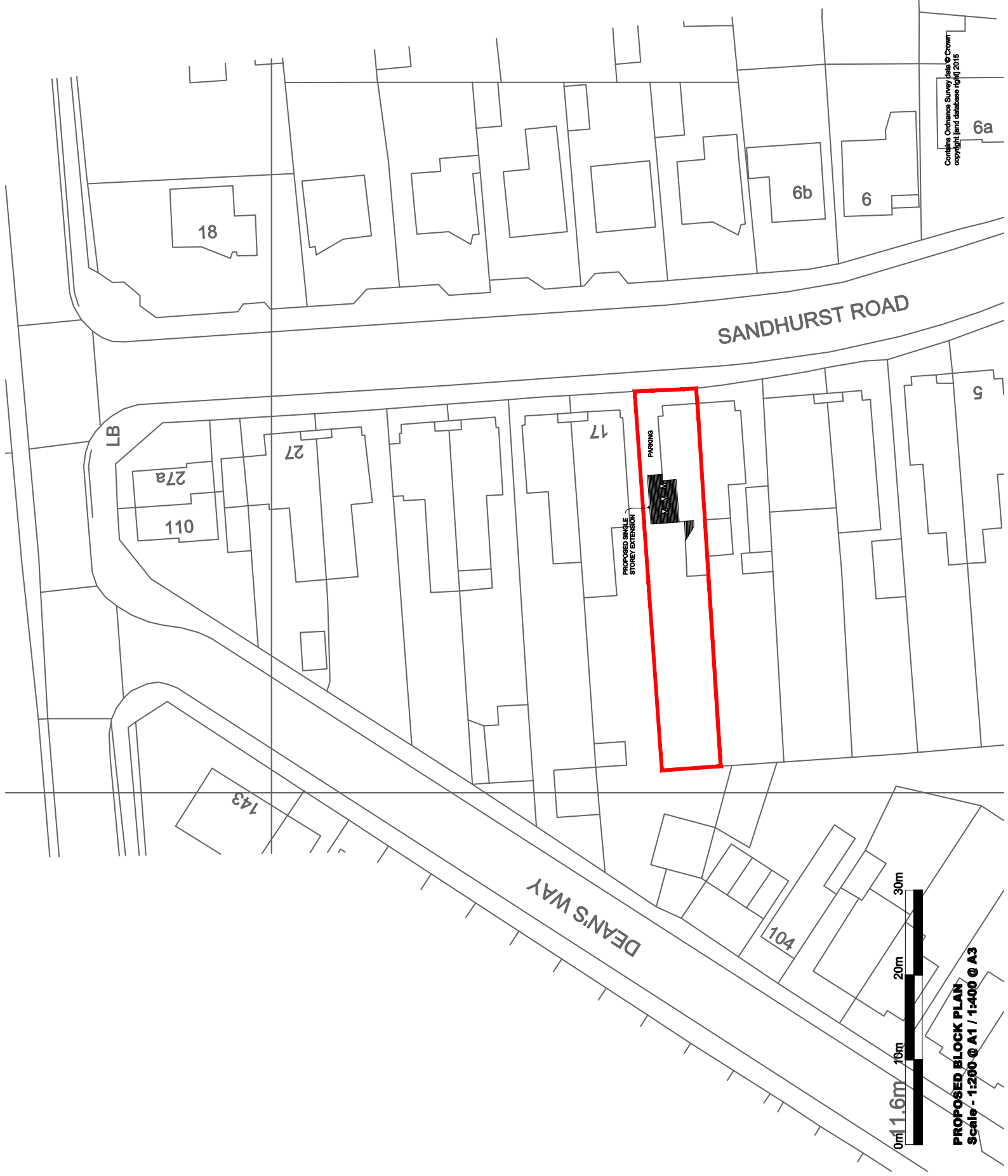
MATT BROWN
 ARCHITECTS
 RIBA #
 Royal Institute of
 British Architects

Project Title
 PROPOSED NEW SINGLE STOREY
 REAR EXTENSION
 17 SANDHURST ROAD,
 GLOUCESTER,
 GL1 2SE

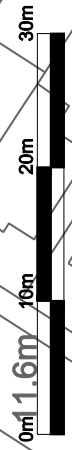
Client
 MR & MRS CROWTHER

Drawing Title
 Location/Proposed Block Plan

File Number	SRT1
Drawn By	MCL
Checked By	MCL
Scale	A1: 1:200 A3: 1:250
Date	19/08/22
Drawn	01
Rev	-



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PROPOSED BLOCK PLAN
 Scale - 1:200 @ A1 / 1:400 @ A3

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Kree8

MATTHEW LEWIS
ARCHITECTS
RIBA #
Royal Institute of
British Architects

Project Title
**PROPOSED NEW SINGLE STOREY
REAR EXTENSION
TO 17 SANDHURST ROAD,
GLOUCESTER,
GL1 2SE**

Client
MR & MRS CROWTHER

Drawing Title
Existing Block Plan

File Number	SR1
Drawn By	MCL
Checked By	MCL
Scale	A1: 1:200 A3: 1:250
Date	19/08/22
Drawn	00
Rev	-



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EXISTING BLOCK PLAN
Scale - 1:200 @ A1 / 1:400 @ A3

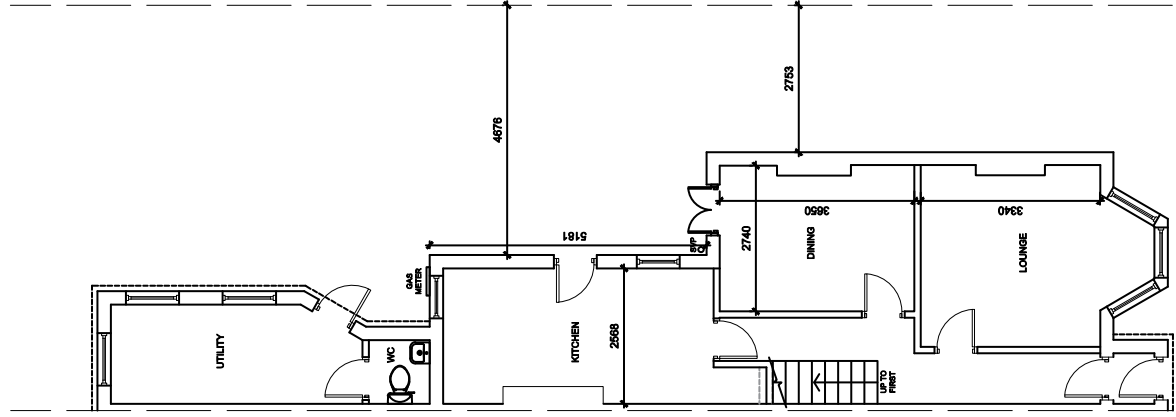
Responsibility is not accepted for errors made by others in scaling from the drawings. Do not scale from the drawings for construction purposes. Dimensions are given in millimetres unless otherwise stated. All dimensions and levels shall be checked on site and any discrepancies between drawings and construction shall be reported to Vired Design & Build. Copyright Vired Design & Build.



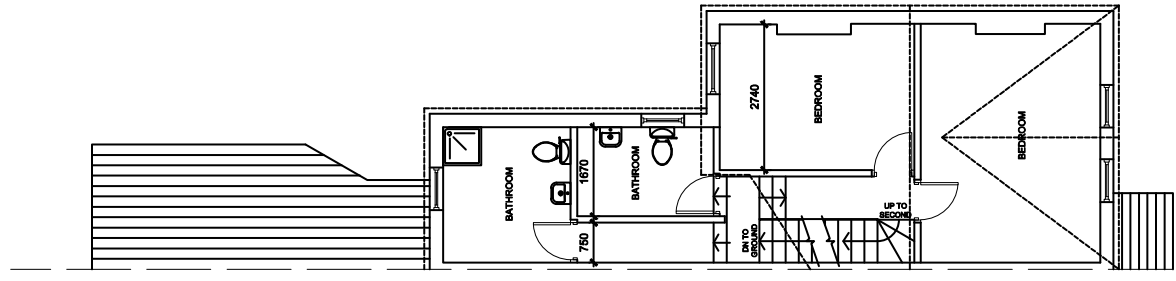
North



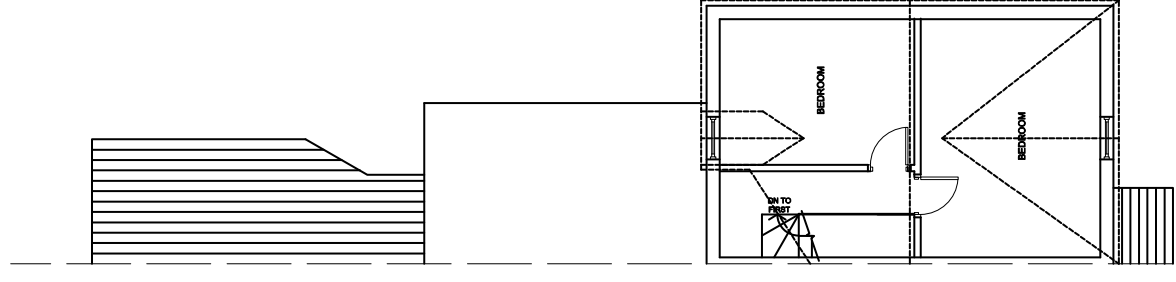
EXISTING PLANS
Scale - 1:50 @ A1



EXISTING GROUND FLOOR PLAN
Scale - 1:50 @ A1 / 1:100 @ A3



EXISTING FIRST FLOOR PLAN
Scale - 1:50 @ A1 / 1:100 @ A3



EXISTING SECOND FLOOR PLAN
Scale - 1:50 @ A1 / 1:100 @ A3

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MATTHEW LEWIS
ARCHITECTS
CHICHESTER ARCHITECT

RIBA #
Royal Institute of
British Architects

Project Design & Build - 77a Elm - Chichester, Sussex PO19 2BN

Project Title
PROPOSED NEW SINGLE STOREY
REAR EXTENSION
177A ELM ROAD,
CHICHESTER,
GL1 2SE

Client
MR & MRS CROWTHER

Drawing Title
Existing Plans

File Number	SR1
Drawn By	MPL
Checked By	MPL
Scale@A1	1:50
Date	19/08/22
Drawn Mod	02
Rev	-



**PROPOSED SINGLE-
STOREY REAR EXTENSION
AT 15 SANDHURST ROAD,
GLOUCESTER**

FLOOD RISK ASSESSMENT

DECEMBER 2022

REPORT REF: 3112/RE/12-22/01

Evans Rivers and Coastal Ltd



W: www.evansriversandcoastal.co.uk

CONTRACT

Evans Rivers and Coastal Ltd has been commissioned by Andy Crowther to carry out a Flood Risk Assessment for a proposed single-storey rear extension at 15 Sandhurst Road, Gloucester.

QUALITY ASSURANCE, ENVIRONMENT AND HEALTH AND SAFETY

Evans Rivers and Coastal Ltd operates a Quality Assurance, Environmental, and Health and Safety Policy.

This project comprises various stages including data collection; hydrological and hydrogeological assessments; surface water drainage designs; and reporting. Quality will be maintained throughout the project by producing specific methodologies for each work stage. Quality will also be maintained by initiating internal quality procedures including the validation of third party deliverables; creation of an audit trail to record any changes made; and document control using a database and correspondence log file system.

To adhere to the Environmental Policy, data will be obtained and issued in electronic format and alternatively by post. Paper use will also be minimised by communicating via email or telephone where possible. Documents and drawings will be transferred in electronic format where possible and all waste paper will be recycled. Meetings away from the office of Evans Rivers and Coastal Ltd will be minimised to prevent unnecessary travel, however for those meetings deemed essential, public transport will be used in preference to car journeys.

The project will follow the commitment and objectives outlined in the Health and Safety Policy operated by Evans Rivers and Coastal Ltd. All employees will be equipped with suitable personal protective equipment prior to any site visits and a risk assessment will be completed and checked before any site visit. Other factors which have been taken into consideration are the wider safety of the public whilst operating on site, and the importance of safety when working close to a water source and highway. Any designs resulting from this project and directly created by Evans Rivers and Coastal Ltd will also take into account safety measures within a "designers risk assessment".

Report carried out by:

Rupert Evans, BSc (Hons), MSc, CEnv, C.WEM, MCIWEM, PIEMA

DISCLAIMER

This report has been written and produced for Andy Crowther. No responsibility is accepted to other parties for all or any part of this report. Any other parties relying upon this report without the written authorisation of Evans Rivers and Coastal Ltd do so at their own risk.

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1. INTRODUCTION

1.1 Project Scope

1.1.1 Evans Rivers and Coastal Ltd has been commissioned by Andy Crowther to carry out a Flood Risk Assessment for a proposed single-storey rear extension at 15 Sandhurst Road, Gloucester.

1.1.2 It is understood that this assessment will be submitted to the Local Planning Authority as part of a planning application. Specifically, this assessment intends to:

- 1) Review any literature and guidance specific to this area such as the SFRA;
- 2) Assess the flood risk from all sources to people and property and propose mitigation measures accordingly;
- 3) Review existing evacuation and warning procedures for the area;
- 4) Report findings and recommendations.

1.1.3 This assessment is carried out in accordance with the requirements of the National Planning Policy Framework (NPPF) dated 2021. Other documents which have been consulted include:

- DEFRA/EA document entitled *Framework and guidance for assessing and managing flood risk for new development Phase 2 (FD2320/TR2)*, 2005;
- Communities and Local Government 2007. *Improving the Flood Performance of New Buildings*. HMSO.
- DEFRA/EA document entitled *The flood risks to people methodology (FD2321/TR1)*, 2006;
- EA *Supplementary Note on Flood Hazard Ratings and Thresholds for Development Planning and Control Purpose*, 2008;
- National Planning Practice Guidance – Flood Risk and Coastal Change.
- UK Government’s climate change allowances guidance.
- Gloucester City Council Strategic Flood Risk Assessment Level 1 dated 2008 (2008 SFRA).
- Gloucester City Council Strategic Flood Risk Assessment Level 2 dated 2019 (2019 SFRA).
- Gloucester, Cheltenham and Tewkesbury Joint Core Strategy Strategic Flood Risk Assessment dated 2011 (2011 SFRA).
- Gloucestershire Local Flood Risk Management Strategy (LFRMS) dated 2014.
- <https://maps.gloucestershire.gov.uk/MapThatPublic/Default.aspx#>

2. DATA COLLECTION

2.1 To assist with this report, the data collected included:

- Ordnance Survey 1:10,000 street view map obtained via Promap (Evans Rivers and Coastal Ltd OS licence number 100049458).
- British Geological Survey, *Online Geology of Britain Viewer*.
- Filtered LIDAR data at 1m resolution covering the site and surrounding area.
- 1:625,000 *Hydrogeological Map of England and Wales*, published in 1977 by the Institute of Geological Sciences (now the British Geological Survey).
- BGS Groundwater Flooding Susceptibility Map.

3. SITE CHARACTERISTICS

3.1 Existing Site Characteristics and Location

3.1.1 The site is located at 15 Sandhurst Road, Gloucester. The approximate Ordnance Survey (OS) grid reference for the site is 383428 219650 and the location of the site is shown on Figure 1.

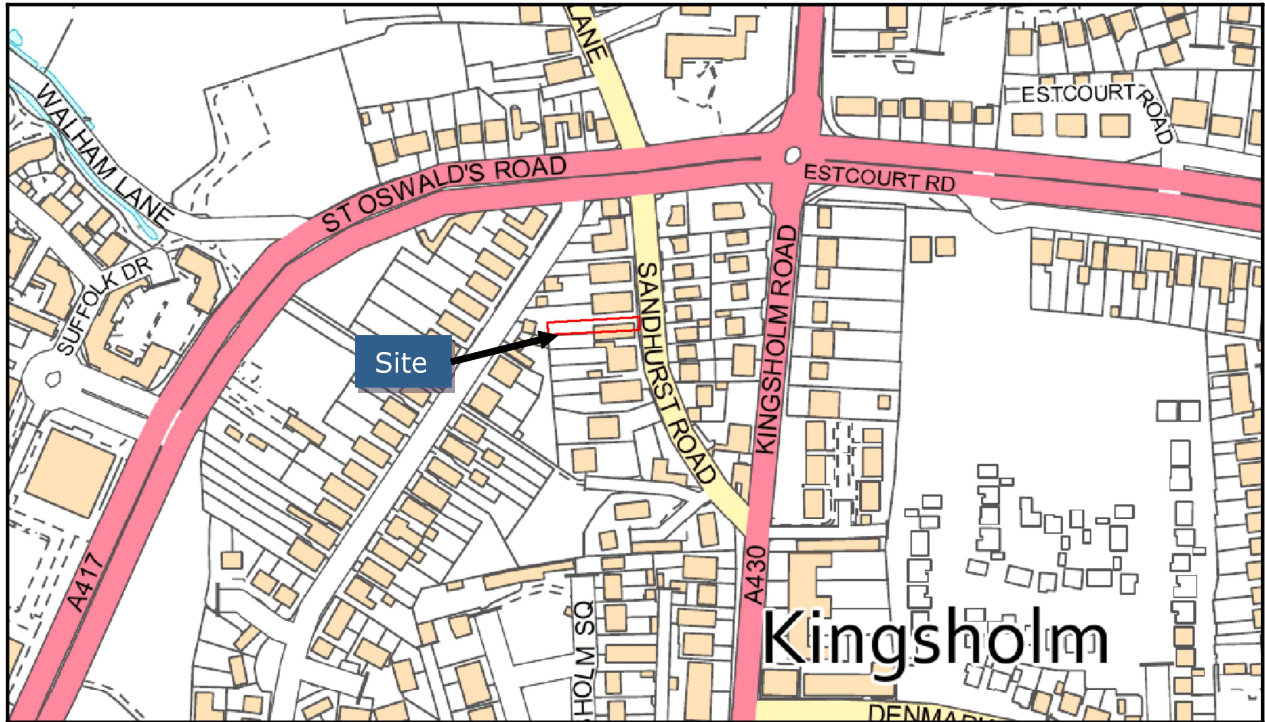


Figure 1: Site location plan (Source: Ordnance Survey)

- 3.1.2 The site comprises an existing three-storey dwelling which is accessed from Sandhurst Road adjacent to the eastern frontage of the site. The existing site layout can be seen on Drawing Numbers 02 and 04.
- 3.1.3 Filtered LIDAR at 1m resolution has been obtained in order to determine and illustrate the topography across the site and wider area (Figure 2).
- 3.1.4 The data indicates that ground levels rise in a westerly direction. The dwelling is set 150mm higher than external ground levels and at 12.05m AOD.



Figure 2: Filtered LIDAR survey data at 1m resolution where higher ground is denoted by red and orange colours and lower ground is denoted by blue colours

3.2 Site Proposals

- 3.2.1 It is the Client's intention to provide a single-storey rear extension as shown on Drawing Numbers 01, 03 and 05.
- 3.2.2 The floor level will be set the same as the existing floor and at approximately 12.05m AOD.
- 3.2.3 Paragraph: 066 Reference ID: 7-066-20140306 of the NPPG confirms that residential development is classified as a 'more-vulnerable' use.
- 3.2.4 Paragraph 33 (ID 7-033-20140306) of the NPPF Planning Practice Guidance (NPPG) states that the Sequential Test does not apply to minor householder development.

4. SOURCES OF FLOODING

4.1 Fluvial

4.1.1 The Environment Agency's Flood Zone Map (Figure 3) shows that the site is located within the NPPF Flood Zone 2 and 1. However, the SFRA interactive map (accessed via <https://maps.gloucestershire.gov.uk/MapThatPublic/Default.aspx#>), shows that the site is located entirely within Flood Zone 1 (Figure 4).

4.1.2 Flood Zone 2 'Medium Probability' floodplain is defined as having between a 1 in 100 year annual probability and 1 in 1000 year annual probability of flooding. The threshold of the Flood Zone 2 floodplain is the 1 in 1000 year extreme event.

4.1.3 Flood Zone 1 'Low Probability' comprises land as having less than a 1 in 1000 year annual probability of fluvial or tidal flooding (i.e. an event more severe than the extreme 1 in 1000 year event).

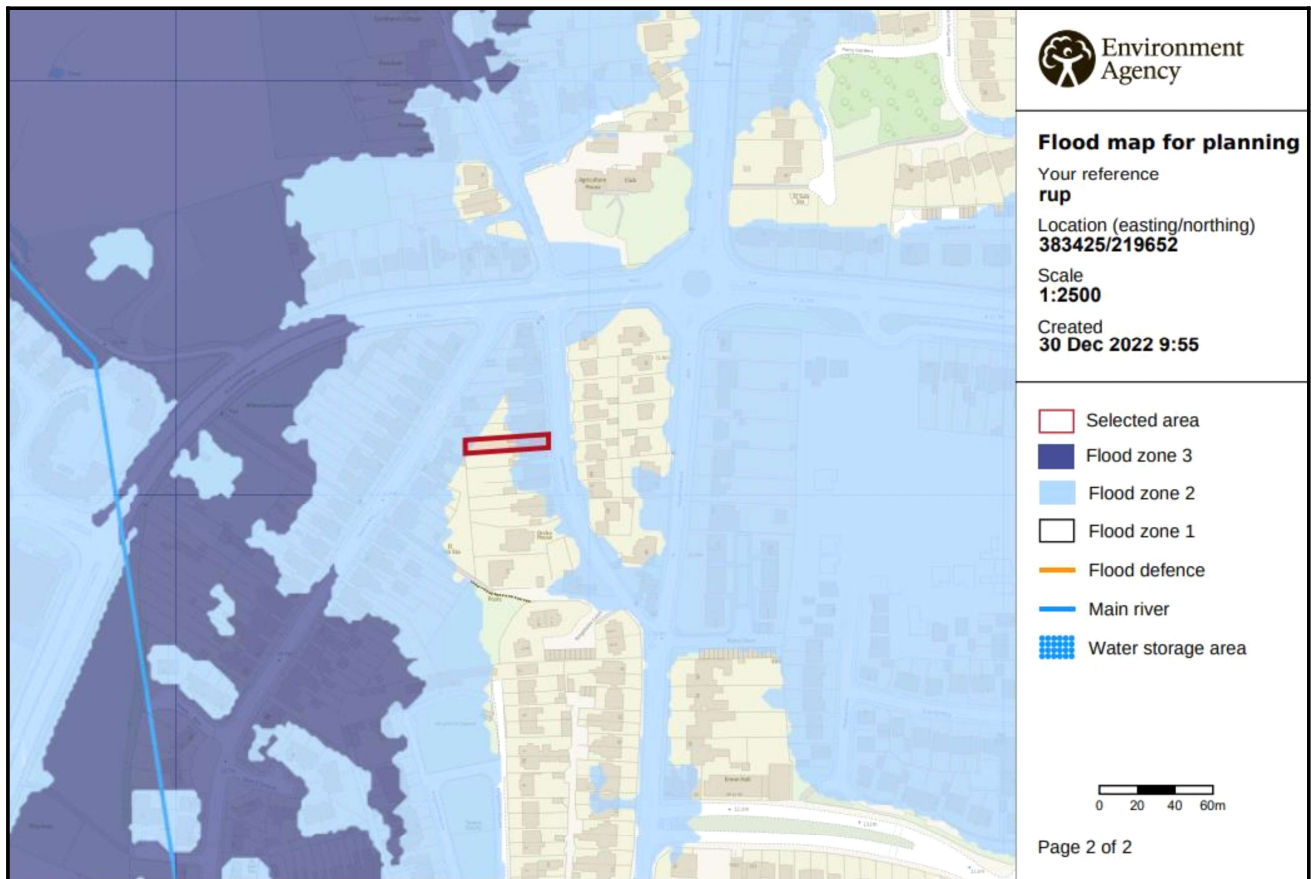


Figure 3: Environment Agency Flood Zone Map (Source: Environment Agency)

4.1.4 Drawing WB/GCTS/DRAWING-002 of the 2011 SFRA together with the SFRA interactive map (Figure 4) indicates that the site and Sandhurst Road are not located within the climate change 1 in 100 year flood extent (denoted as the Flood Zone 3aCC on the mapping).



Figure 4: Site location in relation to climate change 1 in 100 year extent (Source: SFRA interactive mapping at <https://maps.gloucestershire.gov.uk/MapThatPublic/Default.aspx#>)

4.1.5 The site is not located within Environment Agency Flood Warning Area. It is understood that in the event of flooding, evacuation is managed by a multi-agency team in conjunction with the Police. The multi-agency team provides suitable premises for shelter, first aid, refreshments and possible transportation with consideration given to the elderly and vulnerable groups.

4.2 Groundwater Flooding

4.2.1 In order to assess the potential for groundwater flooding during higher return period rainfall events, the Jacobs/DEFRA report entitled *Strategy for Flood and Coastal Erosion Risk Management: Groundwater Flooding Scoping Study*, published in May 2004, was consulted, together with the guidance offered within the document entitled *Groundwater flooding records collation, monitoring and risk assessment (ref HA5)*, commissioned by DEFRA and carried out by Jacobs in 2006.

Soil and Geology at the Site

4.2.2 The British Geological Survey's *Online Geology of Britain Viewer* indicates that the soils beneath the site comprise sand and gravel.

Groundwater Flooding Potential at the Site

4.2.3 There have been no recorded groundwater flood events across the area between 2000 and 2003, as indicated by the Jacobs study. The 2008 SFRA states that there are no records of groundwater flooding in the Council area.

4.2.4 Appendix B4 of the LFRMS and the BGS Groundwater Flooding Susceptibility Map indicates that there is *Potential for Groundwater Flooding of Property Situated Below Ground Level*.

4.2.5 Therefore, it is considered that there is a low groundwater flooding risk.

4.3 Surface Water Flooding and Sewer Flooding

4.3.1 Surface water and sewer flooding across urban areas is often a result of high intensity storm events which exceed the capacity of the sewer thus causing it to surcharge and flood. Poorly maintained sewer networks and blockages can also exacerbate the potential for sewer flooding. Surface water flooding can also occur as a result of overland flow across poorly drained rural areas.

4.3.2 The Environment Agency’s Surface Water Flooding Map (Figure 5) indicates that there is a very low surface water flood risk across the site (i.e. less than 1 in 1000 year chance).

4.3.3 It is generally accepted that the low risk flood event (i.e. between 1 in 1000 years and 1 in 100 years) on the Agency’s map is used as a substitute for the climate change 1 in 100 year event to provide a worst-case scenario.

4.3.4 Further more detailed data has been obtained via the Data.gov.uk site (<https://environment.data.gov.uk/DefraDataDownload/?Mode=rofsw>). The flood extent, depth and hazard GIS *shape file* was downloaded from Data.gov.uk (for tile SO_81) and shown on Figure 6.



Figure 5: Environment Agency Surface Water Flooding Map (Source: Environment Agency, 2022)

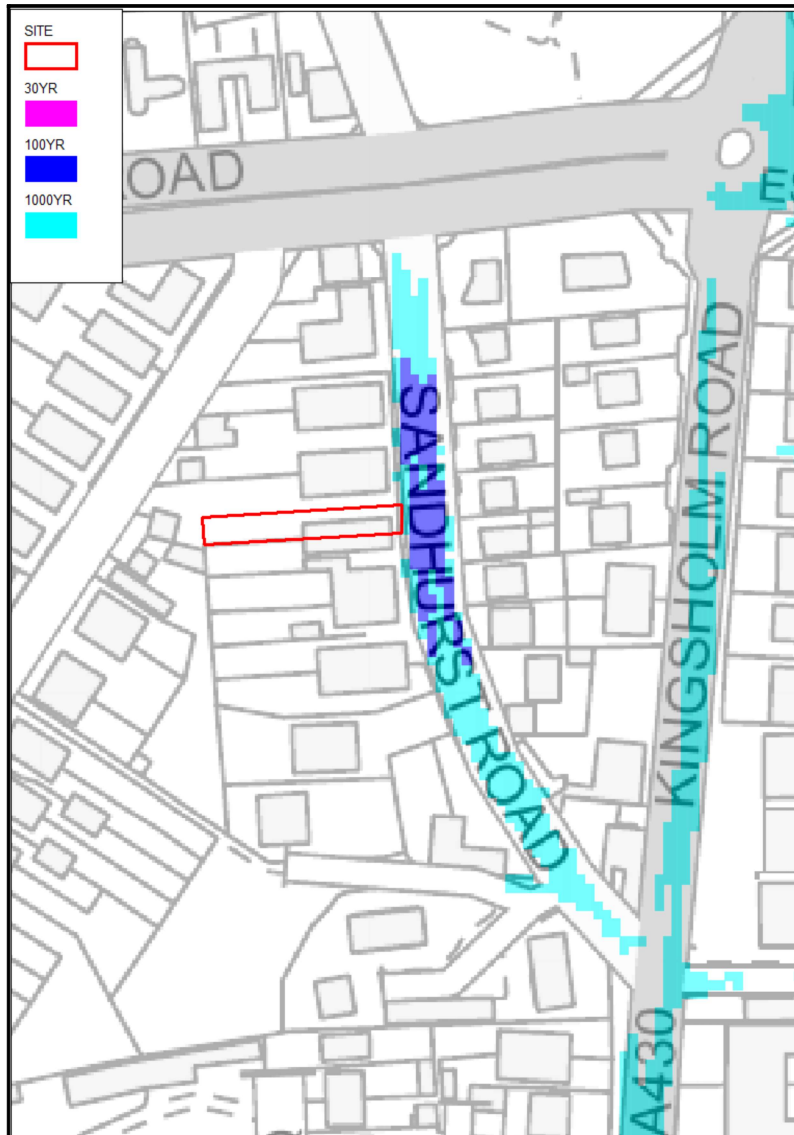


Figure 6: Location of site in relation to worst-case low risk surface water flood extent (Data.gov.uk flood extent GIS shape file for tile SO_81)

Safe Access/Egress

- 4.3.5 The Agency's map and Figure 6 above shows that there is a low to medium risk along Sandhurst Road adjacent to the site.
- 4.3.6 The flood hazard is calculated based on different combinations of floodwater depth and velocity, and subsequently by using the hazard equation as cited in the DEFRA/EA R&D Document *Framework and guidance for assessing and managing flood risk for new development Phase 2 (FD2320/TR2)*. The numerical hazard rating is then categorised into four degrees of flood hazard in accordance with *FD2320/TR2*, shown on Table 1 overleaf.

Table 1: Hazard to people categories (based on FD2320/TR2)

Hazard Rating	Degree of Flood Hazard	Description
< 0.75	Very low hazard	Caution "Flood zone with shallow flowing water or deep standing water"
0.75 – 1.25	Danger for Some	Dangerous for some (i.e. children) "Danger: Flood zone with deep or fast flowing water"
1.25 – 2.0	Danger for Most	Dangerous for most people (i.e. general public) "Danger: Flood zone with deep fast flowing water"
> 2.0	Danger for All	Dangerous for all "Extreme danger: flood zone with deep fast flowing water"

4.3.7 By reviewing the flood hazard GIS *shape file* downloaded from Data.gov.uk it can be seen that the hazard would be *Dangerous for Some* for 80m then *Very low*.

4.3.8 A review of the hazard rating across the wider area indicates that people should evacuate in a south easterly direction in order to remain across *Very low* hazard areas.

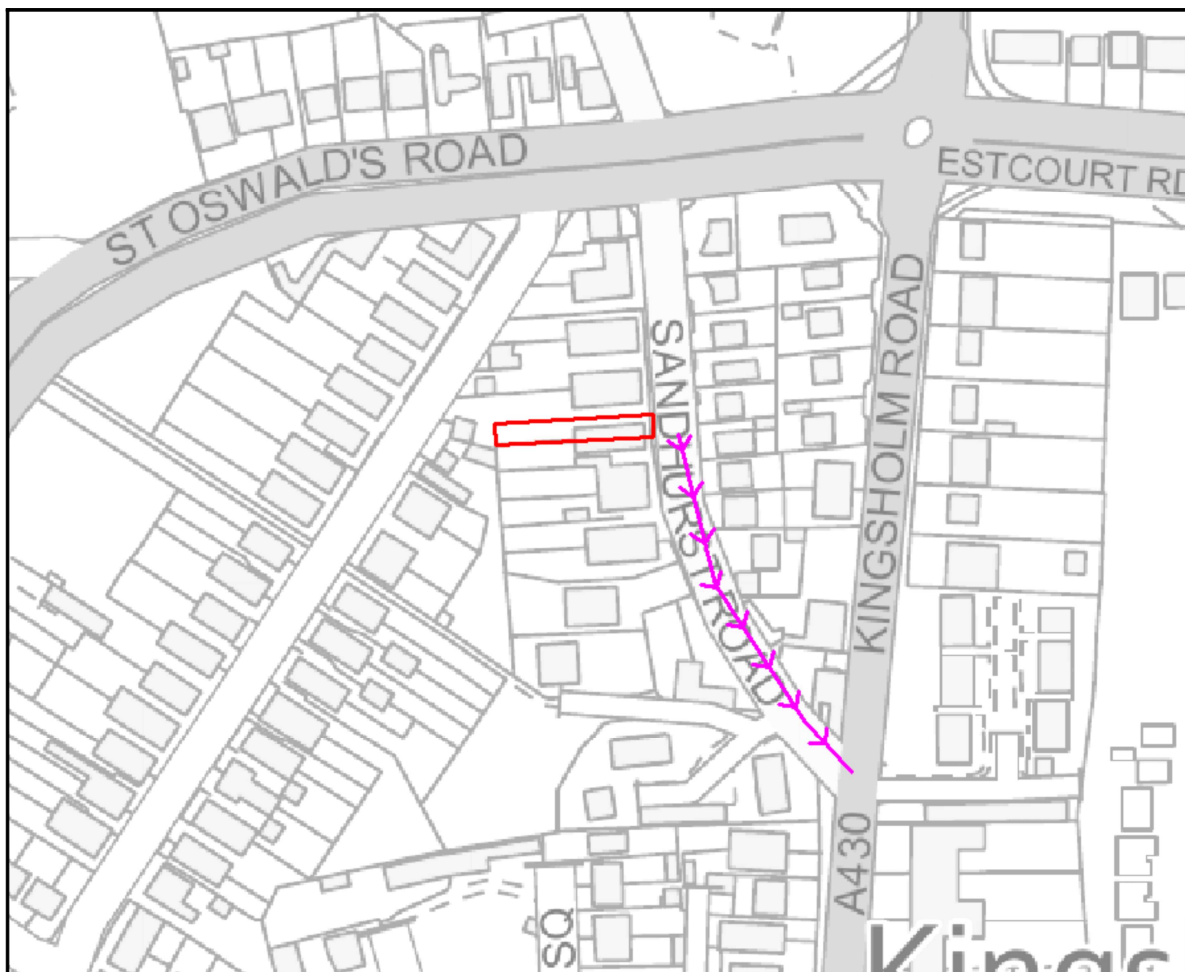


Figure 7: Preferred evacuation route

4.4 Reservoirs, Canals And Other Artificial Sources

- 4.4.1 The failure of man-made infrastructure such as flood defences and other structures can result in unexpected flooding. Flooding from artificial sources such as reservoirs, canals and lakes can occur suddenly and without warning, leading to high depths and velocities of flood water which pose a safety risk to people and property.
- 4.4.2 The Environment Agency's "Risk of flooding from reservoirs" map indicates that the site is at risk of flooding reservoirs when there is also flooding from rivers.
- 4.4.3 However, as the information associated with the maps suggest, it is considered that reservoir flooding is extremely unlikely to happen and such features are regularly inspected by qualified engineers under the Reservoir Act 1975.

5. CONCLUSIONS

- It is the Client's intention to provide a single-storey rear extension. The floor level will be set the same as the existing floor and at approximately 12.05m AOD.
- The Environment Agency's Flood Zone Map shows that the site is located within the NPPF Flood Zone 2 and 1. However, the SFRA interactive map (accessed via <https://maps.gloucestershire.gov.uk/MapThatPublic/Default.aspx#>), shows that the site is located entirely within Flood Zone 1.
- Drawing WB/GCTS/DRAWING-002 of the 2011 SFRA together with the SFRA interactive map indicates that the site and Sandhurst Road are not located within the climate change 1 in 100 year flood extent (denoted as the Flood Zone 3aCC on the mapping).
- The site is not located within Environment Agency Flood Warning Area.
- Safe access/egress is available during fluvial flood events.
- There is a low groundwater flood risk and very low surface water flood risk.

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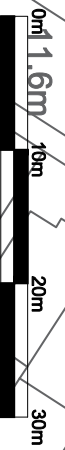
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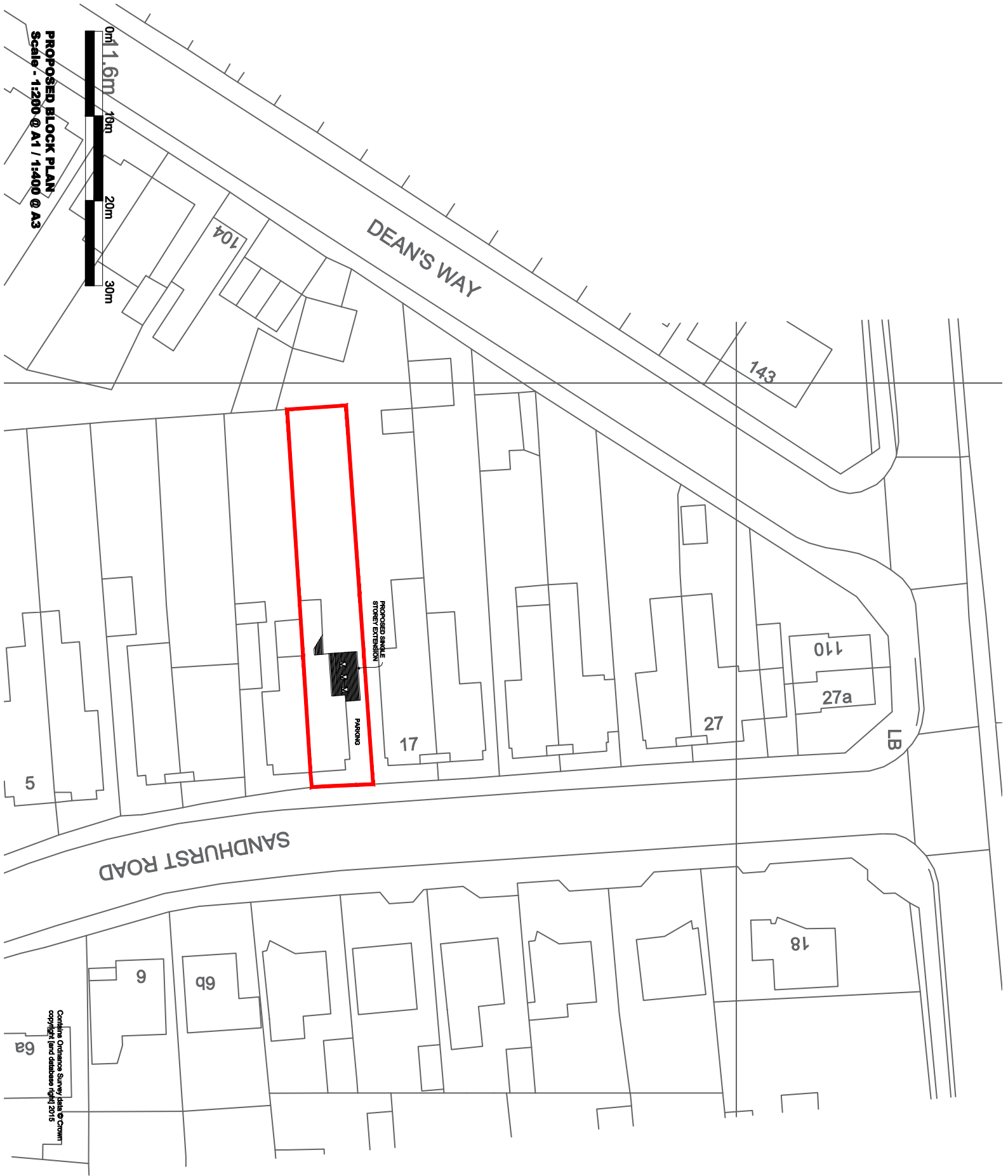
North



SITE LOCATION PLAN
Scale - 1:1200 @ A1 / 1:2500 @ A3



PROPOSED BLOCK PLAN
Scale - 1:200 @ A1 / 1:400 @ A3



Kree8

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Architectural Designer, Planning and Construction Risk
CONSULTANT ARCHITECT
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Royal Institute of
British Architects

Project Title
PROPOSED NEW SINGLE STOREY
REAR EXTENSION
45 SANDHURST ROAD,
GLoucester,
GL1 2SE

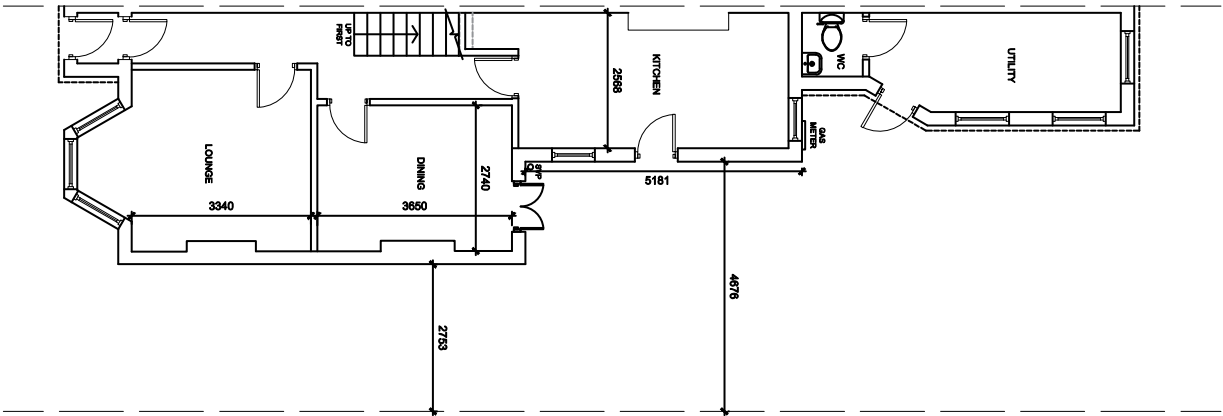
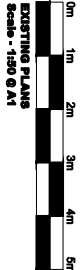
Clients
MR & MRS CROWTHER

Drawing Title
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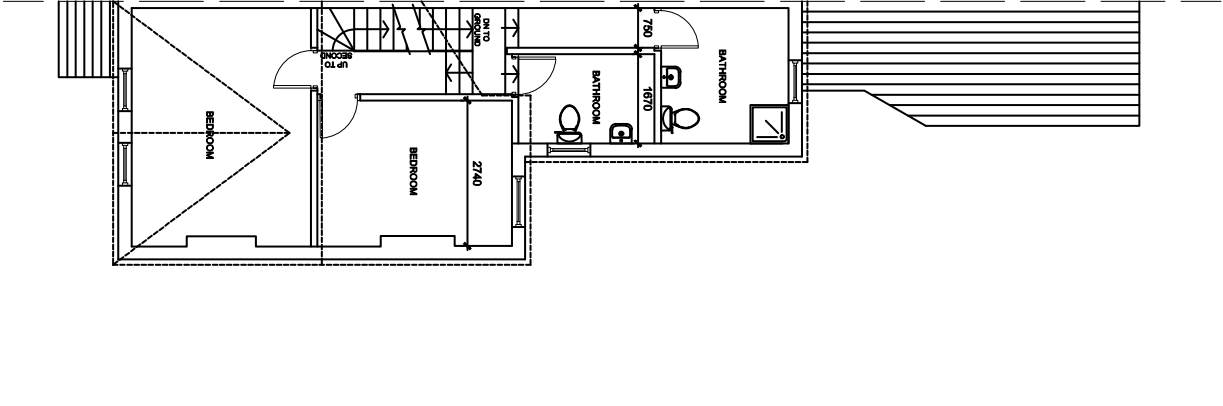
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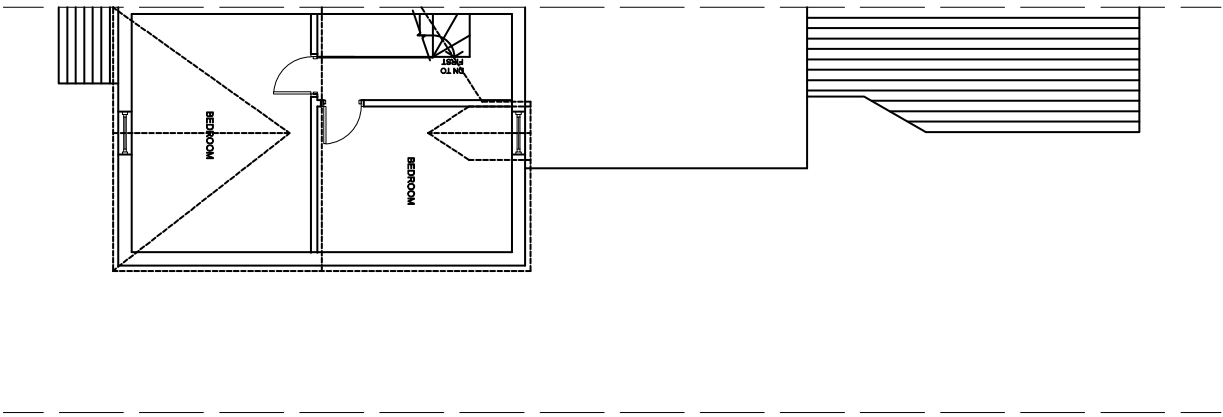
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EXISTING GROUND FLOOR PLAN
Scale - 1:50 @ A1 / 1:100 @ A3



EXISTING FIRST FLOOR PLAN
Scale - 1:50 @ A1 / 1:100 @ A3



EXISTING SECOND FLOOR PLAN
Scale - 1:50 @ A1 / 1:100 @ A3

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Scale:	A1: 1:50
Date:	19/08/22
Drawn No.:	02
Rev:	-

Project Title:
PROPOSED NEW SINGLE STOREY REAR EXTENSION
140-142, HUNTERS ROAD,
GLoucester,
GL1 2SE

Client:
MR & MRS CROWTHER

Drawing Title:
Existing Plans

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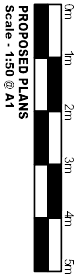
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CONSULTING ARCHITECTS

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NOTES
 All electrical to meet PART P
 All plumbing & heating to meet GAS SAFE
 All structural alterations to S.E design & calculations.
 UPVC fascia's & rainwater goods.

KEY

- MASONRY INFILL
- PROPOSED EXTERNAL WALLS
- TIMBER STUD WALLS
- FD30 FIRE DOOR
- MANS INTERLINKED SMOKE ALARMS

Kree8

Architects

17-19, THE SQUARE, WIMBORNE, DORSET, BH20 9PQ

01202 885000

www.kree8.co.uk

Architects

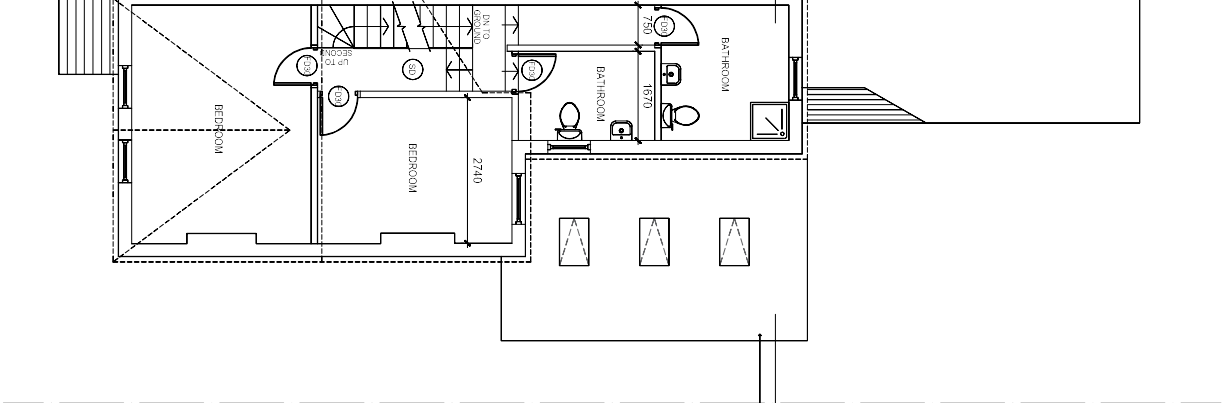
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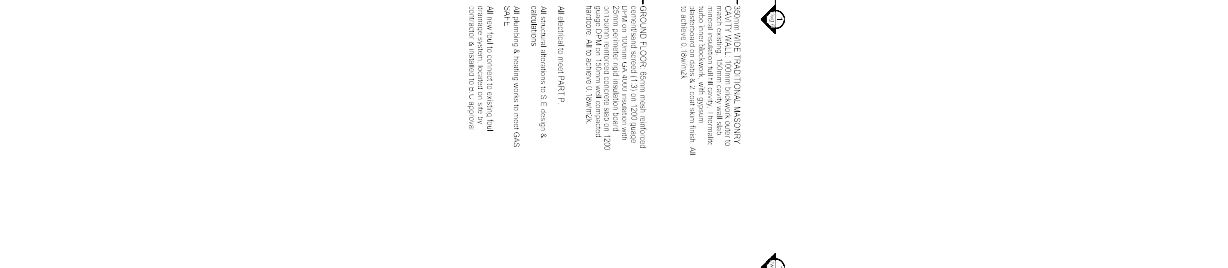
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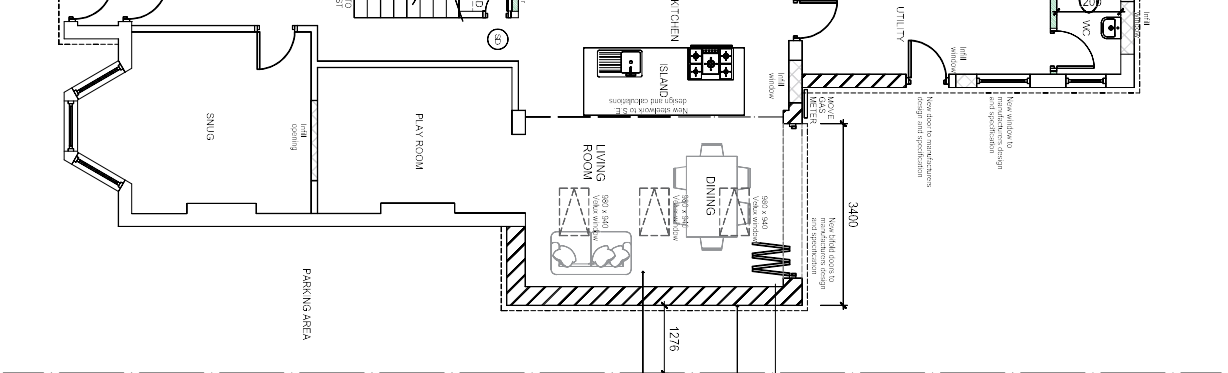
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All electrical to meet PART P
 All plumbing & heating to meet GAS SAFE
 All structural alterations to S.E design & calculations.
 UPVC fascia's & rainwater goods.



All electrical to meet PART P
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 UPVC fascia's & rainwater goods.



All electrical to meet PART P
 All plumbing & heating to meet GAS SAFE
 All structural alterations to S.E design & calculations.
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PROPOSED GROUND FLOOR PLAN

Scale - 1:50 @ A1 / 1:100 @ A3

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Dwg No.:	03
Rev.:	-

Client:
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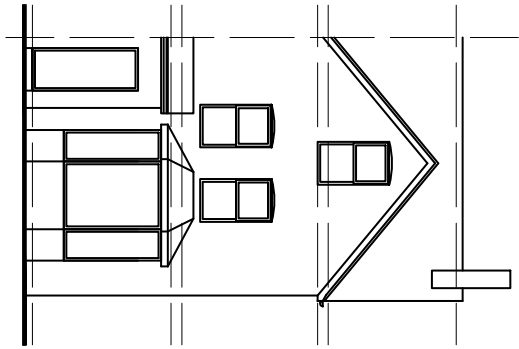
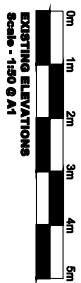
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Project Title:
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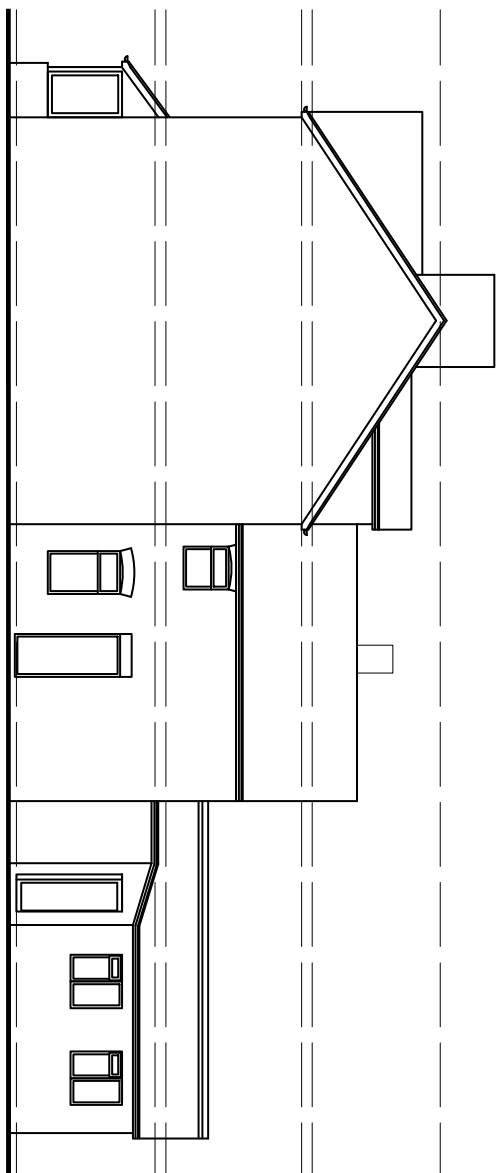
RIBA Architects

17-19, THE SQUARE, WIMBORNE, DORSET, BH20 9PQ

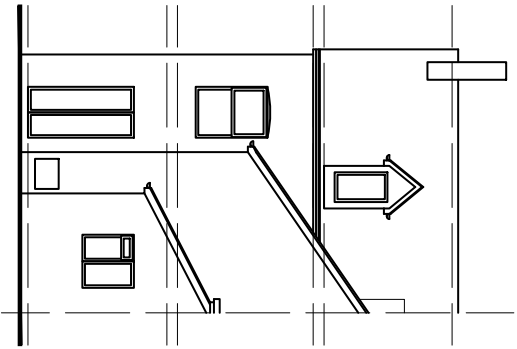
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EAST FACING



NORTH FACING



WEST FACING

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Architectural Designer, New Build and Commercially Fitout
CHARITISED ARCHITECT

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Royal Institute of
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Project Title:
PROPOSED NEW SINGLE STOREY
REAR EXTENSION
142, WESTERN ROAD,
GLUCESYDEN,
GL1 2SE

Client:
MR & MRS CROWTHER

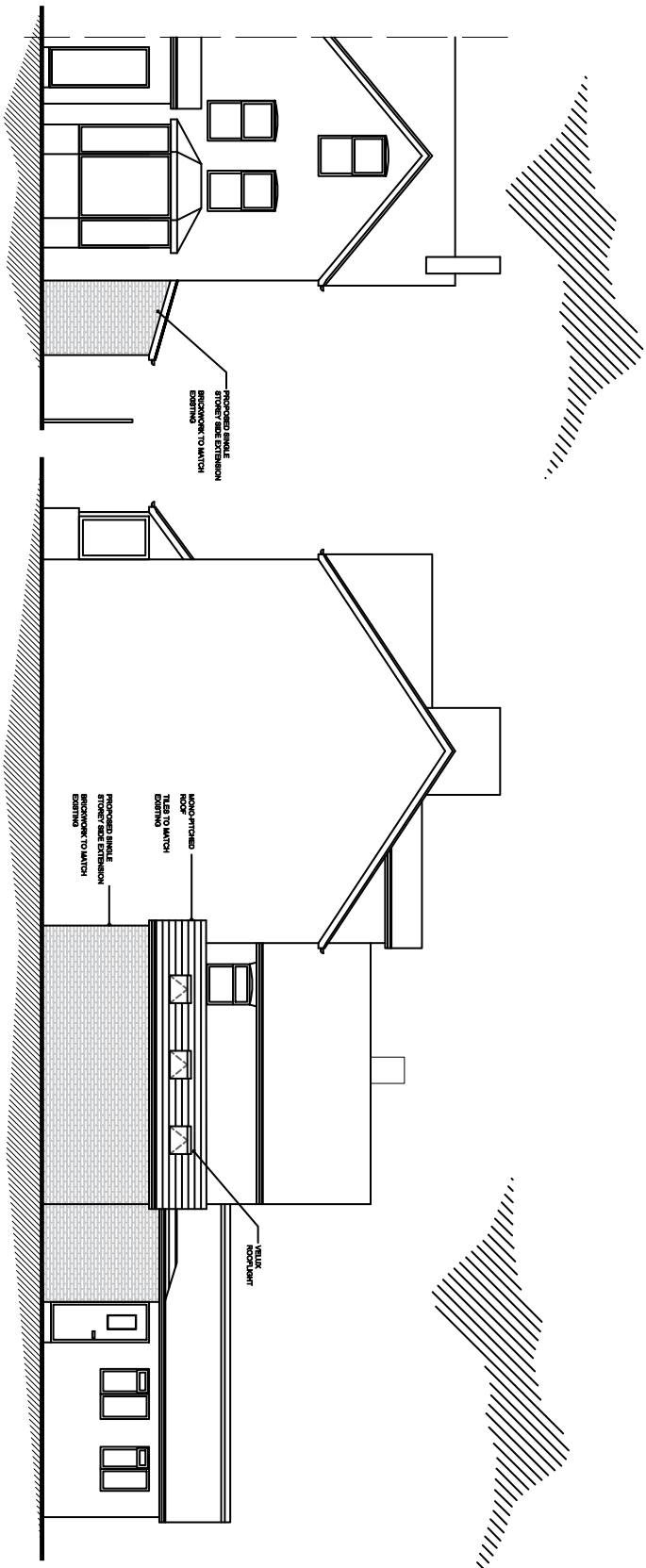
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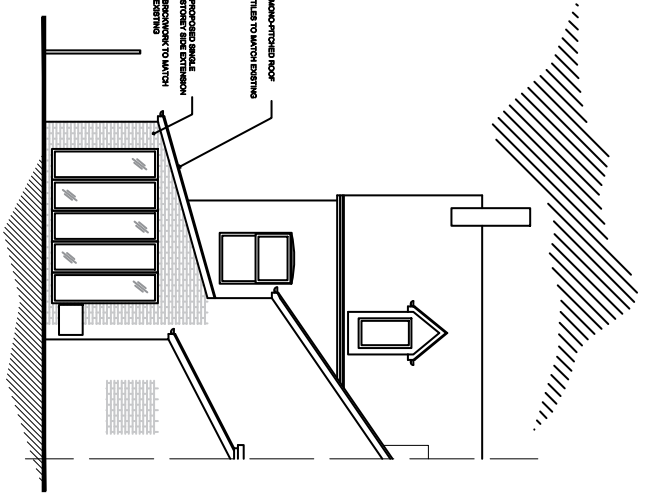
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- Fascia & soffits - UPVC
- Rainwater goods - UPVC
- Roof - Tiles to match existing



EAST FACING

NORTH FACING



WEST FACING



MATTHEW LEWIS
Architectural Designer, New and Commercially Resilient
CHARITISED ARCHITECT



Royal Institute of
British Architects

Project Title:
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REAR EXTENSION
45 WINDMILL LANE
GLUCESTER,
GL1 2SE

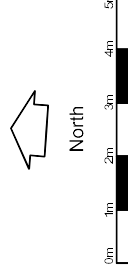
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MR & MRS CROWTHER

Drawing Title:
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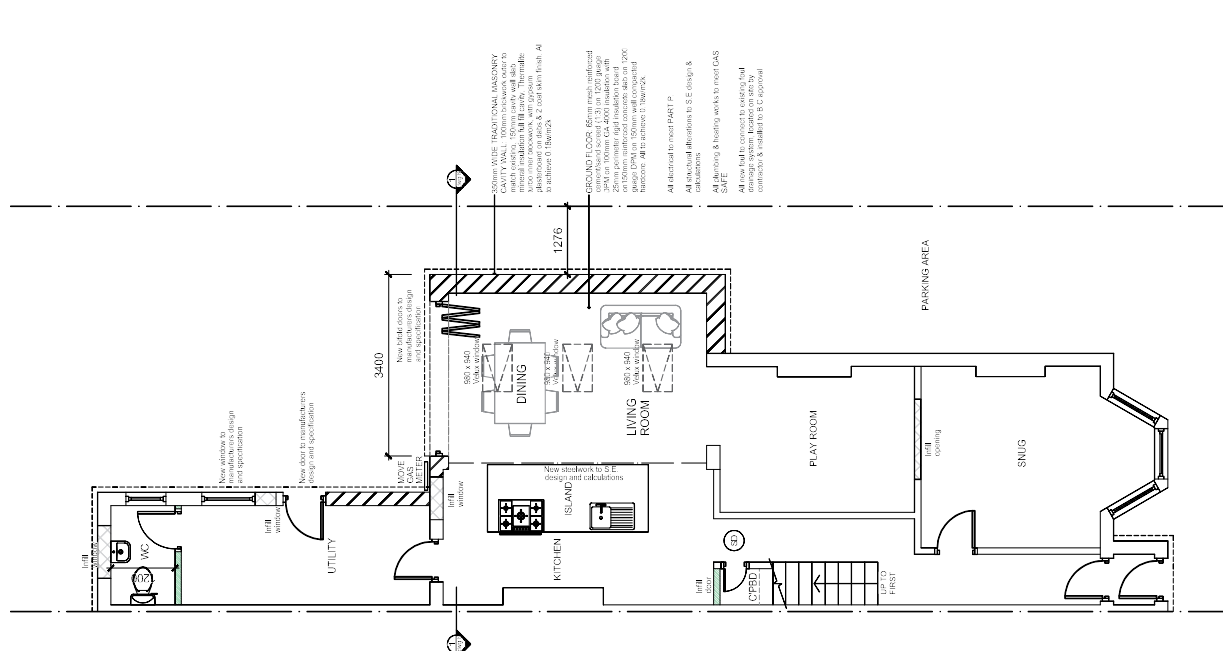
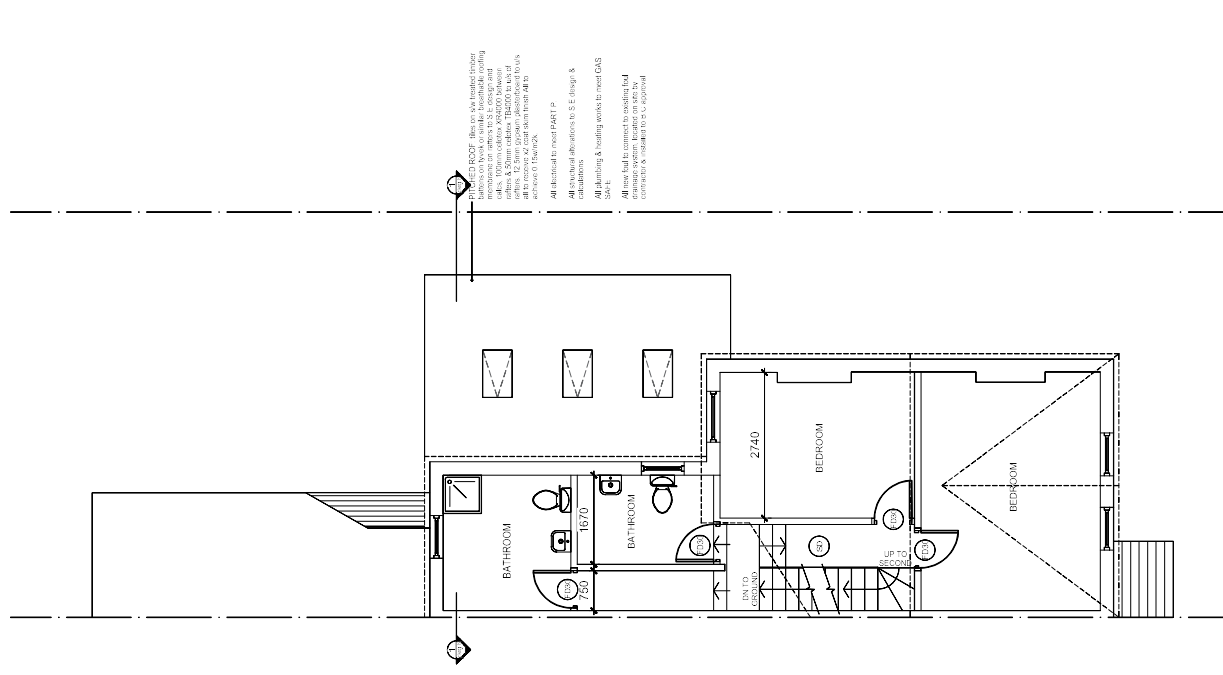
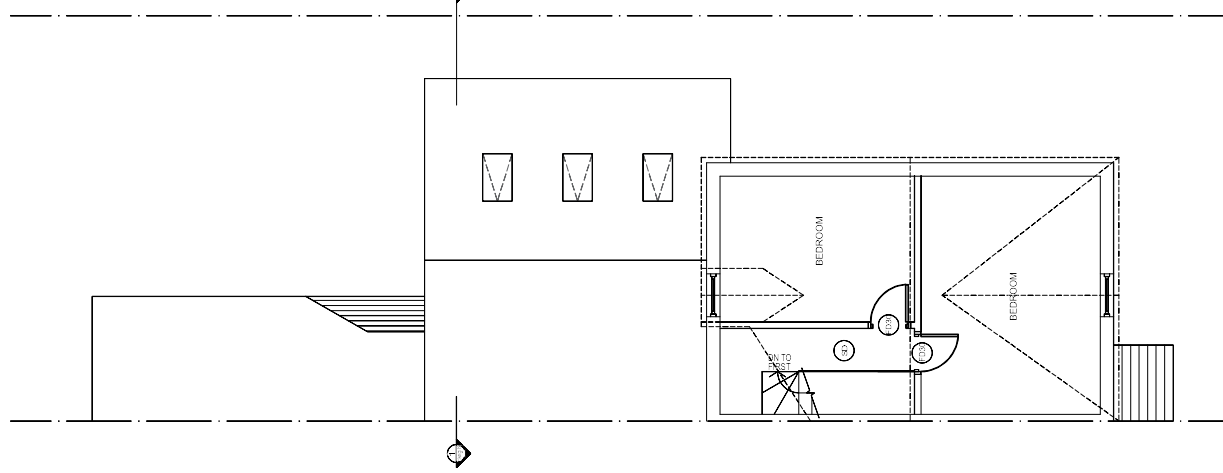
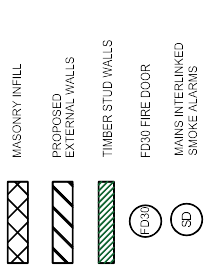


PROPOSED PLANS
Scale - 1:50 @ A1

NOTES:

All electrical to meet PART P.
All plumbing & heating to meet GAS SAFE.
All structural alterations to S.E design & calculations.
UPVC fascia & rainwater goods.

KEY:



MATTHEW LEWIS
Architect
RIBA #17
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Project Title:
PROPOSED NEW SINGLE STOREY REAR EXTENSION
150-152, CHURCH ROAD,
GLoucester,
GL1 2SE

Client:
MR & MRS CROWTHER

Drawing Title:
Proposed Plans

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Dwg No:	03
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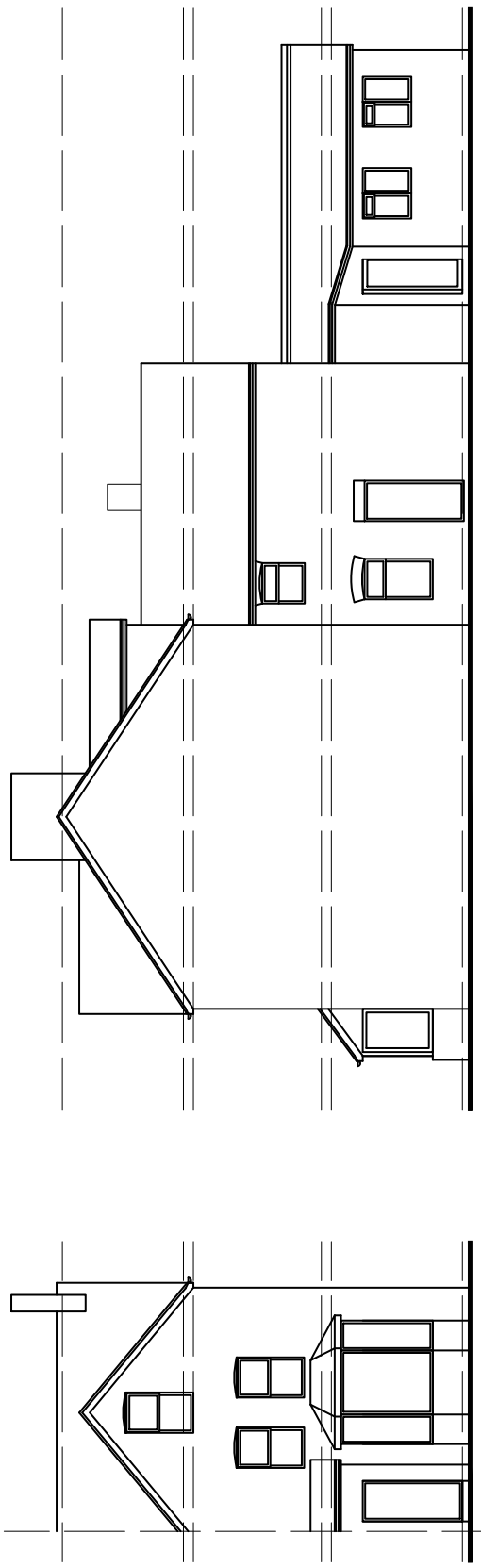
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Scale - 1:50 @ A1 / 1:100 @ A3

PROPOSED GROUND FLOOR PLAN
Scale - 1:50 @ A1 / 1:100 @ A3

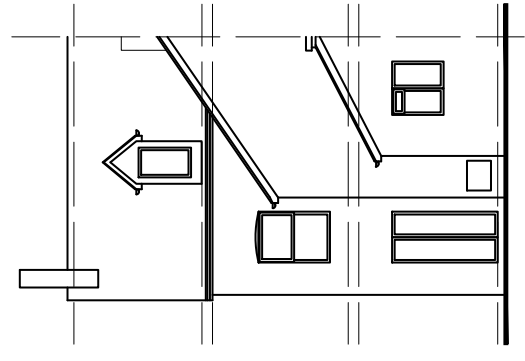
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0m 1m 2m 3m 4m 5m
EXISTING ELEVATIONS
Scale - 1:50 @ A1



EAST FACING

NORTH FACING



WEST FACING

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 ARCHITECTURAL SERVICES (ARCHITECTS) LIMITED
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Project Title
 PROPOSED NEW SINGLE STOREY
 REAR EXTENSION
 100, WEST ROAD,
 GLOUCESTER,
 GL1 2SE

Client
 MR & MRS CROWTHER

Drawing Title
 Existing Elevations

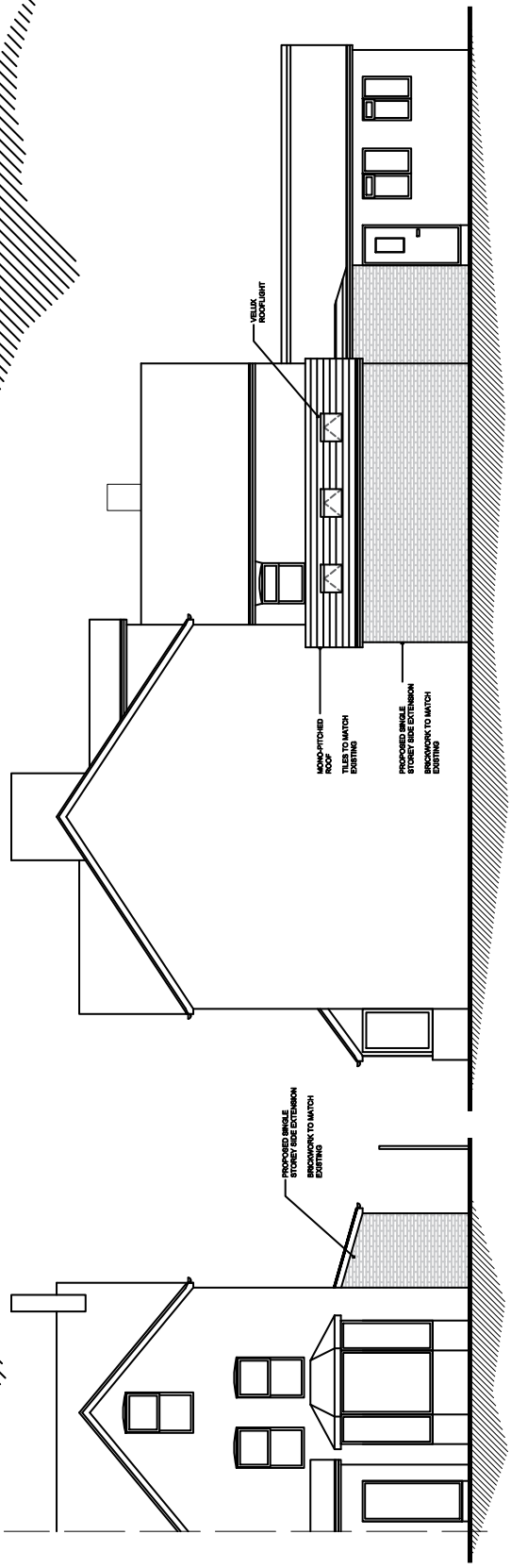
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MATERIAL KEY:
 New windows - UPVC
 Fascia & soffits - UPVC
 Rainwater goods - UPVC
 Roof - Tile to match existing

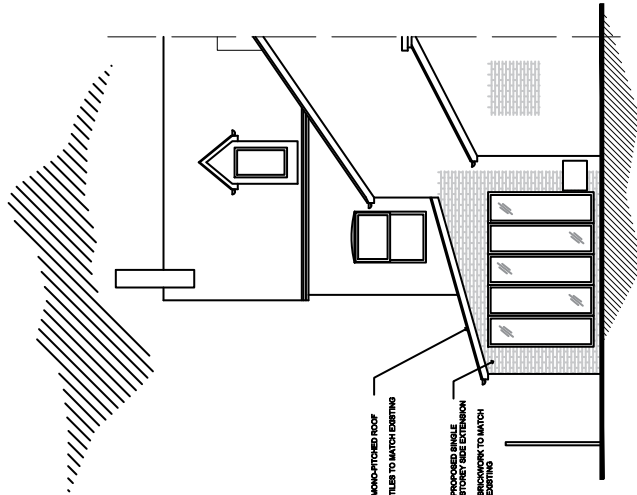


PROPOSED ELEVATIONS
 Scale - 1:50 @ A1



NORTH FACING

EAST FACING



WEST FACING

Kree8

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RIBA #
 Royal Institute of
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Project Design & Build - 7th Elm - Chichester, Sussex PO19 2BN

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 REAR EXTENSION
 7TH ELM, CHICHESTER ROAD,
 CHICHESTER,
 GL1 2SE

Client:
 MR & MRS CROWTHER

Drawing Title:
 Proposed Elevations

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Checked By:	MJL
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Dwg No:	05
Date:	19/08/22
Rev:	-

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0m 1m 2m

SECTION 1
Scale - 1:20 @ A1

Roof - 0.15w/m²k
120mm celotex XR4000 between u/s 12mm celotex TB400

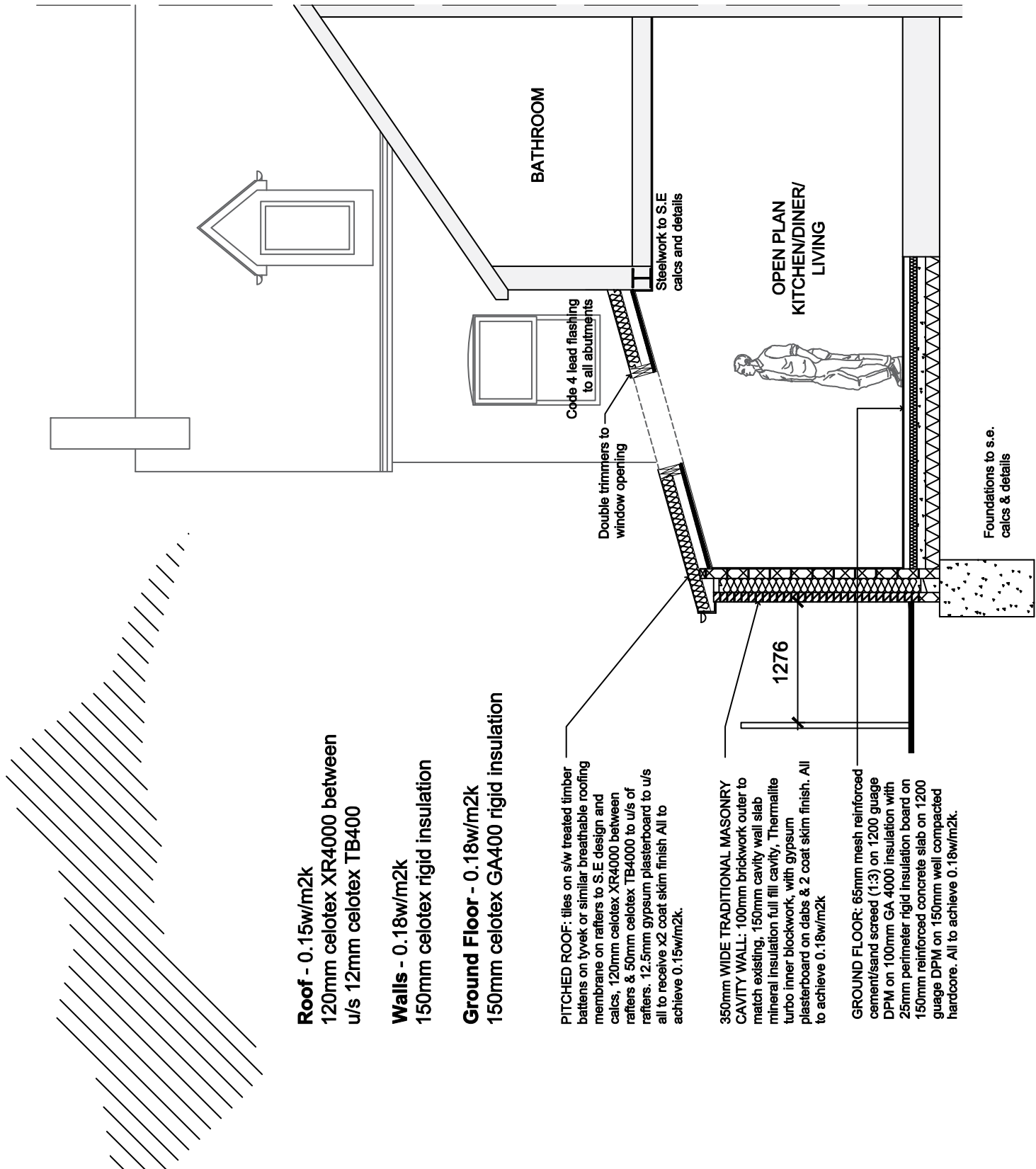
Walls - 0.18w/m²k
150mm celotex rigid insulation

Ground Floor - 0.18w/m²k
150mm celotex GA400 rigid insulation

PITCHED ROOF: tiles on s/w treated timber battens on tyvek or similar breathable roofing membrane on rafters to S.E design and calcs, 120mm celotex XR4000 between rafters & 50mm celotex TB4000 to u/s of rafters. 12.5mm gypsum plasterboard to u/s all to receive x2 coat skim finish All to achieve 0.15w/m²k.

350mm WIDE TRADITIONAL MASONRY CAVITY WALL: 100mm brickwork outer to match existing, 150mm cavity wall slab mineral insulation full fill cavity, ThermaLite turbo inner blockwork, with gypsum plasterboard on dabs & 2 coat skim finish. All to achieve 0.18w/m²k

GROUND FLOOR: 65mm mesh reinforced cement/sand screed (1:3) on 1200 gauge DPM on 100mm GA 4000 insulation with 25mm perimeter rigid insulation board on 150mm reinforced concrete slab on 1200 gauge DPM on 150mm well compacted hardcore. All to achieve 0.18w/m²k.



Kreer8

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ARCHITECTS
RIBA #
Royal Institute of
British Architects

Project Title
PROPOSED NEW SINGLE STOREY
REAR EXTENSION
6 GLOUCESTER ROAD,
GLOUCESTER,
GL1 2SE

Client
MR & MRS CROWTHER

Drawing Title
Section 1

File Number	SR1
Drawn By	MDL
Checked By	MDL
Scale	A1: 1:20
Date	19/08/22
Drawn	MDL
Rev	-