

## Application for a Lawful Development Certificate for a Proposed Use or Development

### Town and Country Planning Act 1990 (as amended)

#### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

### Site Location

**Disclaimer:** We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)  Northing (y)

Description

## Applicant Details

### Name/Company

Title

Mr & Mrs

First name

Surname

Hemmings

Company Name

### Address

Address line 1

19 Appleton Way

Address line 2

Address line 3

Gloucestershire

Town/City

Gloucester

Country

Postcode

GL3 3RP

Are you an agent acting on behalf of the applicant?

Yes

No

### Contact Details

Primary number

Secondary number

Fax number

Email address

## Agent Details

Name/Company

Title

First name

Surname

Company Name

## Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

## Contact Details

Primary number

Secondary number

Fax number

Email address

## Description of Proposal

Does the proposal consist of, or include, the carrying out of building or other operations?

- Yes  
 No

If Yes, please give detailed description of all such operations (includes the need to describe any proposal to alter or create a new access, layout any new street, construct any associated hard-standings, means of enclosure or means of draining the land/buildings) and indicate on your plans (in the case of a proposed building the plan should indicate the precise siting and exact dimensions)

Does the proposal consist of, or include, a change of use of the land or building(s)?

- Yes  
 No

Has the proposal been started?

- Yes  
 No

## Grounds for Application

### Information about the existing use(s)

Please explain why you consider the existing or last use of the land is lawful, or why you consider that any existing buildings, which it is proposed to alter or extend are lawful

Please list the supporting documentary evidence (such as a planning permission) which accompanies this application

Select the use class that relates to the existing or last use.

**Please note that following changes to Use Classes on 1 September 2020:** The list includes the now revoked Use Classes A1-5, B1, and D1-2 that should not be used in most cases. Also, the list does not include the newly introduced Use Classes E and F1-2. To provide details in relation to these or any 'Sui Generis' use, select 'Other' and specify the use where prompted. See help for more details on Use Classes.

### Information about the proposed use(s)

Select the use class that relates to the proposed use.

C3 - Dwellinghouses

**Please note that following changes to Use Classes on 1 September 2020:** The list includes the now revoked Use Classes A1-5, B1, and D1-2 that should not be used in most cases. Also, the list does not include the newly introduced Use Classes E and F1-2. To provide details in relation to these or any 'Sui Generis' use, select 'Other' and specify the use where prompted. See help for more details on Use Classes.

Is the proposed operation or use

- Permanent  
 Temporary

Why do you consider that a Lawful Development Certificate should be granted for this proposal?

Meets permitted development requirements and have no impact to neighbours or the surrounding area

## Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes  
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent  
 The applicant  
 Other person

## Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes  
 No

## Authority Employee/Member

**With respect to the Authority, is the applicant and/or agent one of the following:**

- (a) a member of staff**  
**(b) an elected member**  
**(c) related to a member of staff**  
**(d) related to an elected member**

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes  
 No

## Interest in the Land

Please state the applicant's interest in the land

- Owner
- Lessee
- Occupier
- Other

## Declaration

I / We hereby apply for Lawful development: Proposed use as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

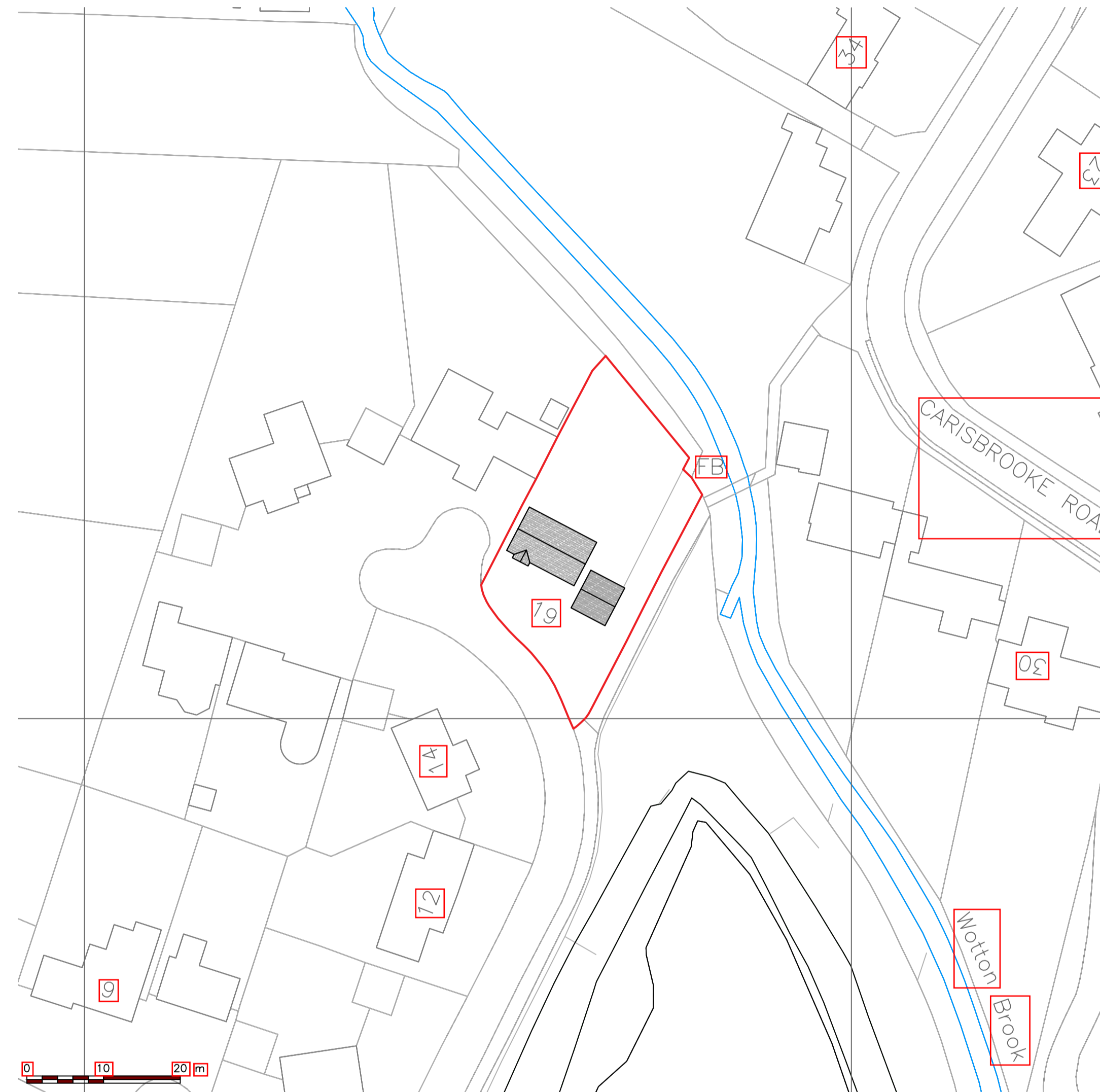
Signed

Glenn Church

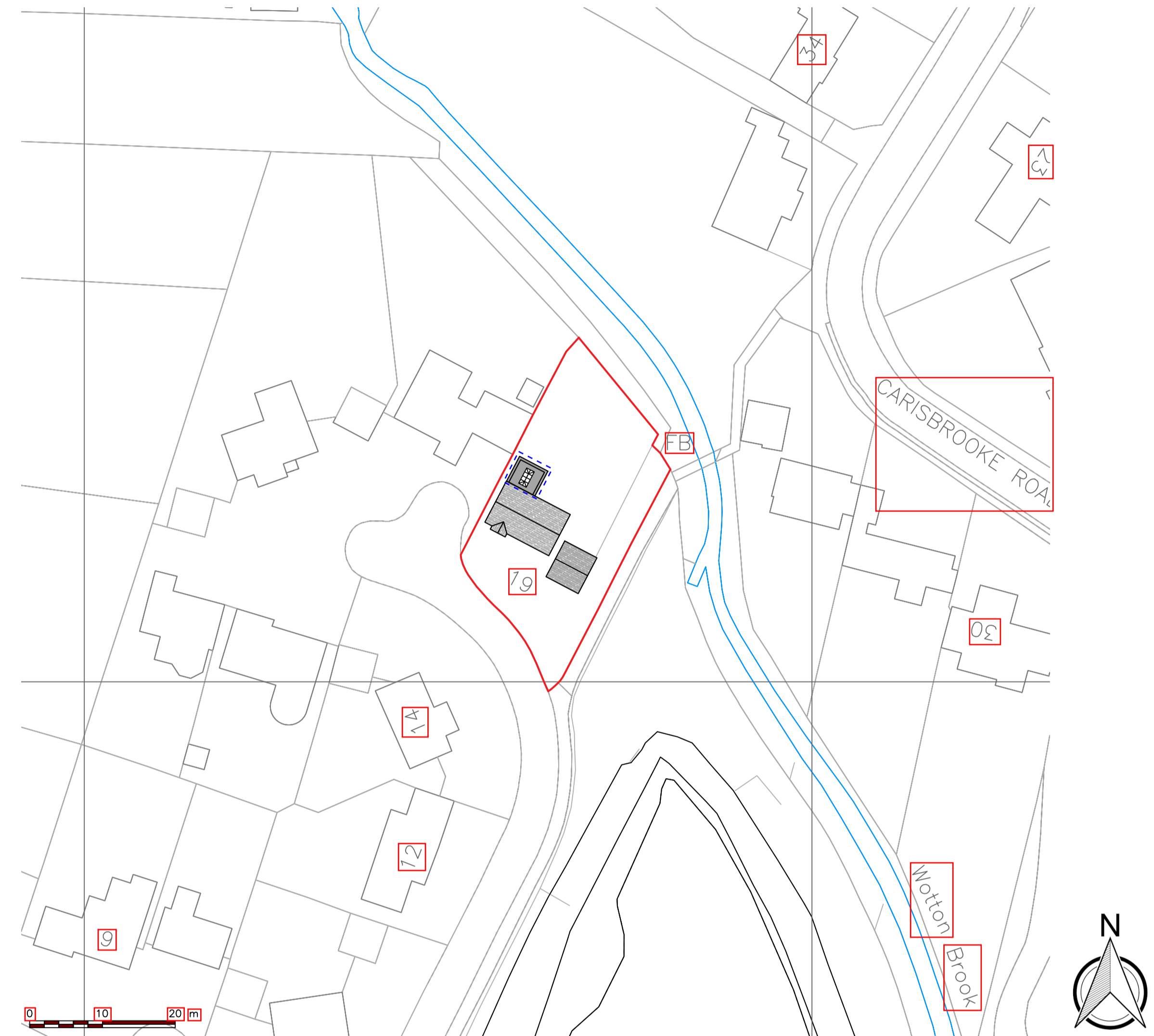
Date

17/08/2022

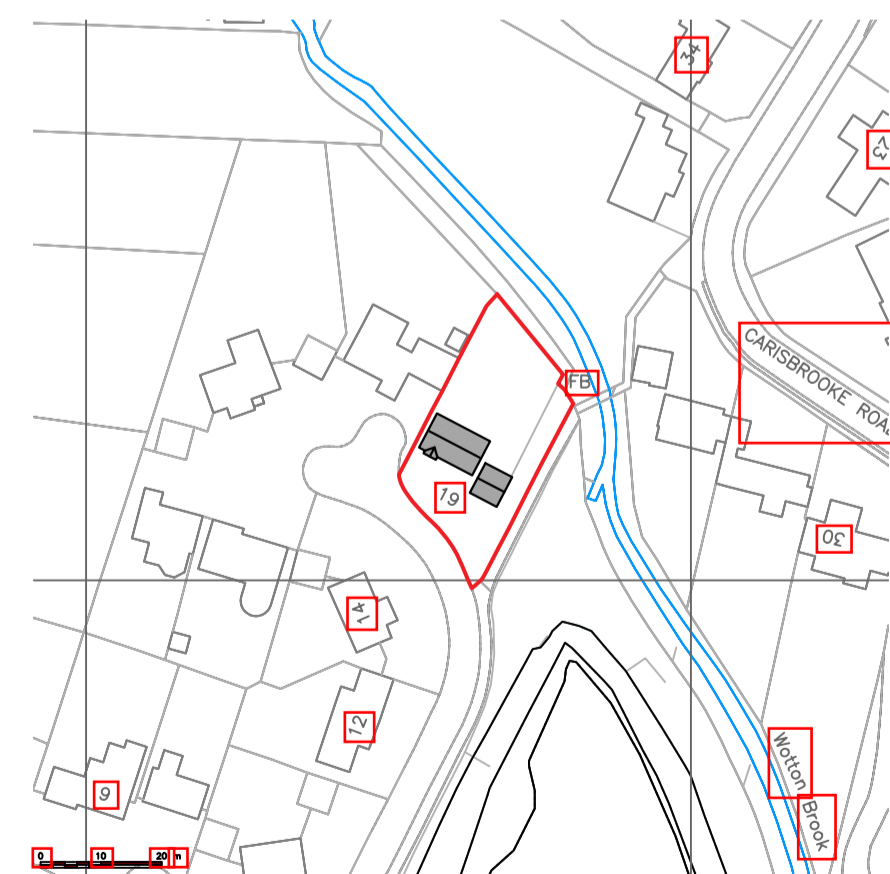
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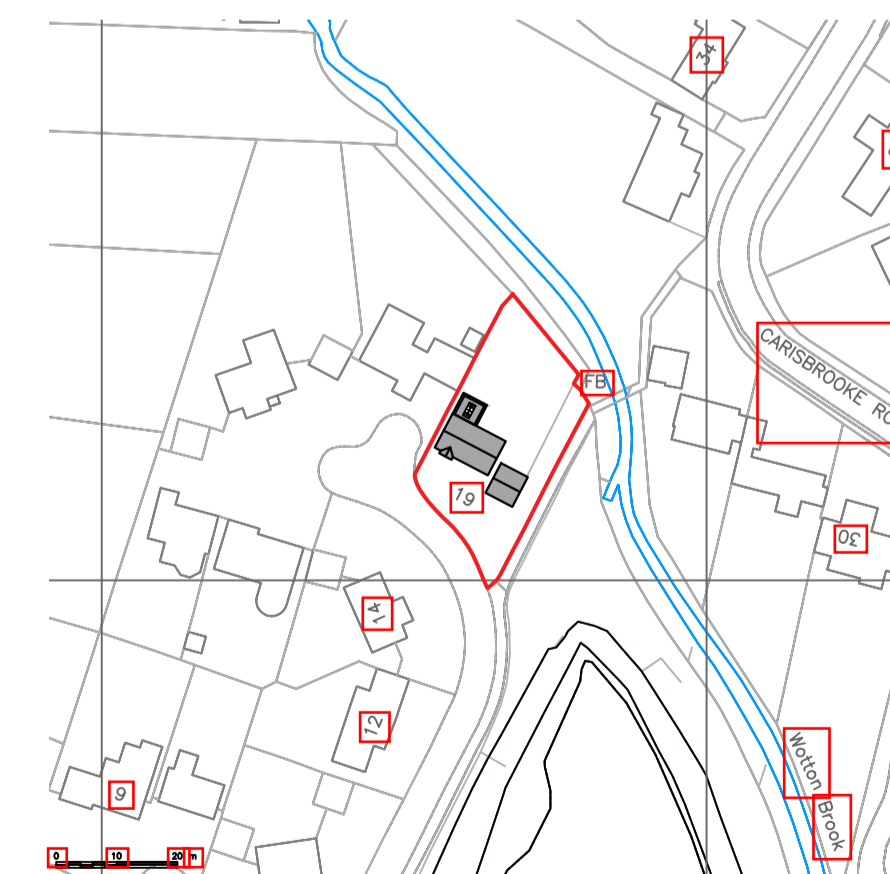
**AS EXISTING BLOCK PLAN - 1:500**



**AS PROPOSED BLOCK PLAN - 1:500**



**AS EXISTING SITE PLAN - 1:1250**



**AS PROPOSED SITE PLAN - 1:1250**

- NOTES**
- 1) ALL DIMENSIONS TO BE CHECKED ONSITE PRIOR TO CONSTRUCTION (INTERNAL DIMS MAY CHANGE DEPENDING ON EXTERNAL WALL CONSTRUCTION METHOD)
  - 2) A STRUCTURAL ENGINEER MUST BE CONSULTED FOR ALL STRUCTURAL WORKS
  - 3) WORKS TO BE CARRIED OUT BY COMPETENT, QUALIFIED CONTRACTORS
  - 4) ALL WORKS TO BE CARRIED OUT UNDER A LOCAL AUTHORITY BUILDING NOTICE  
ALL BUILD NOTES ARE GIVEN BASED ON STANDARD BUILDING REGULATIONS DETAILS AND MAY VARY, CONSTRUCTION METHODS MAY VARY ACCORDING TO BUILDERS PREFERENCE AND BUILDING CONTROL OFFICER REQUIREMENTS.  
THESE DRAWINGS ARE PRODUCED FOR PLANNING ONLY.

**CLIENT/PROJECT:**  
MR & MRS HEMMINGS  
19 APPLETON WAY, GLOUCESTER, GL3 3RP  
PROPOSED SINGLE STOREY REAR EXTENSION

**TITLE:**  
AS EXISTING AND PROPOSED SITE PLANS

**SCALE:**  
1:1250 & 1:500 @ A1

**DATE:**  
JULY 2022



# Homeplan Drafting Services

Planning and Architectural Services

28 Jasmine Close, Abbeydale, Gloucester GL4 5FJ

[www.homeplanservices.co.uk](http://www.homeplanservices.co.uk)

## ERECTION OF SINGLE STOREY REAR EXTENSION 19 APPLETON WAY, HUCCLECOTE, GLOUCESTER, GL3 3RP

### FLOOD RISK ACCESSION

19 Appleton way borders within Flood Zone 2/3 (Medium/high) according to the Environment Agency (EA) Flood Maps for Planning. (Figure 1)

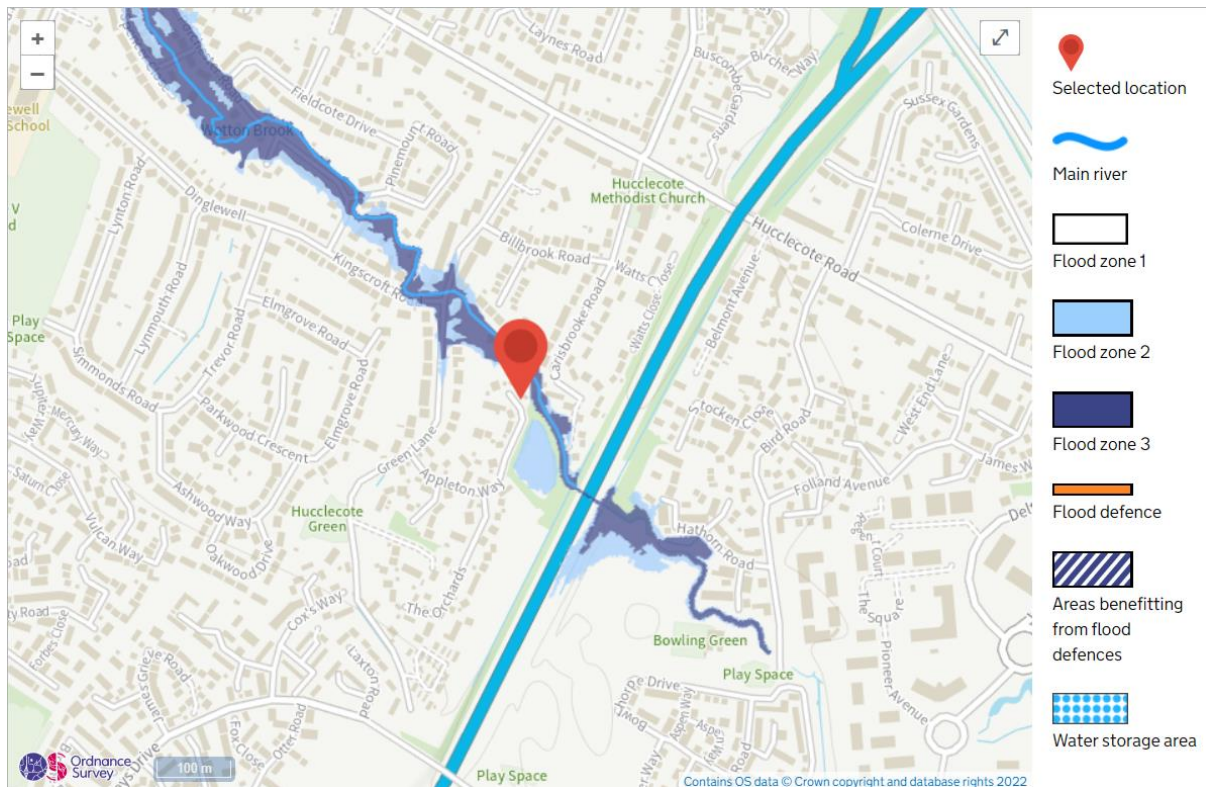


Figure 1

The proposal the erection of a single storey flat roof construction of only 18sqm. The proposal is not located within the flood zone directly. The sites terrain is very uneven, with the property on much higher land than the rear of the site that borders Wotton Brook

According to the government long term flood risk check the proposed site is a high risk of surface water flooding.

### Surface water flood map:



According to the government long term flood risk check the proposed site is a low risk of surface water flooding. (Figure 2)

The surface water flood map represents a low extent of flooding from surface water during periods of flash flooding and heavy rainfall in quick succession.

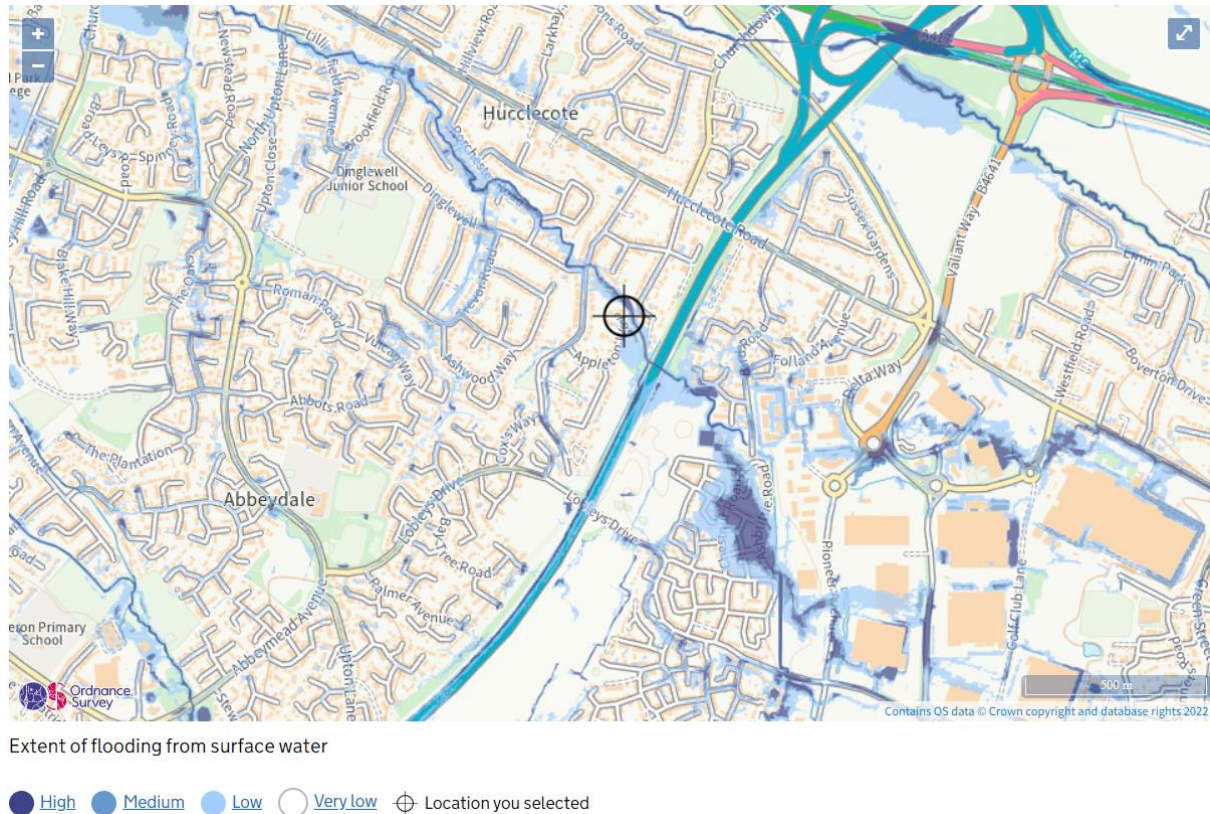


Figure 2

### **Flood mitigation in the area:**

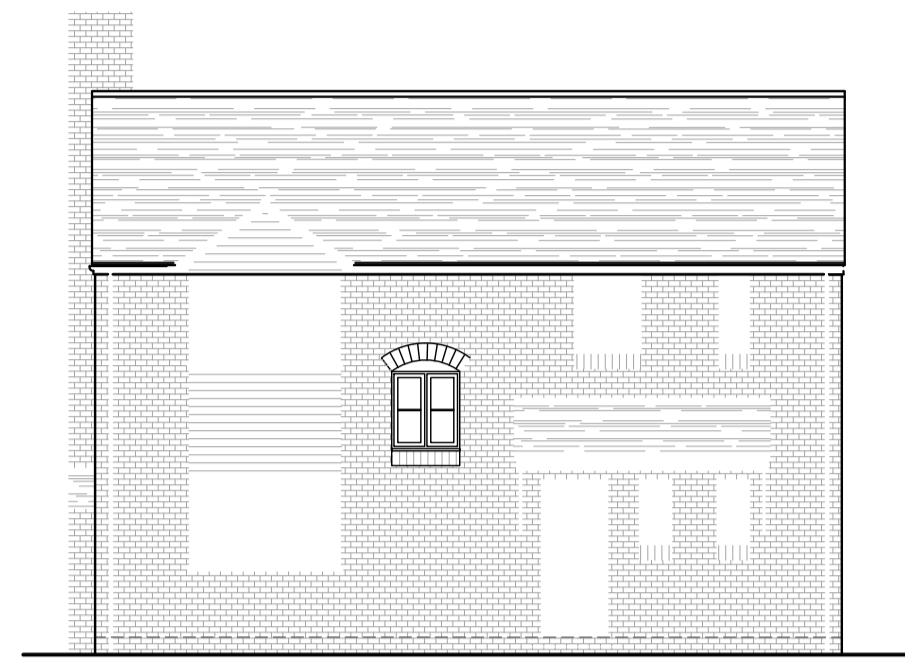
In recent years the local authority has created a balancing pond to the rear of the site to deal with excessive surface water in times of heavy rainfall and flash flooding.

Water attenuation systems prevent surface water flooding by slowing down the rate of water entering the drainage network.

### **Flood Risk Mitigation and Resilience:**

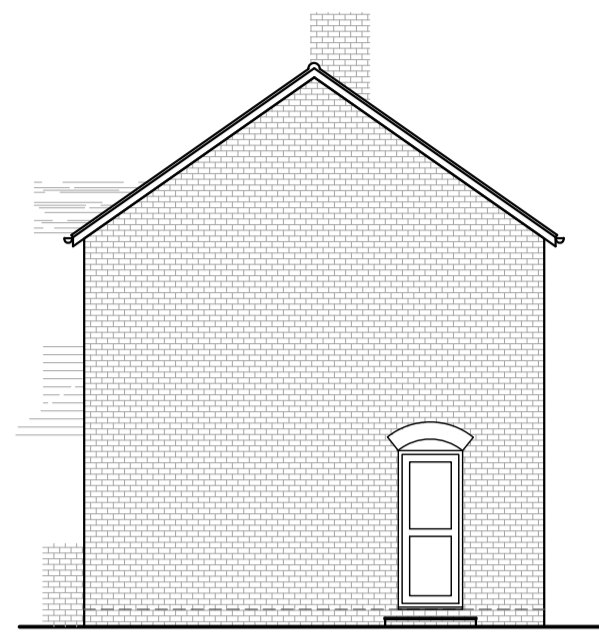
The finished floor levels of the of all habitable rooms will be set no lower than those of the existing dwelling as a result this site will remain dry. This negates the need for further resilience measures to be put in place. However, given the area's history for flooding some extra resilience measures like placing plug sockets at a slightly elevated level would offer a robust approach to flood safety.

Surface water will still be discharged into the existing sewers.



**FRONT ELEVATION - 1:100**

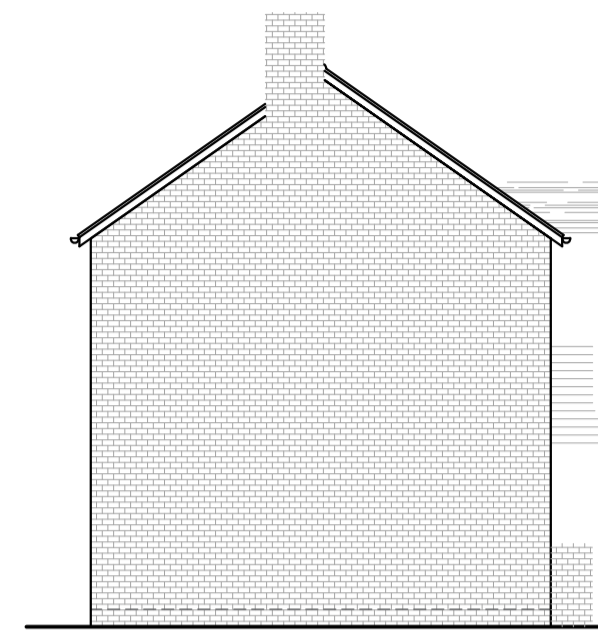
THIS BAR SHOULD SCALE 5M @ 1:100



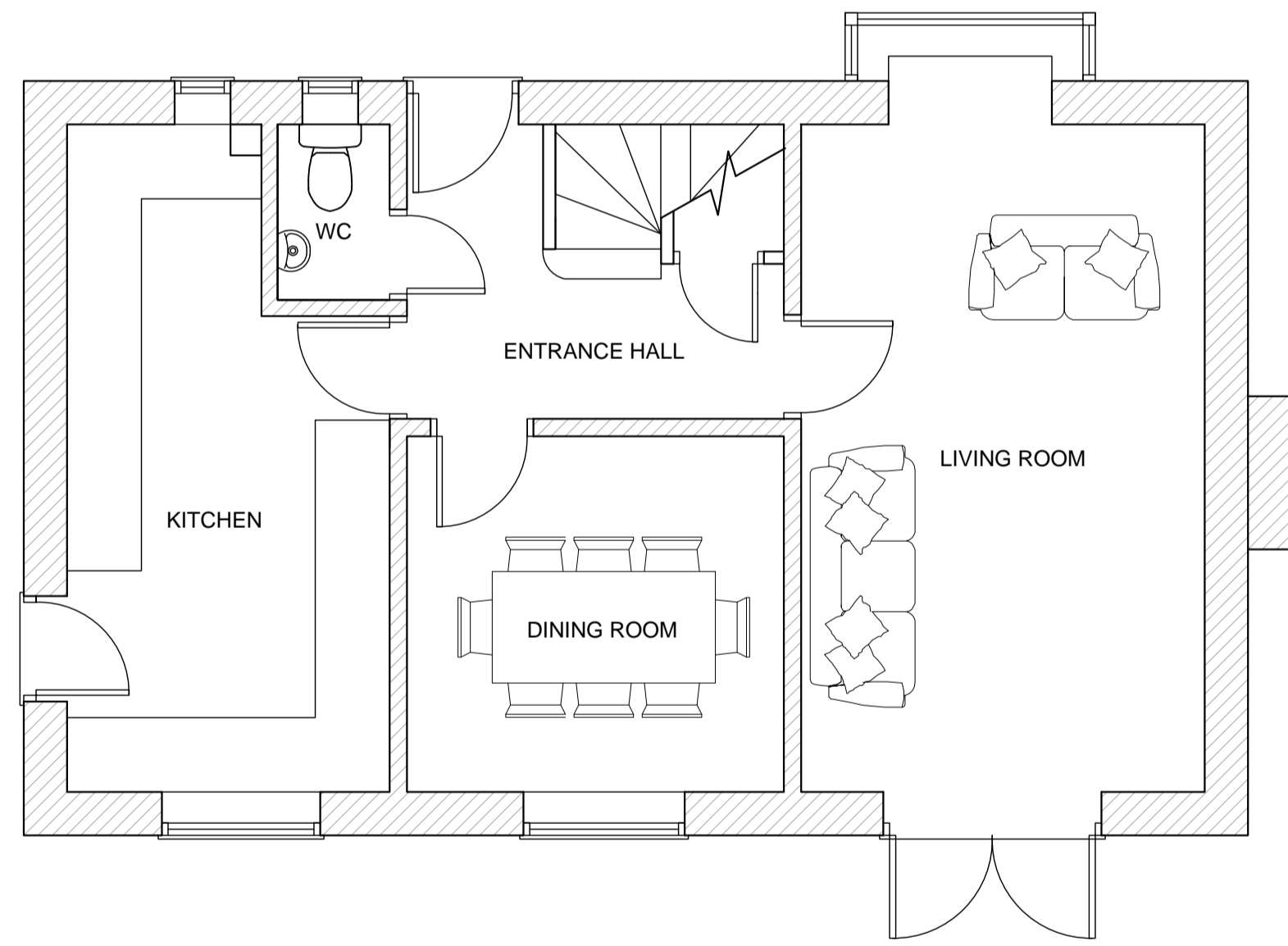
**SIDE ELEVATION - 1:100**



**REAR ELEVATION - 1:100**

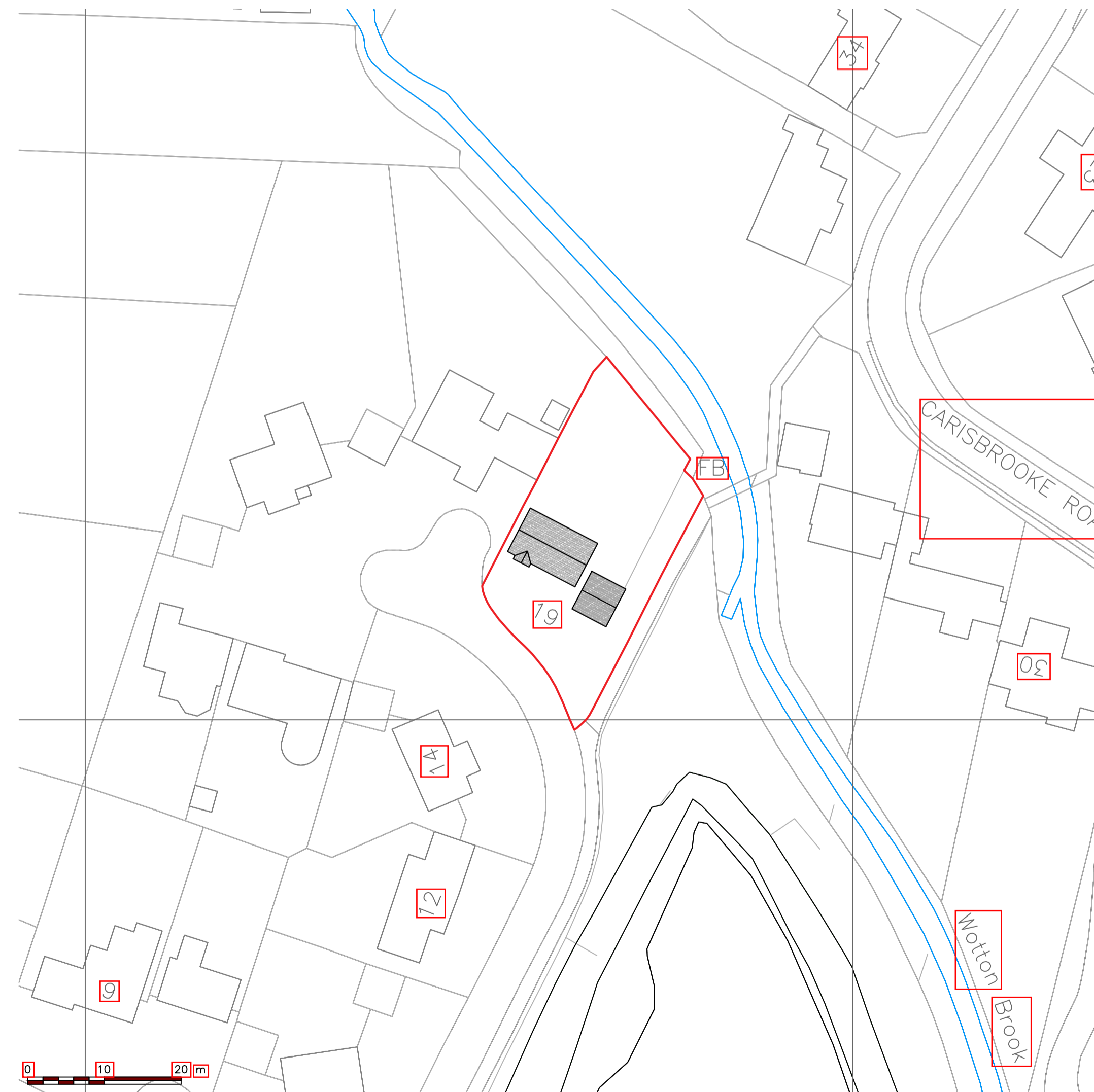


**END ELEVATION - 1:100**



**AS EXISTING GROUND FLOOR PLAN - 1:50**

THIS BAR SHOULD SCALE 5M @ 1:50



**AS EXISTING BLOCK PLAN - 1:500**

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 PROPOSED SINGLE STOREY REAR EXTENSION

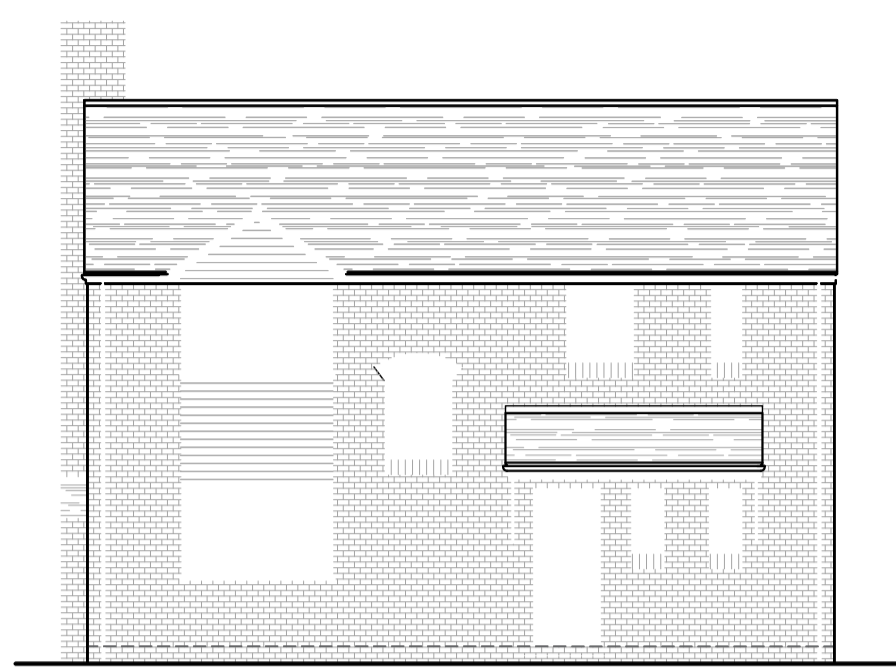
**TITLE:**  
 AS EXISTING PLANS & ELEVATIONS

**SCALE:**  
 1:50, 1:100 & 1:500 @ A1

**DATE:**  
 JULY 2022



# FOR PLANNING ONLY

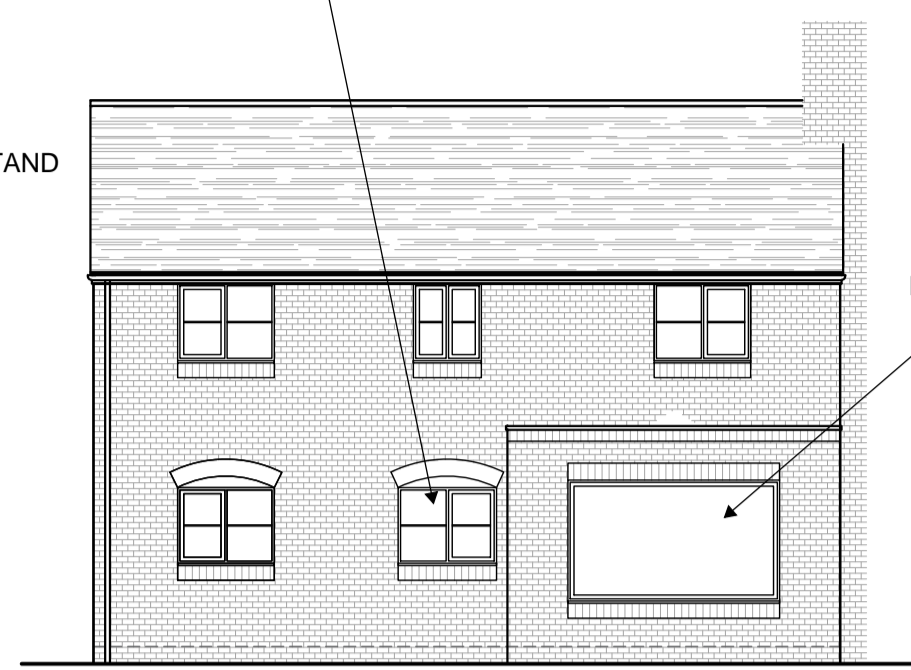


AS PROPOSED FRONT ELEVATION - 1:100

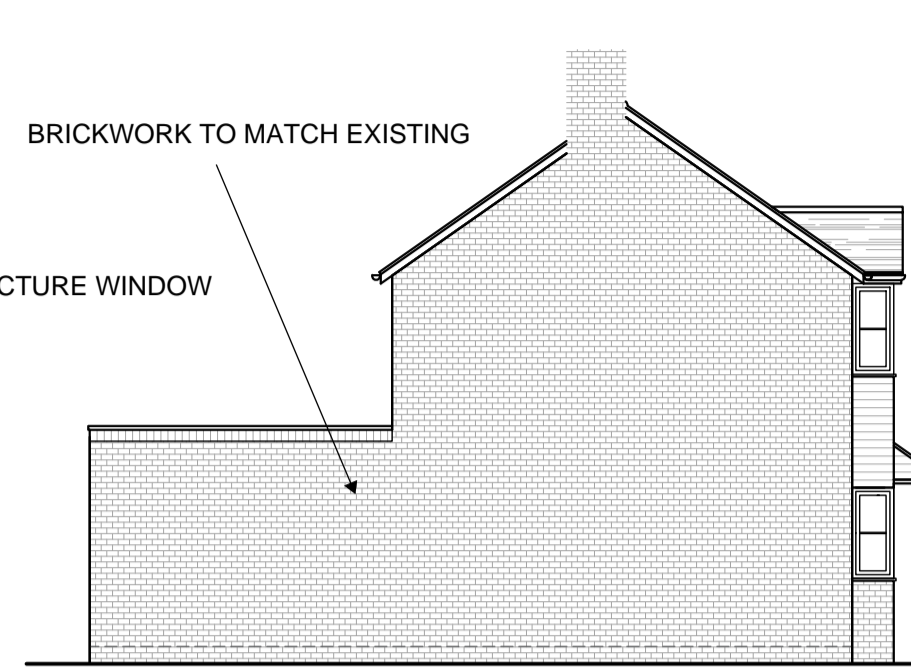
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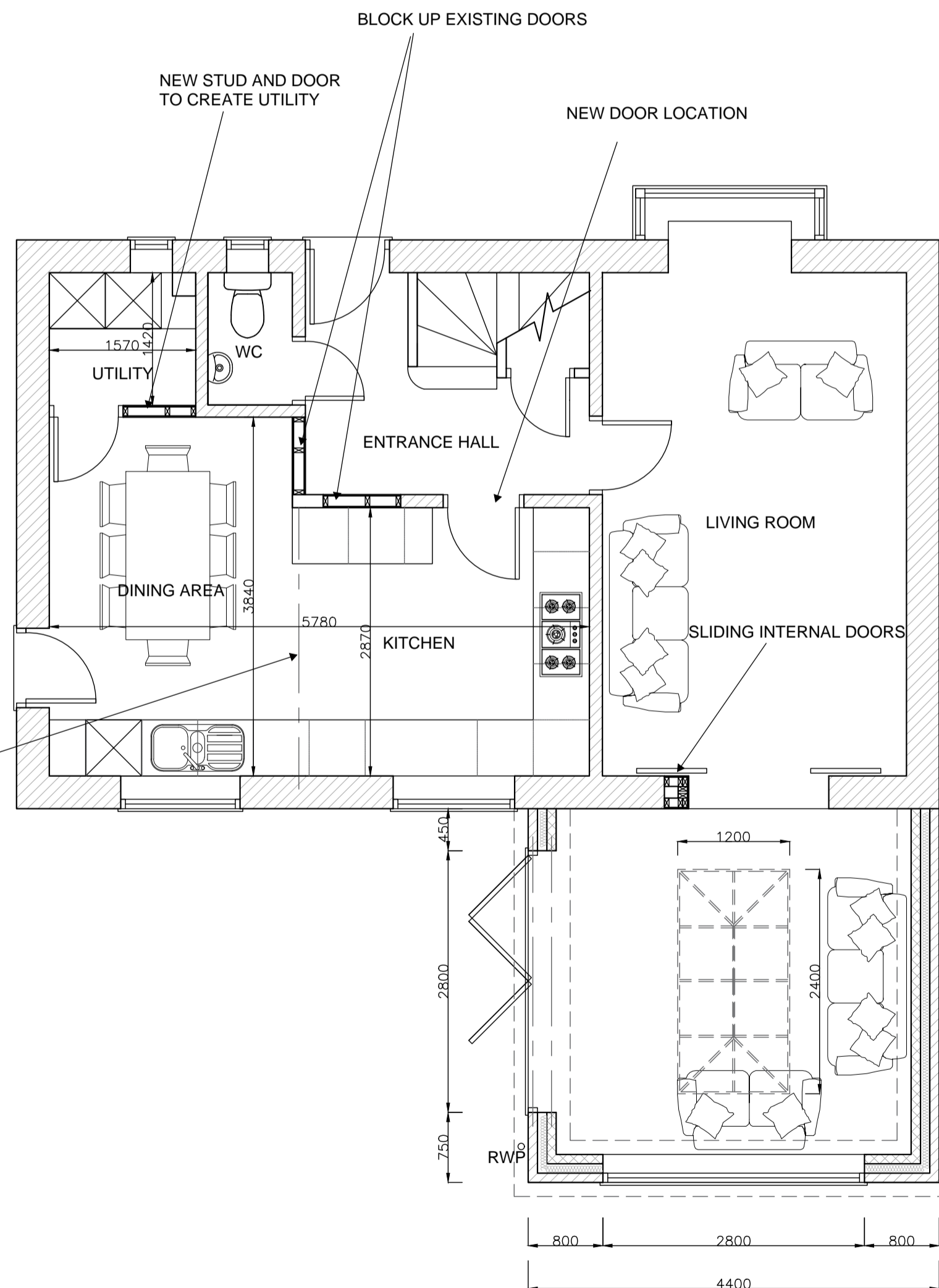
AS PROPOSED SIDE ELEVATION - 1:100



AS PROPOSED REAR ELEVATION - 1:100



AS PROPOSED END ELEVATION - 1:100



AS PROPOSED GROUND FLOOR PLAN - 1:50



THIS BAR SHOULD SCALE 5M @ 1:50

NEW WINDOW SILL LEVEL TO MATCH OTHER

GRP WARM ROOF WITH PARAPET UPSTAND

BRICKWORK TO MATCH EXISTING

FIXED PICTURE WINDOW

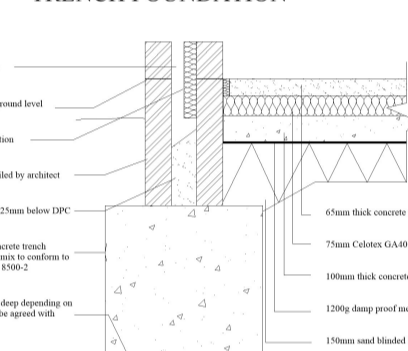
### EXISTING STRUCTURE

Existing structure including foundations, beams, walls and lintels carrying new and altered loads are to be exposed and checked for adequacy prior to commencement of work and as required by the Building Control Officer.

### TRENCH FOUNDATION

Provide 750mm x 600mm trench fill foundations, concrete mix to conform to BS EN 206-1 and BS 8500-2. All foundations to be a minimum of 1000mm below ground level, exact depth to be agreed on site with Building Control Officer to suit site conditions. All constructed in accordance with 2004 Building Regulations A1.2 and BS 8004:1986 Code of Practice for Foundations. Ensure foundations are constructed below invert level of any adjacent drains. Base of foundations supporting internal walls to be min 600mm below ground level. Sulphate resistant cement to be used if required. Please note that should any adverse soil conditions or difference in soil type be found or any major tree roots in excavations, the Building Control Officer is to be contacted and the advice of a structural engineer should be sought.

### TRENCH FOUNDATION



### WALLS BELOW GROUND

All new walls to have Class A blockwork below ground level or alternatively semi engineering brickwork in 1:4 masonry cement or equal approved specification. Cavities below ground level to be filled with lean mix concrete min 225mm below damp proof course. Or provide lean mix backfill at base of cavity wall (150mm below damp course) laid to face weepholes.

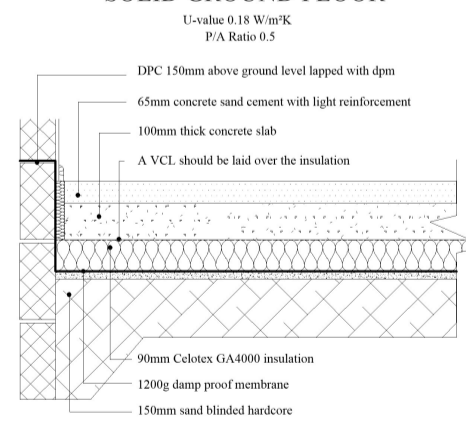
### PIPEWORK THROUGH WALLS

Where new pipework passes through external walls form rocker joints either side wall face of max length 600mm with flexible joints with short length of pipe bedded in wall. Alternatively provide 75mm deep pre-cast concrete plank lintels over drain to form opening in wall to give 50mm space all round pipe: mask opening both sides with rigid sheet material and compressible sealant to prevent entry of fill or vermin.

### SOLID FLOOR INSULATION UNDER SLAB

Provide 150mm consolidated well-rammed hardcore. Blinded with 50mm sand blinding. Provide a 1200 gauge polythene DPM, DPM to be lapped in with DPC in walls. Floor to be insulated over DPM with 90mm thick Celotex GA4000 insulation. 25mm insulation to continue around floor perimeters to avoid thermal bridging. A VCL should be laid over the insulation boards and turned up 100mm at room perimeters behind the skirting, all joints to be lapped 150mm and sealed, provide 100mm ST2 or Gen2 ground bearing slab concrete mix to conform to BS 8500-2 over VCL. Finish with 60mm sand/cement finishing screed with light mesh reinforcement. Where drain runs pass under new floor, provide A142 mesh 1.0m wide within bottom of slab min 50mm concrete cover over length of drain. Where existing suspended timber floor air bricks are covered by new extension, ensure cross-ventilation is maintained by connecting to 100mm dia UPVC pipes to terminate at new 65mm x 215mm air bricks built into new cavity wall with 100mm concrete cover laid under the extension. Ducts to be sleeved through cavity with cavity tray over.

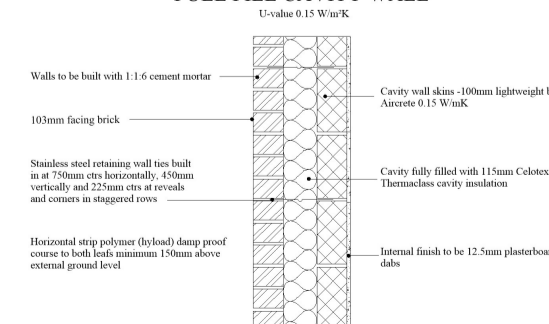
### SOLID GROUND FLOOR



### FULL FILL CAVITY WALL

To achieve minimum U Value of 0.18 W/m<sup>2</sup>K (actual U Value achieved 0.15 W/m<sup>2</sup>K) New cavity wall to comprise of 103mm suitable facing brick. Full fill the cavity with 115mm Thermacast Cavity Wall 21 as manufacturer's details. Inner leaf constructed using 100mm lightweight block, 0.15 W/m<sup>2</sup>K, e.g. Celcon solar, Thermatite turbo. Internal finish to be 12.5mm plasterboard on dabs. Walls to be built with 1:1:6 cement mortar. All details including corner and junction to be as relevant BSA certificate. Location to be assessed for suitability of insulation boards. 10mm cavity to be provided if required.

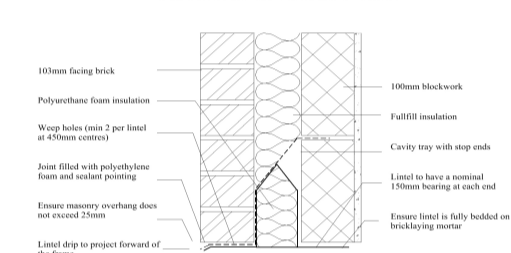
### FULL FILL CAVITY WALL



### LINTELS

For uniformly distributed loads and standard 2 storey domestic loadings only. Lintel widths are to be equal to wall thickness. All lintels over 750mm sized internal door openings to be 65mm deep pre-stressed concrete plank lintels. 150mm deep lintels are to be used for 900mm sized internal door openings. Lintels to have a minimum bearing of 150mm on each end. Any existing lintels carrying additional loads are to be exposed for inspection at commencement of work on site. All pre-stressed concrete lintels to be designed and manufactured in accordance with BS 8110, with a concrete strength of 50 or 40 N/mm<sup>2</sup> and incorporating steel strands to BS 5886 to support loadings assessed to BS 5977 Part 1. For other structural openings provide proprietary insulated steel lintels suitable for spans and loadings in compliance with Approved Document A and lintel manufacturers standard tables. Stop ends, DPC trays and weep holes to be provided above all externally located lintels.

### LINTEL AND CAVITY TRAY



### LEAD WORK AND FLASHINGS

All lead flashings, any valleys or soakers to be Code 5 lead and laid according to Lead Development Association. Flashings to be provided to all jamps and below window openings with welded upstands. Joints to be lapped min 150mm and lead to be dressed 200mm under tiles, etc. All work to be undertaken in accordance with the Lead Development Association recommendations.

### NEW AND REPLACEMENT DOORS

New and replacement doors to achieve a U-Value of 1.4 W/m<sup>2</sup>K. Glazed areas to be double glazed with 16-20mm argon gap and soft low-E glass. Glass to be toughened or laminated safety glass to BS 6206, BS EN 14179 or BS EN ISO 12543-1 and Part K (Part N in Wales) of the current Building Regulations. Insulated plasterboard to be used in reveals to abut jamps and to be considered within reveal soffits. Fully insulated and continuous cavity closers to be used around reveals. Windows and door frames to be taped to surrounding openings using air sealing tape.

### NEW AND REPLACEMENT WINDOWS

New and replacement windows to be double glazed with 16-20mm argon gap and soft low-E glass. Window Energy Rating to be Band B or better and to achieve U-value of 1.4 W/m<sup>2</sup>K. The door and window openings should be limited to 25% of the extension floor area plus the area of any existing openings covered by the extension. Insulated plasterboard to be used in reveals to abut jamps and to be considered within reveal soffits. Fully insulated and continuous cavity closers to be used around reveals. Windows and door frames to be taped to surrounding openings using air sealing tape. Windows to be fitted with trickle vents to provide adequate background ventilation in accordance with Approved Document F.

### ABOVE GROUND DRAINAGE

All new above ground drainage and plumbing to comply with BS EN 12056-2:2000 for sanitary pipework. All drainage to be in accordance with Part H of the Building Regulations. Wastes to have 75mm deep anti vac bottle traps and rodding eyes to be provided at changes of direction.

Size of wastes pipes and max length of branch connections (if max length is exceeded then anti vacuum traps to be used)

Wash basin - 1.7m for 32mm pipe 4m for 40mm pipe

Bath/shower - 3m for 40mm pipe 4m for 50mm pipe

W/C - 6m for 100mm pipe for single WC

All branch pipes to connect to 110mm soil and vent pipe terminating min 900mm above any openings within 3m.

Or to 110mm upvc soil pipe with accessible internal air admittance valve complying with BS EN 12380, placed at a height so that the outlet is above the trap of the highest fitting.

Waste pipes not to connect on to SVP within 200mm of the WC connection. Supply hot and cold water to all fittings as appropriate.

### INTERNAL STUD PARTITIONS

100mm x 50mm softwood treated timbers studs at 400mm ctrs with 50 x 100mm head and sole plates and solid intermediate horizontal noggins at 1/3 height or 450mm. Provide min 10kg/m<sup>3</sup> density acoustic soundproof quilt tightly packed (eg. 100mm Rockwool or Iso wool mineral fibre sound insulation) in all voids the full depth of the stud. Partitions built of double up joists where partitions run parallel or provide noggins where at right angles, or built off DPC on thickened concrete slab if solid ground floor. Walls faced throughout with 12.5mm plaster board with skim plaster finish. Taped and jointed complete with beads and stops.

### EXTRACT TO KITCHEN

Kitchen to have mechanical ventilation with an extract rating of 60/sec or 30/sec if adjacent to hob to external air, sealed to prevent entry of moisture. Internal doors should be provided with a 10mm gap below the door to aid air circulation. Ventilation provision in accordance with the Domestic Ventilation Compliance Guide. Interim extract fans to BS EN 13141-4. Cooker hoods to BS EN 13141-3. All fixed mechanical ventilation systems, where they can be tested and adjusted, shall be commissioned and a commissioning notice given to the Building Control Body.

### BACKGROUND AND PURGE VENTILATION

Background ventilation - Controllable background ventilation via trickle vents to BS EN 13141-3 within the window frame to be provided to new habitable rooms at a rate of min 5000mm<sup>2</sup> to kitchens, bathrooms, WCs and utility rooms at a rate of 2500mm<sup>2</sup>. Purge ventilation - New Windows/rooftlights to have openable area in excess of 1/20th of their floor area, if the window opens more than 30° or 1/10th of their floor area if the window opens less than 30°. Internal doors should be provided with a 10mm gap below the door to aid air circulation. Ventilation provision in accordance with the Domestic Ventilation Compliance Guide.

### FLAT ROOF VENTILATION

Cross-ventilation to be provided on opposing sides by a proprietary eaves ventilation strip equivalent to 25mm continuous with fly proof screen. Flat roof insulation is to be continuous with the wall insulation but stopped back to allow a 50mm air gap above the insulation for ventilation.

### C2. CONDENSATION

Walls, floors and roof of the building to be designed and constructed so that their structural and thermal performance will not be adversely affected by interstitial condensation, surface condensation or mould growth. Account to be taken of the building's form and orientation in relation to topography, prevailing winds, sunlight and over-shadowing, and the rate at which humidity is generated. Materials with the highest vapour resistance should be located on the warm side of a thermal element. VCLs to be provided where necessary. The junctions between elements are designed to Accredited Construction Details or guidance of BRE IP17(01) and BS 5250:2011+A1:2016 Code of practice for control of condensation in buildings to be followed.

### WARM FLAT ROOF

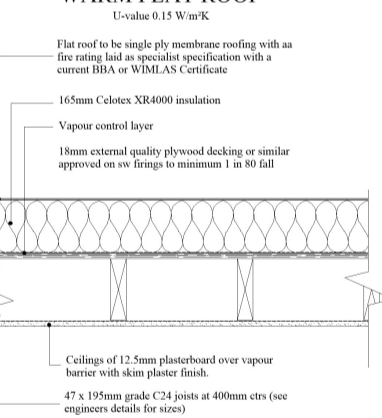
(Imposed load max 1.0 kN/m<sup>2</sup> - dead load max 0.75 kN/m<sup>2</sup>)

To achieve U value 0.15 W/m<sup>2</sup>K

Flat roof to be single ply membrane roofing providing a fire rating for surface spread of flame with a current BBA or WIMLAS Certificate and laid to specialist specification. Single ply membrane to be fixed to 22mm exterior quality plywood over 165mm Celotex XR4000 insulation.

Insulation bonded to vcl on 22mm external quality plywood decking or similar approved on sw firings to minimum 1 in 80 fall on sw treated 47 x 195mm C24 flat roof joists at 400mm ctrs to give a max span of 4.51m or as Structural Engineer's details and calculations. Underside of joists to have 12.5mm foil backed plasterboard and skim. Provide cavity tray to existing house where new roof abuts existing house. Provide restraint to flat roof by fixing of 30 x 5 x 1000mm ms galvanised lateral restraint straps at maximum 200mm centres fixed to 100 x 50mm wall plates and anchored to wall. THIS IS A GENERAL GUIDE BASED ON NORMAL LOADING CONDITIONS FOUND IN DOMESTIC CONSTRUCTION. IT IS YOUR RESPONSIBILITY TO ASSESS YOUR DESIGN TO ASCERTAIN WHETHER ENGINEER'S DETAIL CALCULATIONS ARE REQUIRED. PLEASE REFER TO THE TRADA DOCUMENT - SPAN TABLES FOR SOLID TIMBER MEMBERS IN FLOORS, CEILINGS AND ROOFS FOR DWELLINGS OR ASK YOUR BUILDING CONTROL OFFICER FOR ADVICE.

### WARM FLAT ROOF



CLIENT/PROJECT:

MR & MRS HEMMINGS

19 APPLETON WAY, GLOUCESTER, GL3 3RP  
PROPOSED SINGLE STOREY REAR EXTENSION

TITLE:

AS PROPOSED PLANS & ELEVATIONS

SCALE:

1:100 & 1:50 @ A1

DATE:

AUG 2022

19AW-H-EW-002A

### NOTES

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