

## Application for Planning Permission

### Town and Country Planning Act 1990 (as amended)

#### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

### Site Location

**Disclaimer:** We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)  Northing (y)

Description

## Applicant Details

### Name/Company

Title

Mr

First name

K

Surname

Fagan

Company Name

### Address

Address line 1

44 Larkhay Road

Address line 2

Address line 3

Town/City

Gloucester

County

Gloucestershire

Country

Postcode

GL3 3NU

Are you an agent acting on behalf of the applicant?

Yes

No

### Contact Details

Primary number

Secondary number

Fax number

Email address

## Agent Details

Name/Company

Title

First name

Surname

Company Name

## Address

Address line 1

Address line 2

Address line 3

Town/City

County

Country

Postcode

## Contact Details

Primary number

\*\*\*\* REDACTED \*\*\*\*

Secondary number

Fax number

Email address

\*\*\*\* REDACTED \*\*\*\*

## Site Area

What is the measurement of the site area? (numeric characters only).

679.00

Unit

Sq. metres

## Description of the Proposal

Please note in regard to:

- **Fire Statements** - From 1 August 2021, planning applications for buildings of over 18 metres (or 7 stories) tall containing more than one dwelling will require a 'Fire Statement' for the application to be considered valid. There are some exemptions. [View government planning guidance on fire statements](#) or [access the fire statement template and guidance](#).
- **Permission In Principle** - If you are applying for Technical Details Consent on a site that has been granted Permission In Principle, please include the relevant details in the description below.
- **Public Service Infrastructure** - From 1 August 2021, applications for certain public service infrastructure developments will be eligible for faster determination timeframes. See help for further details or [view government planning guidance on determination periods](#).

### Description

Please describe details of the proposed development or works including any change of use

Demolition of existing property and construction of new house.

Has the work or change of use already started?

Yes

No

## Existing Use

Please describe the current use of the site

Residential.

Is the site currently vacant?

- Yes
- No

**Does the proposal involve any of the following? If Yes, you will need to submit an appropriate contamination assessment with your application.**

Land which is known to be contaminated

- Yes
- No

Land where contamination is suspected for all or part of the site

- Yes
- No

A proposed use that would be particularly vulnerable to the presence of contamination

- Yes
- No

## Materials

Does the proposed development require any materials to be used externally?

- Yes
- No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

**Type:**

Walls

**Existing materials and finishes:**

Brick

**Proposed materials and finishes:**

Render

**Type:**

Roof

**Existing materials and finishes:**

Clay tiles

**Proposed materials and finishes:**

Artificial slate

Are you supplying additional information on submitted plans, drawings or a design and access statement?

- Yes
- No

If Yes, please state references for the plans, drawings and/or design and access statement

22075 - 03 and 04

## Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicular access proposed to or from the public highway?

- Yes  
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes  
 No

Are there any new public roads to be provided within the site?

- Yes  
 No

Are there any new public rights of way to be provided within or adjacent to the site?

- Yes  
 No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

- Yes  
 No

## Vehicle Parking

Does the site have any existing vehicle/cycle parking spaces or will the proposed development add/remove any parking spaces?

- Yes  
 No

Please provide information on the existing and proposed number of on-site parking spaces

### Vehicle Type:

Cars

### Existing number of spaces:

2

### Total proposed (including spaces retained):

2

### Difference in spaces:

0

## Trees and Hedges

Are there trees or hedges on the proposed development site?

- Yes  
 No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

- Yes  
 No

If Yes to either or both of the above, you may need to provide a full tree survey, at the discretion of the local planning authority. If a tree survey is required, this and the accompanying plan should be submitted alongside the application. The local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

## Assessment of Flood Risk

Is the site within an area at risk of flooding? (Check the location on the Government's [Flood map for planning](#). You should also refer to national [standing advice](#) and your local planning authority requirements for information as necessary.)

- Yes  
 No

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

- Yes  
 No

Will the proposal increase the flood risk elsewhere?

- Yes  
 No

How will surface water be disposed of?

- Sustainable drainage system  
 Existing water course  
 Soakaway  
 Main sewer  
 Pond/lake

## Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

To assist in answering this question correctly, please refer to the help text which provides guidance on determining if any important biodiversity or geological conservation features may be present or nearby; and whether they are likely to be affected by the proposals.

a) Protected and priority species

- Yes, on the development site  
 Yes, on land adjacent to or near the proposed development  
 No

b) Designated sites, important habitats or other biodiversity features

- Yes, on the development site  
 Yes, on land adjacent to or near the proposed development  
 No

c) Features of geological conservation importance

- Yes, on the development site  
 Yes, on land adjacent to or near the proposed development  
 No

### Supporting information requirements

Where a development proposal is likely to affect features of biodiversity or geological conservation interest, you will need to submit, with the application, sufficient information and assessments to allow the local planning authority to determine the proposal.

Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the local planning authority has been submitted.

Your local planning authority will be able to advise on the content of any assessments that may be required.

### Foul Sewage

Please state how foul sewage is to be disposed of:

- Mains sewer
- Septic tank
- Package treatment plant
- Cess pit
- Other
- Unknown

Are you proposing to connect to the existing drainage system?

- Yes
- No
- Unknown

If Yes, please include the details of the existing system on the application drawings and state the plan(s)/drawing(s) references

Drawing 22075 - 06

### Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

- Yes
- No

If Yes, please provide details:

Drawing 22075 - 06

Have arrangements been made for the separate storage and collection of recyclable waste?

- Yes
- No

If Yes, please provide details:

Drawing 22075 - 06

### Trade Effluent

Does the proposal involve the need to dispose of trade effluents or trade waste?

- Yes
- No



## Residential/Dwelling Units

Does your proposal include the gain, loss or change of use of residential units?

- Yes  
 No

**Please note: This question is based on the current housing categories and types specified by government.**

If your application was started before 23 May 2020, the categories and types shown in this question will now have changed. We recommend that you review any information provided to ensure it is correct before the application is submitted.

## Proposed

Please select the housing categories that are relevant to the proposed units

- Market Housing  
 Social, Affordable or Intermediate Rent  
 Affordable Home Ownership  
 Starter Homes  
 Self-build and Custom Build

## Market Housing

Please specify each type of housing and number of units proposed

<b>Housing Type:</b> Houses
<b>1 Bedroom:</b> 0
<b>2 Bedroom:</b> 0
<b>3 Bedroom:</b> 1
<b>4+ Bedroom:</b> 0
<b>Unknown Bedroom:</b> 0
<b>Total:</b> 1

<b>Proposed Market Housing Category Totals</b>	1 Bedroom Total	2 Bedroom Total	3 Bedroom Total	4 Bedroom Total	Unknown Bedroom Total	Bedroom Total
	<input type="text" value="0"/>	<input type="text" value="0"/>	<input type="text" value="1"/>	<input type="text" value="0"/>	<input type="text" value="0"/>	<input type="text" value="1"/>

## Existing

Please select the housing categories for any existing units on the site

- Market Housing  
 Social, Affordable or Intermediate Rent  
 Affordable Home Ownership  
 Starter Homes  
 Self-build and Custom Build

# Market Housing

Please specify each existing type of housing and number of units on the site

## Housing Type:

Houses

### 1 Bedroom:

0

### 2 Bedroom:

0

### 3 Bedroom:

1

### 4+ Bedroom:

0

### Unknown Bedroom:

0

### Total:

1

## Existing Market Housing Category Totals

1 Bedroom Total

0

2 Bedroom Total

0

3 Bedroom Total

1

4 Bedroom Total

0

Unknown

Bedroom Total

0

Bedroom Total

1

## Totals

Total proposed residential units

1

Total existing residential units

1

Total net gain or loss of residential units

0

## All Types of Development: Non-Residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

Note that 'non-residential' in this context covers all uses except Use Class C3 Dwellinghouses.

Yes

No

## Employment

Are there any existing employees on the site or will the proposed development increase or decrease the number of employees?

Yes

No

## Hours of Opening

Are Hours of Opening relevant to this proposal?

- Yes  
 No

## Industrial or Commercial Processes and Machinery

Does this proposal involve the carrying out of industrial or commercial activities and processes?

- Yes  
 No

Is the proposal for a waste management development?

- Yes  
 No

## Hazardous Substances

Does the proposal involve the use or storage of Hazardous Substances?

- Yes  
 No

## Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes  
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent  
 The applicant  
 Other person

## Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes  
 No

## Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes
- No

## Ownership Certificates and Agricultural Land Declaration

### Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes
- No

Can you give appropriate notice to all the other owners/agricultural tenants? (Select 'Yes' if there are no other owners/agricultural tenants)

- Yes
- No

### Certificate Of Ownership - Certificate B

I certify/ The applicant certifies that:

- I have/The applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner\* and/or agricultural tenant\*\* of any part of the land or building to which this application relates; or
- The applicant is the sole owner of all the land or buildings to which this application relates and there are no other owners\* and/or agricultural tenants\*\*.

\* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

\*\* "agricultural tenant" has the meaning given in section 65(8) of the Town and Country Planning Act 1990

**Name of Owner/Agricultural Tenant:**

\*\*\*\*\* REDACTED \*\*\*\*\*

**House name:**

Barnwood Point

**Number:**

**Suffix:**

**Address line 1:**

**Address Line 2:**

**Town/City:**

Gloucester

**Postcode:**

**Date notice served (DD/MM/YYYY):**

20/01/2023

**Person Family Name:**

Person Role

- The Applicant
- The Agent

Title

Mr

First Name

Charles

Surname

Cox

Declaration Date

20/01/2023

- Declaration made

## Declaration

I / We hereby apply for Full planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

- I / We agree to the outlined declaration

Signed

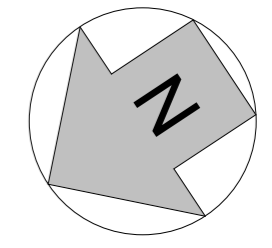
Charles Cox

Date

20/01/2023

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Rev	Description	Date



Project Status:  
PLANNING

Client:

Project Title:  
44 Larkhay Road

Drawing Description:  
Location Plan

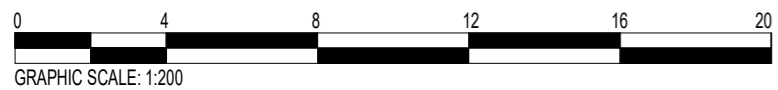
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Job No: 22075	Drawing No: 01	Revision:
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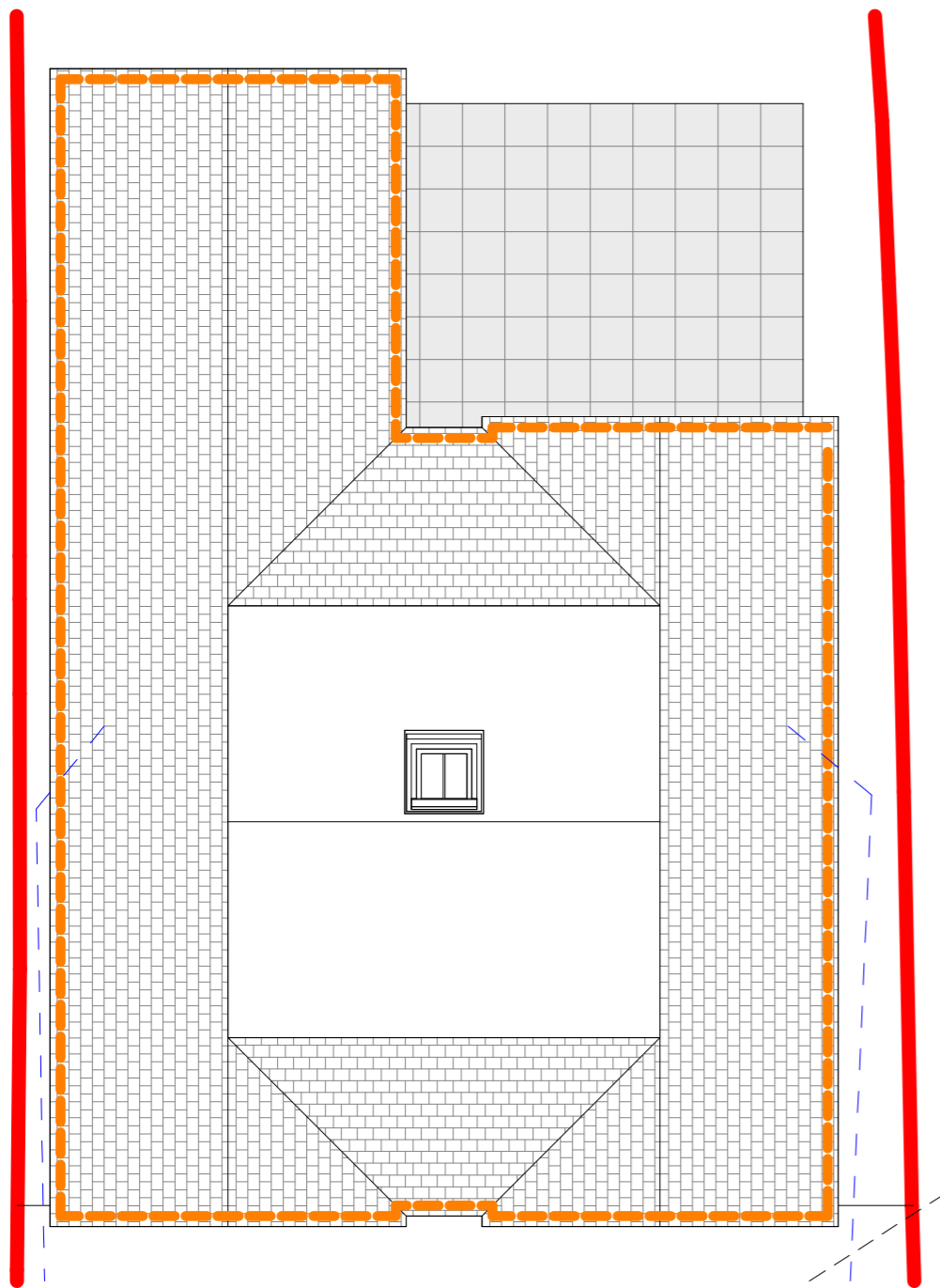
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www.suttoncox.com | [REDACTED]



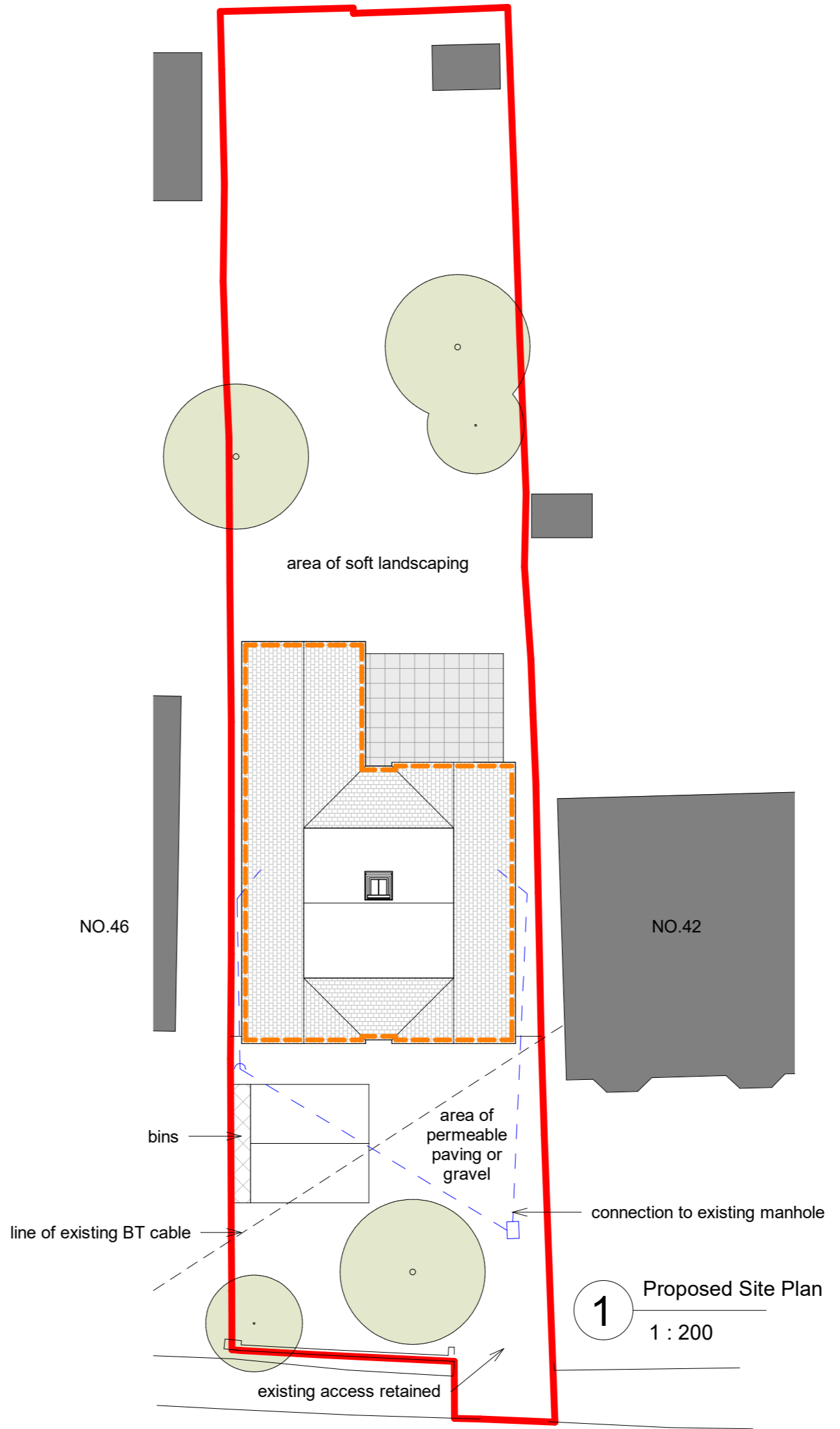


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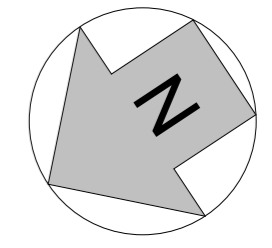
Rev	Description	Date



**2** Proposed Roof Plan  
1 : 100



**1** Proposed Site Plan  
1 : 200



Project Status:  
PLANNING

Client:

Project Title:  
44 Larkhay Road

Drawing Description:  
Proposed Site Plan

Scale: As indicated	Sheet Size: A3	Date: 05.01.22
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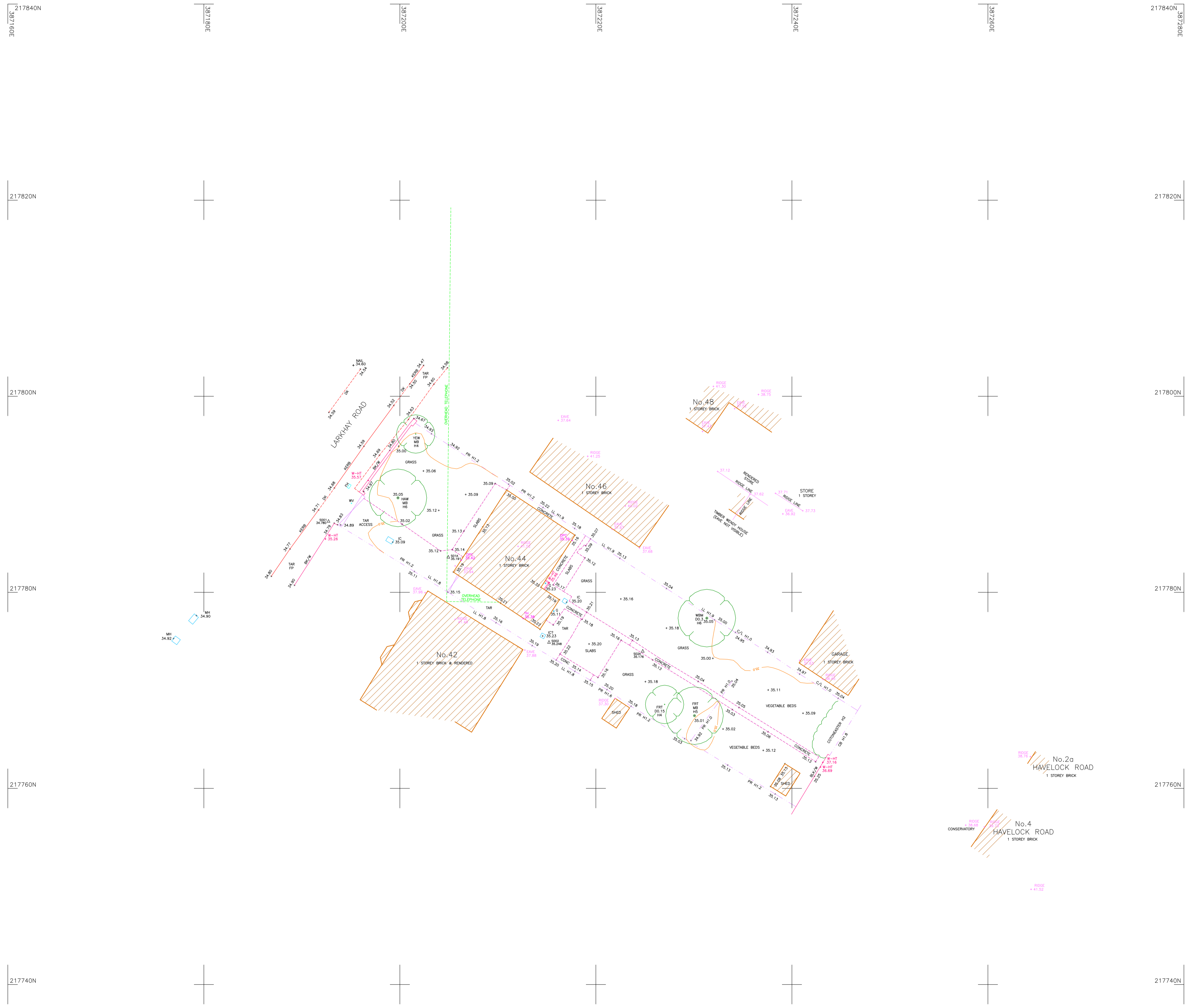
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Job No: 22075	Drawing No: 06	Revision: P2
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**Notes**

- Datum : Ordnance Survey level datum via OS Active GPS Network
- Survey Grid : Ordnance Survey National Grid co-ordinates derived via OS Active GPS Network.
- Survey contents correct as of date of survey and survey undertaken to agreed specification
- All critical dimensions to be checked prior to site works
- All kerb levels shown are channel levels
- Drainage and Service covers :  
Covers buried or obscured at the time of the survey are not shown. Manholes have not been entered for safety reasons and all pipe diameters are estimated from the surface. Drainage pipe diameters are in millimetres, eg. D100 means a 100mm diameter pipe. The flow type stated is based on visual evidence seen from the surface at the time of the survey. All internal manhole details should be confirmed by the contractor on site prior to site works.
- Trees :  
For concentric spread trees the spread plotted is an average value drawn to scale to the nearest metre. The minimum individual diameter surveyed is 0.15m at 1m up the trunk from the ground. Trunk diameters are not plotted to size. General species are only stated where noted. A qualified arboriculturalist should be consulted for species type and condition. Heights (when requested) are approximate to the nearest metre.

**Legend of Abbreviations**

AV	Air Valve	LP	Lamp Post Top Level
BEDS	Flower Beds	LPHT	Lamp Post Top Level
BK/W	Brick Wall	MT	Manhole
BL	Bed Level	MP	Manhole
BLK/W	Block Wall	MP-E	Marker Post - Electric
BLP	Bollard with Light	MP-G	Marker Post - Gas
BOL	Bollard	MP-T	Marker Post - Telephone
BS	Brick Setts	MP-W	Marker Post - Water
BT	British Telecom	NAME	Road Nameplate
BW	Barbed Wire Fence	PAL	Palisade Fence
CB	Close Board Fence	PW	Post and Rail Fence
CCTV	Closed Circuit Television Camera	PR	Post and Wire Fence
CELL	Cellar Cover	RS	Rodding Eye
CGI	Corrugated Iron Fence	RE	Rendered Wall
CL	Cover Level	REN/W	Rendered Wall
CLL	Chain Link Fence	RET	Retaining
CONC	Concrete Surface	RSD	Road Sign
CONC/P	Concrete Panel Fence	RWP	Rainwater Pipe
CP	Chestnut Paling Fence	SCK	Stop Cock
CRB	Crash Barrier	SCK	Socket
D	Diameter (trees in metres / pipes in mm)	SOF	Soffit Level
DK	Drop Kerb	ST/W	Stone Wall
E	Electricity Cover	SV	Sluice Valve
ELHT	Electricity Wire Clearance Level	SVP	Soil Vent Pipe
EP	Electricity Pole	SWI	Switch
EPHT	Electricity Pole Post Top Level	TEL	Call Box (telephone)
ER	Earth Rod	TH	Threshold Level
FEL	Finished Floor Level	TL	Traffic Light
FH	Fire Hydrant	TLHT	Telegraph Wire Clearance Level
FLAG	Flag Pole	TP	Telegraph Pole
FLHT	Floodlight Post Top Level	TPHT	Telegraph Pole Top Level
FLP	Floodlight Post	TV	Cable Television
FP	Footpath	UTL	Unable to Lift (Cover)
G	Gully	V	Valve (Unknown Type)
GV	Gas Valve	VP	Vent Pipe
HW	Head Wall	W-HT	Top of Wall Level
IC	Inspection Cover	WL	Water Level
IL	Invert Level	WLT	Wall Light
IR	Iron Railings	WM	Water Meter
KOG	Kerb Offset Gully	W/M	Wire Mesh Fence
LL	Larch-lap Fence	WO	Washout Valve
		WV	Water Valve

**Tree Abbreviations**

ALD	Alder	HCH	Horse Chestnut
BCH	Beech	LAR	Larch
CED	Cedar	LAU	Laurel
CHY	Cherry	MAP	Maple
CYP	Cypress	PLN	London Plane
ELD	Elder	POP	Poplar
EUC	Eucalyptus	RHO	Rhododendron
FAC	False Acacia	ROW	Rowan
FRT	Fruit	SAL	Sallow
HAW	Hawthorn	SB	Silver Birch
HAZ	Hazel	SCH	Sweet Chestnut
HOL	Holly	WBM	Whitebeam
HORN	Horbeam	WIL	Willow

**Survey Stations**

Station	Easting	Northing	Level
S001	387192.722	217787.236	34.780
S002	387215.217	217774.890	35.248
S01A	387204.944	217783.572	35.191
S02A	387224.780	217773.983	35.176

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51 Bridge Street  
 Pershore  
 Worcestershire  
 WR10 1AL

1 Folly House  
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 PL7 5DS

Website: [www.adhomer.co.uk](http://www.adhomer.co.uk)

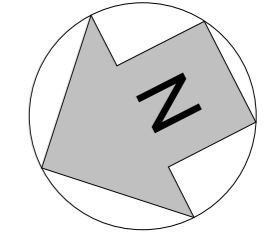
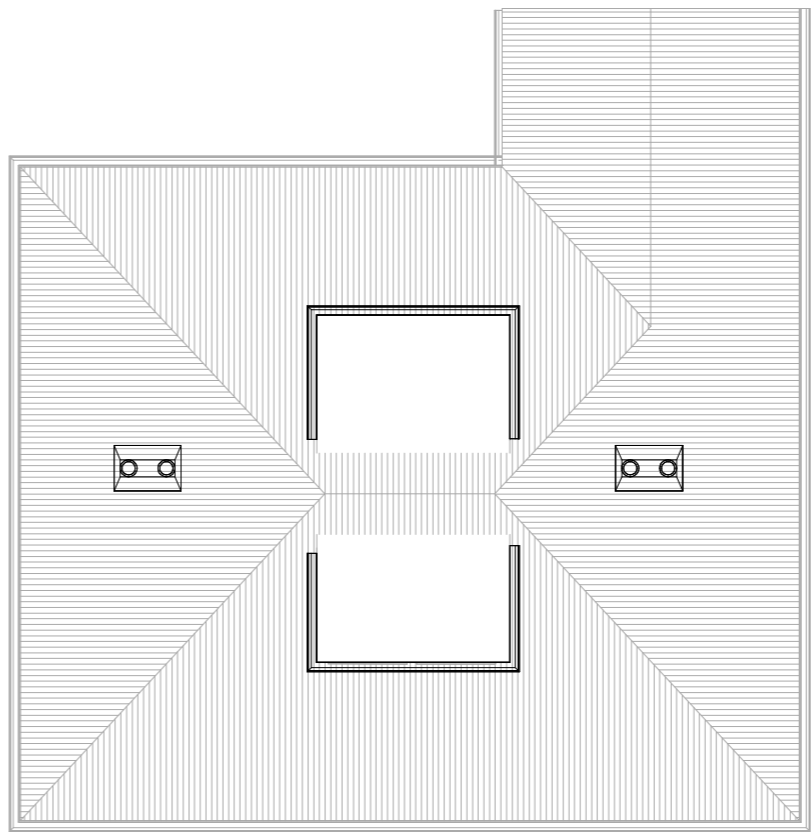
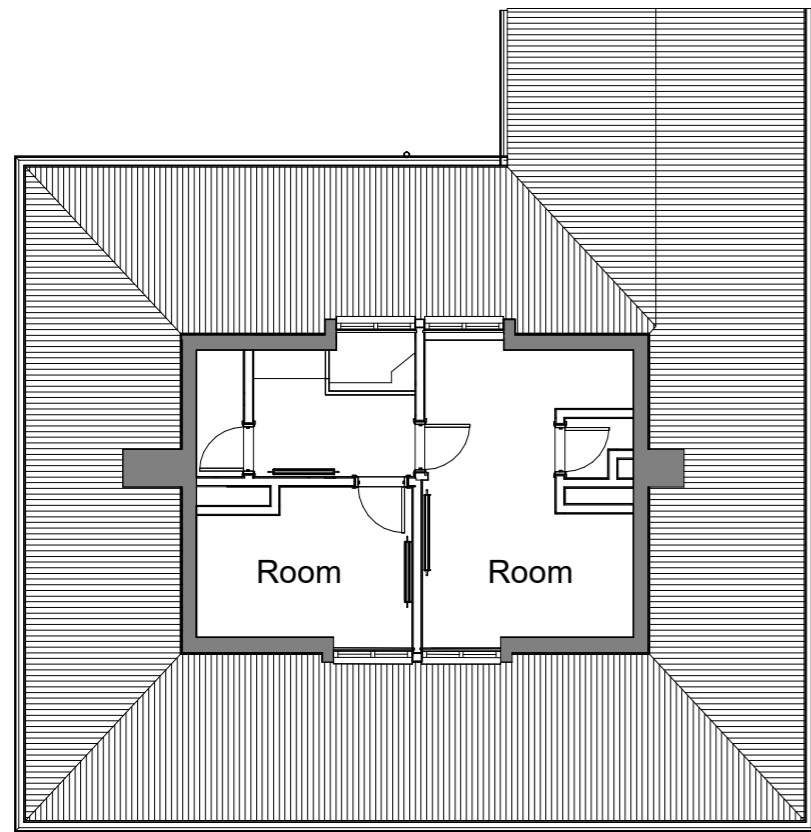
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Client Mr K Fagan	
Date December 2022	Drawing No. 6927-08DEC22-01
Plot scale 1 : 200 on A1 Sheet Digital scale 1 CAD unit : 1 metre	Revision
Surveyed AJS	Checked JKW
Ordnance Survey Grid North	
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Rev	Description	Date



**2** First Floor Plan  
1 : 100

**3** Roof Plan  
1 : 100

Project Status:  
PLANNING

Client:  
MR K FAGAN

Project Title:  
44 LARKHAY ROAD

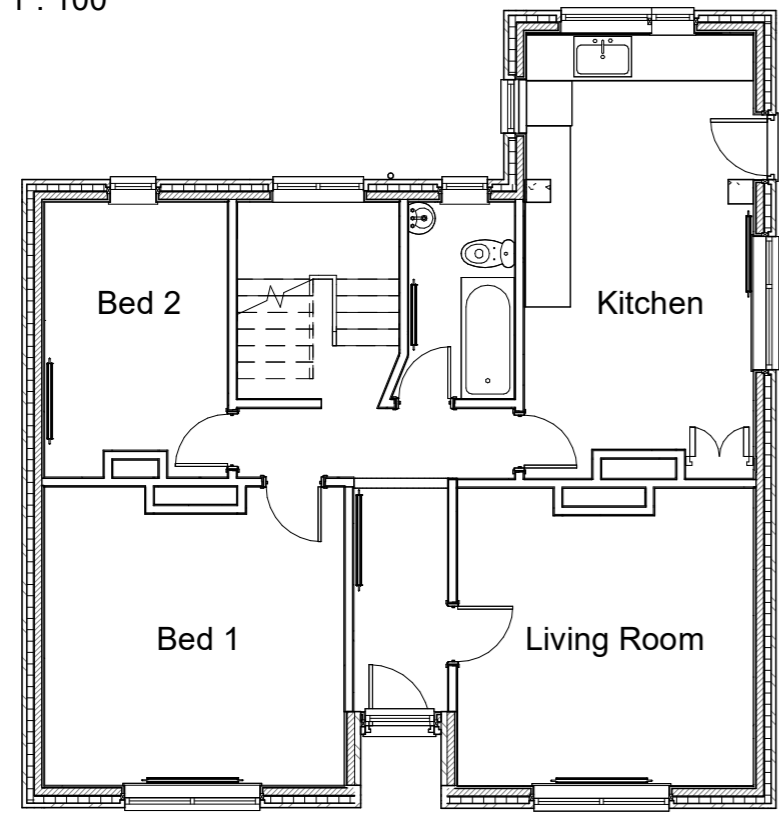
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EXISTING FLOOR PLANS

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Job No: 22075	Drawing No: 10	Revision:
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**1** Ground Floor Plan  
1 : 100



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Rev	Description	Date



**1** North East Elevation  
1 : 100



**2** North West Elevation  
1 : 100

**MATERIALS:**  
Red facing brick  
Plain clay tiles  
White uPVC windows and doors



**3** South East Elevation  
1 : 100



**4** South West Elevation  
1 : 100

Project Status:  
PLANNING

Client:  
MR K FAGAN

Project Title:  
44 LARKHAY ROAD

Drawing Description:  
EXISTING ELEVATIONS

Scale: 1 : 100	Sheet Size: A3	Date: 16.02.23
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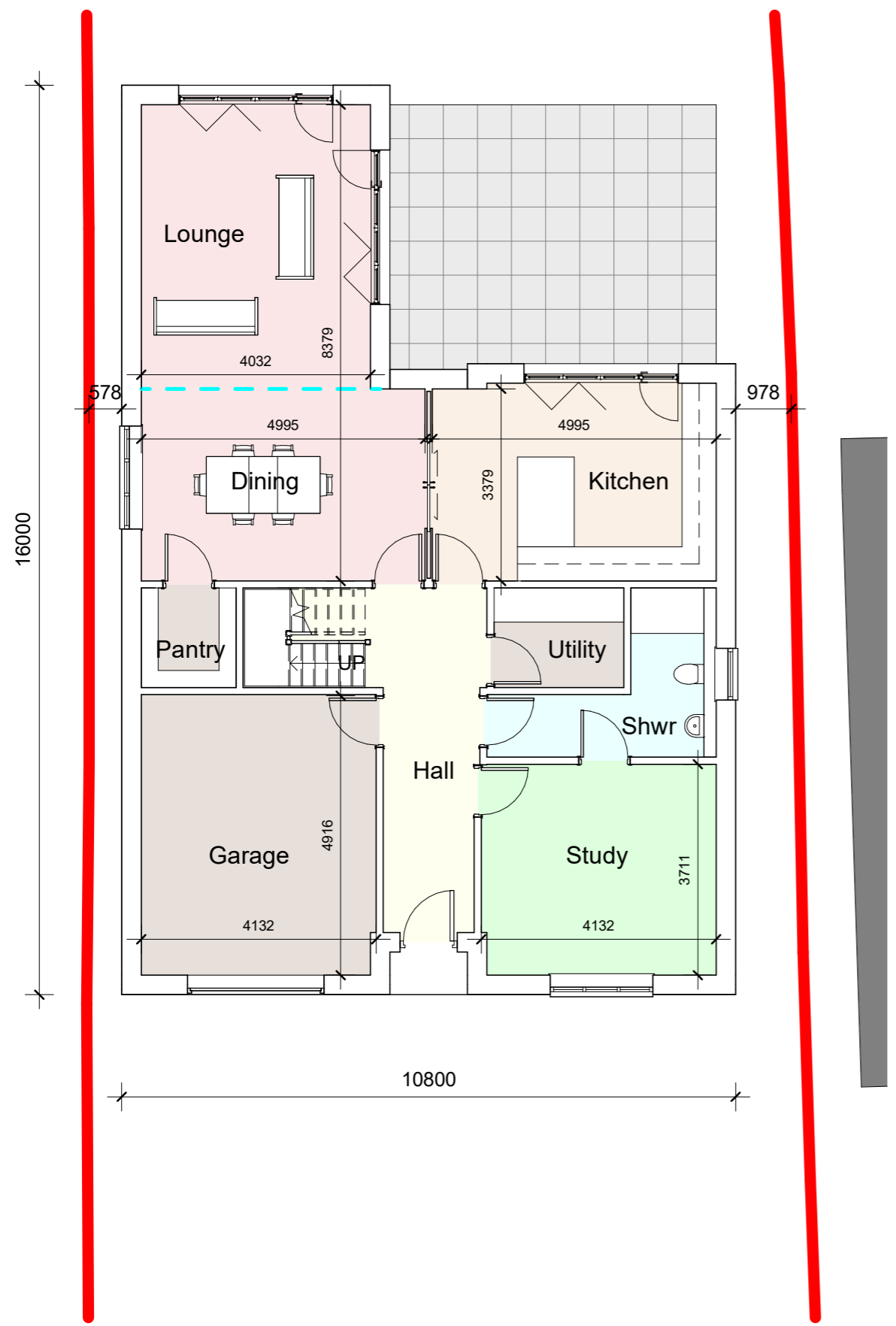
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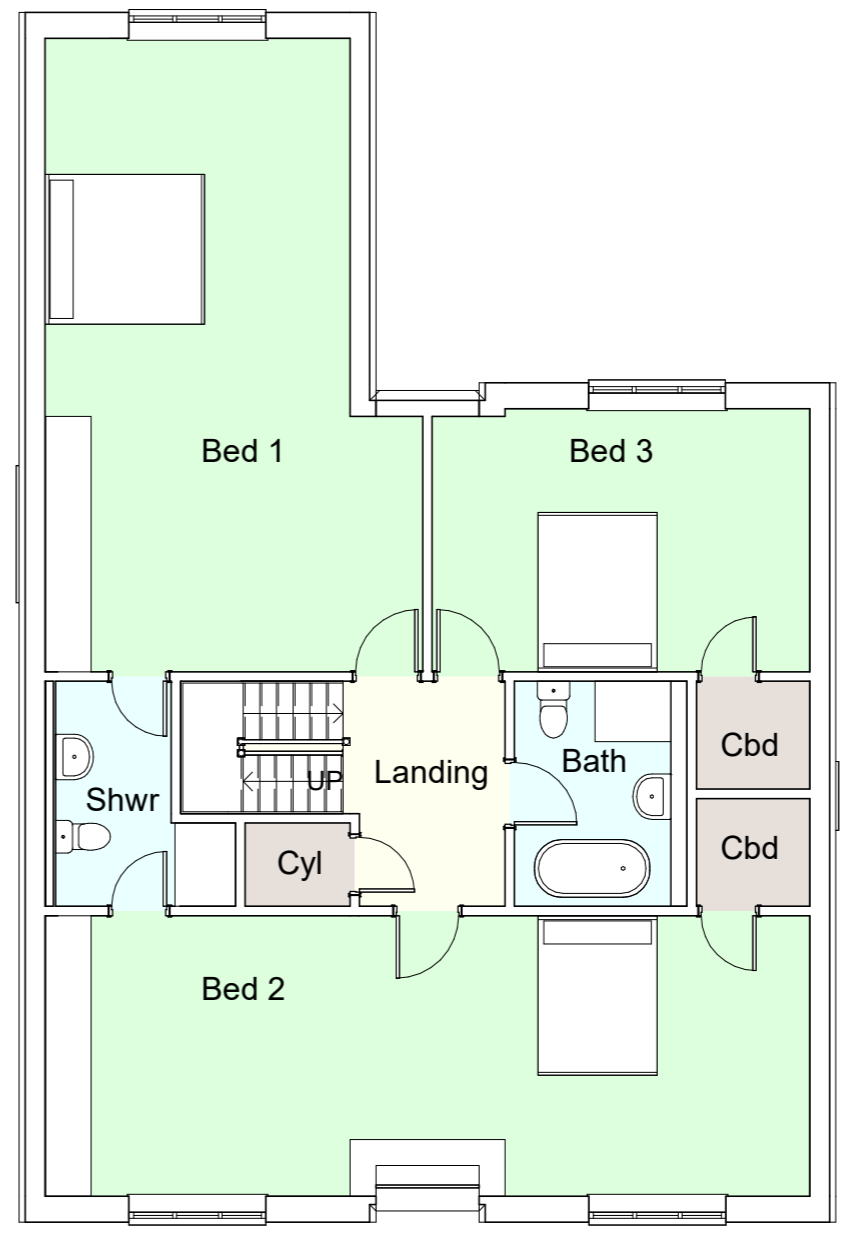




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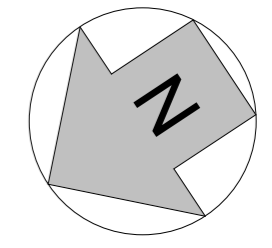
**1** Ground Floor Plan  
1 : 100



**2** First Floor Plan  
1 : 100

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Rev	Description	Date



Project Status:  
PLANNING

Client:

Project Title:  
44 Larkhay Road

Drawing Description:  
Proposed Plans

Scale: 1 : 100	Sheet Size: A3	Date: 12/09/22
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Drawn By: CC	Designed By: CC	Checked By: MS
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Job No: 22075	Drawing No: 02	Revision: P1
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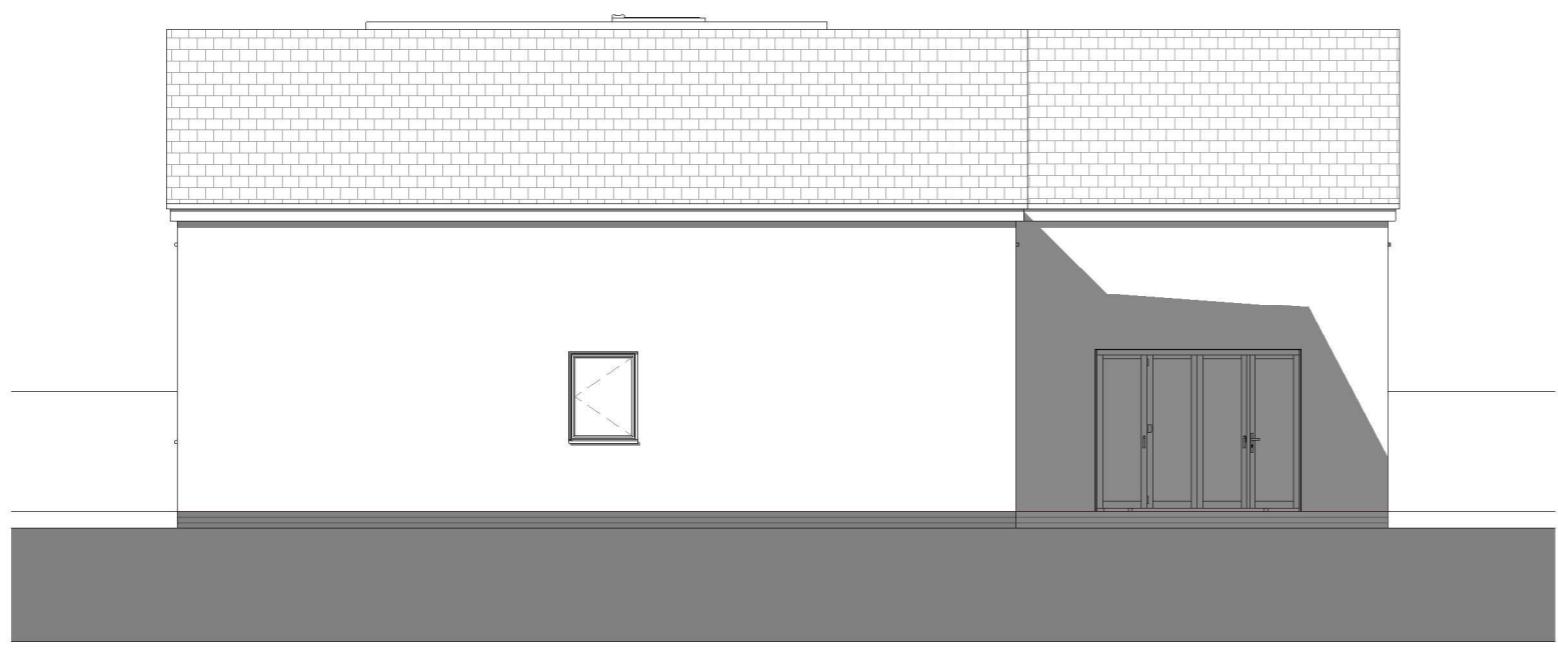




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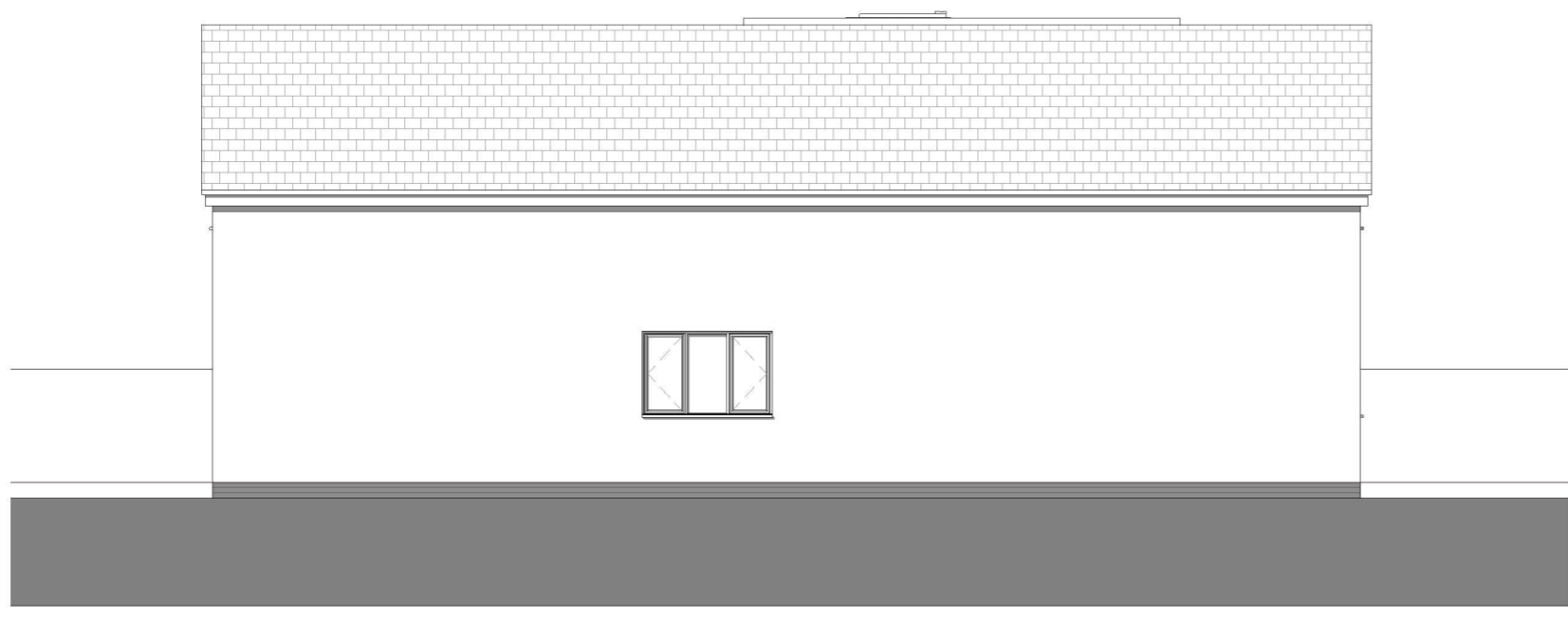
Rev	Description	Date



**3** South West Elevation  
1 : 100

**MATERIALS:**

- Walls - white render
- blue/grey engineering bricks
- Roof - artificial slate
- Windows/doors - dark grey coated aluminium
- Gutters - black uPVC
- Downpipes - black uPVC



**4** North East Elevation  
1 : 100

Project Status:  
PLANNING

Client:

Project Title:  
44 Larkhay Road

Drawing Description:  
Proposed Elevations

Scale: 1 : 100	Sheet Size: A3	Date: 12/09/22
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Drawn By: CC	Designed By: CC	Checked By: MS
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Job No: 22075	Drawing No: 03	Revision: P1
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114 Bath Road, Cheltenham, Gloucestershire GL53 7JX  
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GRAPHIC SCALE: 1:100

This drawing should not be scaled. Any discrepancies should be notified to Sutton Cox Architects. If this drawing is enclosed as digital data for the titled project, you should use this data for reference purposes only to assist in co-ordinating your work. Sutton Cox Architects takes no responsibility for its accuracy. This drawing is copyright of Sutton Cox Architects and may not be copied or reproduced without permission.

Rev	Description	Date



**1** North West Elevation  
1 : 100

**MATERIALS:**

- Walls - white render
- blue/grey engineering bricks
- Roof - artificial slate
- Windows/doors - dark grey coated aluminium
- Gutters - black uPVC
- Downpipes - black uPVC



**2** South East Elevation  
1 : 100

Project Status:  
PLANNING

Client:

Project Title:  
44 Larkhay Road

Drawing Description:  
Proposed Elevations 2

Scale: 1 : 100	Sheet Size: A3	Date: 01/09/23
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Drawn By: CC	Designed By: CC	Checked By: MS
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Job No: 22075	Drawing No: 04	Revision: P1
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114 Bath Road, Cheltenham, Gloucestershire GL53 7JX

Our ref: 22075

Date: 19.01.23

## 44 LARKHAY ROAD

### PROPOSED DWELLING

#### DRAINAGE STRATEGY

1. The proposal comprises the demolition of the existing property and its replacement with a new house on the same footprint.
2. The existing footprint is 91sqm and the proposed footprint is 143sqm.
3. The site is in Flood Zone 1 i.e. Very Low Risk areas for flooding from both rivers and sea, and from surface water (see attached).
4. Development foul drainage from the single dwelling will connect to the existing foul drainage on site.
5. Downpipes will discharge to water butts so the water can be used for the garden.
6. The remaining surface water drainage will connect to the existing surface water drainage on site.

# Flood map for planning

Your reference  
**22075**

Location (easting/northing)  
**387220/217778**

Created  
**20 Jan 2023 13:21**

**Your selected location is in flood zone 1, an area with a low probability of flooding.**

You will need to do a flood risk assessment if your site is **any of the following:**

- bigger than 1 hectare (ha)
- In an area with critical drainage problems as notified by the Environment Agency
- identified as being at increased flood risk in future by the local authority's strategic flood risk assessment
- at risk from other sources of flooding (such as surface water or reservoirs) and its development would increase the vulnerability of its use (such as constructing an office on an undeveloped site or converting a shop to a dwelling)

## Notes

The flood map for planning shows river and sea flooding data only. It doesn't include other sources of flooding. It is for use in development planning and flood risk assessments.

This information relates to the selected location and is not specific to any property within it. The map is updated regularly and is correct at the time of printing.

Flood risk data is covered by the Open Government Licence **which** sets out the terms and conditions for using government data. <https://www.nationalarchives.gov.uk/doc/open-government-licence/version/3/>

Use of the address and mapping data is subject to Ordnance Survey public viewing terms under Crown copyright and database rights 2022 OS 100024198. <https://flood-map-for-planning.service.gov.uk/os-terms>




## Flood map for planning

Your reference  
**22075**

Location (easting/northing)  
**387220/217778**

Scale  
**1:2500**

Created  
**20 Jan 2023 13:21**

-  Selected area
-  Flood zone 3
-  Flood zone 2
-  Flood zone 1
-  Flood defence
-  Main river
-  Water storage area

