

LAND AT HILL FARM, HEMPSTED LANE, GLOUCESTER

20/00315/0UT – Outline planning application for the erection of up to 245 dwellings with public open space, structural planting and landscaping, surface water flood mitigation and attenuation and vehicular access point from Hempsted Lane. All matters reserved except for means of vehicular access.

Appeal Reference APP-U1620-W-22-3296510

Statement of Common Ground in respect of Odour

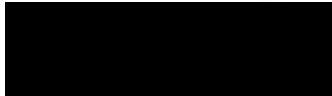
This Statement of Common Ground (SCG) is in respect of those matters which pertain to odour and is made by Malcolm Walton (Wardell Armstrong LLP) on behalf of Gladman Developments Limited (hereinafter referred to as “The Appellant”), and Paul Beckett (Phlorum Limited) on behalf of Gloucester City Council (hereinafter referred to as “GCC” or “The Council”)

In so far as it pertains to odour, the following matters are now agreed between the parties:

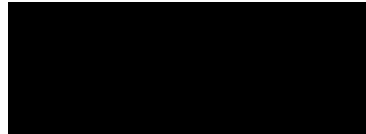
1. That the Wardell Armstrong Odour Assessment Report dated July 2022, in combination with Wardell Armstrong's previously submitted odour assessments, presents a multi-tool approach undertaken in accordance with Institute of Air Quality Management Guidance, for the assessment of odour associated with the Netheridge sewage treatment works (STW) to identify possible impacts at the appeal site.
2. The sampling and testing exercise at the STW in July 2022 allowed for robust modelling of odour emissions from the STW to be carried out and reported in the July 2022 Odour Assessment Report, the findings of which are now considered to be robust.
3. The appropriate assessment criterion/odour benchmark to determine acceptability of potential odour impact when using dispersion modelling results is not more than $30\mu\text{E}/\text{m}^3$ as a 98th percentile 1-hour average concentration.
4. Exclusion of residential development from within the “worst case” $30\mu\text{E}/\text{m}^3$ modelled contours would facilitate acceptable living conditions for new residents within the appeal site.
5. Application of a buffer zone which is determined by the furthest incursion of any $30\mu\text{E}/\text{m}^3$ contour into the appeal site in any of the years of meteorological data assessed, using the highest odour emission rates recorded during sampling, allows a sufficient safety factor for future STW expansion/climate change negative effects and accounts for uncertainties within the modelling exercise.
6. A revised Development Framework Plan (DFP) (Drawing number CSA/6036/103 Rev D) has been prepared based on the identified buffer zone and will be used to determine the appeal. A Site Location Plan (Odour Zone) plan (Drawing number CSA/6036/107) has also been prepared to reflect the proposed buffer zone.

7. Both parties agree that the users/occupants of the proposed development are unlikely to be adversely affected by odour nuisance associated with the normal operation of the STW; and, the introduction of the proposed use, if constructed in accordance with the revised DFP, is unlikely to adversely affect the continued operation of the STW.

Signed:



Signed:



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Of Wardell Armstrong LLP

On behalf of:

Gladman Developments Limited

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Of Phlorum Limited

On behalf of:

Gloucester City Council

Dated: 1st September 2022