

## Application for Planning Permission

### Town and Country Planning Act 1990 (as amended)

#### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

### Site Location

**Disclaimer:** We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)

Northing (y)

Description

## Applicant Details

### Name/Company

Title

Other

First name

Surname

Company Name

McDonald's Restaurants Ltd

### Address

Address line 1

11-59 High Road

Address line 2

East Finchley

Address line 3

Town/City

London

Country

Postcode

N2 8AW

Are you an agent acting on behalf of the applicant?

Yes

No

### Contact Details

Primary number

Secondary number

Fax number

Email address

## Agent Details

Name/Company

Title

First name

Surname

Company Name

## Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

## Contact Details

Primary number

Secondary number

Fax number

Email address

## Site Area

What is the measurement of the site area? (numeric characters only).

Unit

## Description of the Proposal

Please note in regard to:

- **Fire Statements** - From 1 August 2021, planning applications for buildings of over 18 metres (or 7 stories) tall containing more than one dwelling will require a 'Fire Statement' for the application to be considered valid. There are some exemptions. [View government planning guidance on fire statements](#) or [access the fire statement template and guidance](#).
- **Permission In Principle** - If you are applying for Technical Details Consent on a site that has been granted Permission In Principle, please include the relevant details in the description below.
- **Public Service Infrastructure** - From 1 August 2021, applications for certain public service infrastructure developments will be eligible for faster determination timeframes. See help for further details or [view government planning guidance on determination periods](#).

### Description

Please describe details of the proposed development or works including any change of use

Has the work or change of use already started?

- Yes  
 No

## Existing Use

Please describe the current use of the site

Is the site currently vacant?

- Yes  
 No

**Does the proposal involve any of the following? If Yes, you will need to submit an appropriate contamination assessment with your application.**

Land which is known to be contaminated

- Yes  
 No

Land where contamination is suspected for all or part of the site

- Yes  
 No

A proposed use that would be particularly vulnerable to the presence of contamination

- Yes  
 No

## Materials

Does the proposed development require any materials to be used externally?

- Yes  
 No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

**Type:**

Windows

**Existing materials and finishes:**

**Proposed materials and finishes:**

NEW WINDOWS TO SHOPFRONT FINISHED WITH RAL 7022 ALUMINIUM FRAMES TO MATCH EXISTING. NEW SLIDING WINDOWS TO DRIVE THRU BOOTHS FINISHED WITH GREY RAL 7022 ALUMINIUM FRAMES.

**Type:**

Walls

**Existing materials and finishes:**

**Proposed materials and finishes:**

NEW SECTION OF WALL TO BE FINISHED IN BRICK TO MATCH EXISTING FINISHES. RAL 7022 CLADDING TO EXTENSION.

**Type:**

Doors

**Existing materials and finishes:**

EXISTING GLAZING PANEL TO BE REMOVED

**Proposed materials and finishes:**

NEW ENTRANCE LOBBY WITH SINGLE SLIDING DOORS FINISHED IN RAL 7022 NEW ACCESS DOOR TO BE INSTALLED FINISHED RAL 7022 ALUMINIUM FRAME.

Are you supplying additional information on submitted plans, drawings or a design and access statement?

- Yes  
 No

If Yes, please state references for the plans, drawings and/or design and access statement

SEE DRAWINGS; P21-50-0712-300 AND P21-50-0712-05.

## Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicular access proposed to or from the public highway?

- Yes
- No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes
- No

Are there any new public roads to be provided within the site?

- Yes
- No

Are there any new public rights of way to be provided within or adjacent to the site?

- Yes
- No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

- Yes
- No

## Vehicle Parking

Does the site have any existing vehicle/cycle parking spaces or will the proposed development add/remove any parking spaces?

- Yes
- No

**Vehicle Type:**

Cars

**Existing number of spaces:**

26

**Total proposed (including spaces retained):**

25

**Difference in spaces:**

-1

**Vehicle Type:**

Disability spaces

**Existing number of spaces:**

2

**Total proposed (including spaces retained):**

2

**Difference in spaces:**

0

**Vehicle Type:**

Other

**Other (please specify):**

GRILL BAYS

**Existing number of spaces:**

3

**Total proposed (including spaces retained):**

3

**Difference in spaces:**

0

## Trees and Hedges

Are there trees or hedges on the proposed development site?

- Yes  
 No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

- Yes  
 No

**If Yes to either or both of the above, you may need to provide a full tree survey, at the discretion of the local planning authority. If a tree survey is required, this and the accompanying plan should be submitted alongside the application. The local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.**

## Assessment of Flood Risk

Is the site within an area at risk of flooding? (Check the location on the Government's [Flood map for planning](#). You should also refer to national [standing advice](#) and your local planning authority requirements for information as necessary.)

- Yes  
 No

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

- Yes  
 No

Will the proposal increase the flood risk elsewhere?

- Yes  
 No

How will surface water be disposed of?

- Sustainable drainage system  
 Existing water course  
 Soakaway  
 Main sewer  
 Pond/lake

## Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

To assist in answering this question correctly, please refer to the help text which provides guidance on determining if any important biodiversity or geological conservation features may be present or nearby; and whether they are likely to be affected by the proposals.

a) Protected and priority species

- Yes, on the development site  
 Yes, on land adjacent to or near the proposed development  
 No

b) Designated sites, important habitats or other biodiversity features

- Yes, on the development site  
 Yes, on land adjacent to or near the proposed development  
 No

c) Features of geological conservation importance

- Yes, on the development site  
 Yes, on land adjacent to or near the proposed development  
 No

### Supporting information requirements

Where a development proposal is likely to affect features of biodiversity or geological conservation interest, you will need to submit, with the application, sufficient information and assessments to allow the local planning authority to determine the proposal.

Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the local planning authority has been submitted.

Your local planning authority will be able to advise on the content of any assessments that may be required.



## Foul Sewage

Please state how foul sewage is to be disposed of:

- Mains sewer
- Septic tank
- Package treatment plant
- Cess pit
- Other
- Unknown

Are you proposing to connect to the existing drainage system?

- Yes
- No
- Unknown

## Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

- Yes
- No

Have arrangements been made for the separate storage and collection of recyclable waste?

- Yes
- No

## Trade Effluent

Does the proposal involve the need to dispose of trade effluents or trade waste?

- Yes
- No

## Residential/Dwelling Units

Does your proposal include the gain, loss or change of use of residential units?

- Yes
- No

## All Types of Development: Non-Residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

Note that 'non-residential' in this context covers all uses except Use Class C3 Dwellinghouses.

- Yes
- No

Please add details of the Use Classes and floorspace.

Following changes to Use Classes on 1 September 2020: The list includes the now revoked Use Classes A1-5, B1, and D1-2 that should not be used in most cases. Also, the list does not include the newly introduced Use Classes E and F1-2. To provide details in relation to these or any 'Sui Generis' use, select 'Other' and specify the use where prompted. Multiple 'Other' options can be added to cover each individual use. [View further information on Use Classes.](#)

**Use Class:**

Other (Please specify)

**Other (Please specify):**

SUI GENERIS

**Existing gross internal floorspace (square metres):**

262.5

**Gross internal floorspace to be lost by change of use or demolition (square metres):**

0

**Total gross new internal floorspace proposed (including changes of use) (square metres):**

264.9

**Net additional gross internal floorspace following development (square metres):**

2.3

Totals	Existing gross internal floorspace (square metres)	Gross internal floorspace to be lost by change of use or demolition (square metres)	Total gross new internal floorspace proposed (including changes of use) (square metres)	Net additional gross internal floorspace following development (square metres)
	262.5	0	264.9	2.3999999999999773

**Loss or gain of rooms**

For hotels, residential institutions and hostels please additionally indicate the loss or gain of rooms:

**Employment**

Are there any existing employees on the site or will the proposed development increase or decrease the number of employees?

Yes

No

**Hours of Opening**

Are Hours of Opening relevant to this proposal?

Yes

No

**Industrial or Commercial Processes and Machinery**

Does this proposal involve the carrying out of industrial or commercial activities and processes?

Yes

No

Is the proposal for a waste management development?

- Yes  
 No

## Hazardous Substances

Does the proposal involve the use or storage of Hazardous Substances?

- Yes  
 No

## Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes  
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent  
 The applicant  
 Other person

## Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes  
 No

## Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes  
 No

# Ownership Certificates and Agricultural Land Declaration

## Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes  
 No

Can you give appropriate notice to all the other owners/agricultural tenants? (Select 'Yes' if there are no other owners/agricultural tenants)

- Yes  
 No

### Certificate Of Ownership - Certificate B

I certify/ The applicant certifies that:

- I have/The applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner\* and/or agricultural tenant\*\* of any part of the land or building to which this application relates; or  
 The applicant is the sole owner of all the land or buildings to which this application relates and there are no other owners\* and/or agricultural tenants\*\*.

\* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

\*\* "agricultural tenant" has the meaning given in section 65(8) of the Town and Country Planning Act 1990

Owner/Agricultural Tenant

<p><b>Name of Owner/Agricultural Tenant:</b> ***** REDACTED *****</p> <p><b>House name:</b> Ashcombe House</p> <p><b>Number:</b></p> <p><b>Suffix:</b></p> <p><b>Address line 1:</b> The Crescent</p> <p><b>Address Line 2:</b></p> <p><b>Town/City:</b> Leatherhead</p> <p><b>Postcode:</b> KT22 8LQ</p> <p><b>Date notice served (DD/MM/YYYY):</b> 10/04/2022</p> <p><b>Person Family Name:</b></p>
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Person Role

- The Applicant  
 The Agent

Title

First Name

Surname

Carpenter

Declaration Date

10/04/2022

Declaration made

## Declaration

I / We hereby apply for Full planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

Nicola Davies


Date


11/04/2022


1 2 3 4

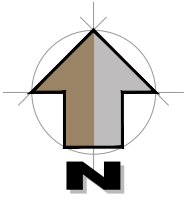
**NOTES:**

All drawings to be read in conjunction with all other drawings as noted on issue sheet.

Application boundary: 

Adjoining land in clients ownership indicated thus (where applicable): 

McDonald's Demise Indicated thus: 



A

A

B

B

C

C

D

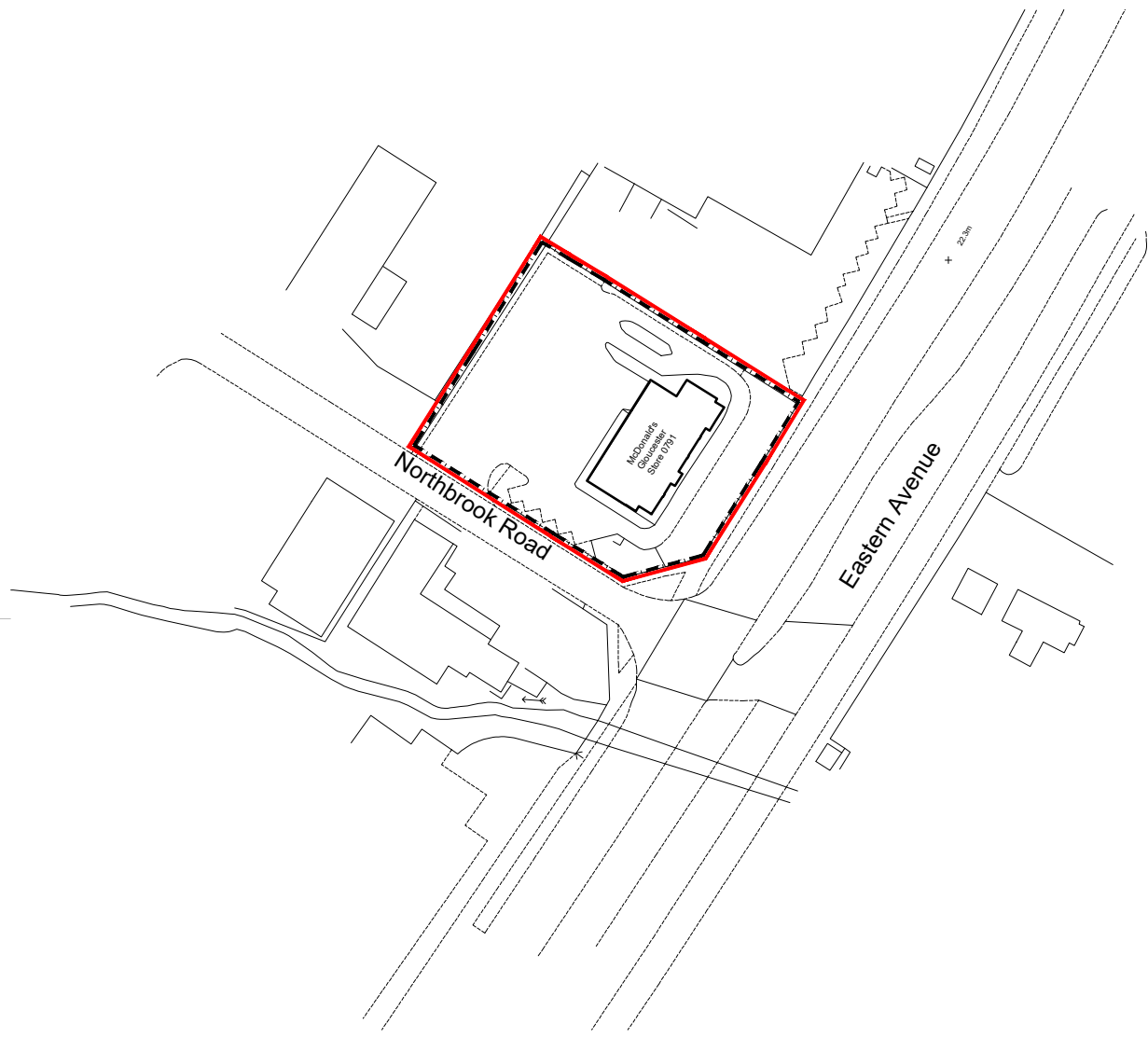
D

E

E

F

F



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A	30-03-22	First issue	DJ	PF
REV.	DATE	DRAWING REVISIONS	BY	CHECKED

This drawing has been reviewed and signed off by McDonald's Restaurants Ltd any errors, changes or discrepancies should be reported to the McDonald's project manager and designers prior to commencing work on site

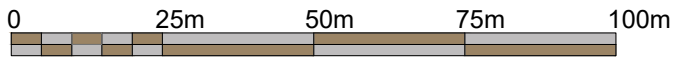
Name (PM): \_\_\_\_\_ Date: \_\_\_\_\_  
Signature: \_\_\_\_\_

**GENERAL NOTES:**  
All works are to be undertaken in accordance with the Building Regulations and the latest British Standards.  
All proprietary materials and products are to be used strictly in accordance with the manufacturers recommendations.  
All dimensions to be checked on site prior to construction.

PROPOSED DEVELOPMENT AT		STORE No.:-	
Northbrook Road Gloucester, GL4 3DP		0712	
ON BEHALF OF:-			
McDonald's Restaurants Ltd			
DRAWING TITLE:-			
Location Plan			
DRAWN BY	CHECKED BY	DRAWING No.	REV No.
DJ	PF	P21-50-0712-01	A
SCALE & SIZE	DATE		
1:1250@A4	30-03-2022		

# Location Plan

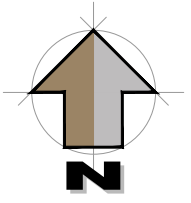
Scale 1:1250



**C7 Architects Ltd**  
P14 House,  
Riverway Industrial Estate,  
Peasmarsh, Surrey  
GU3 1LZ



1 2 3 4

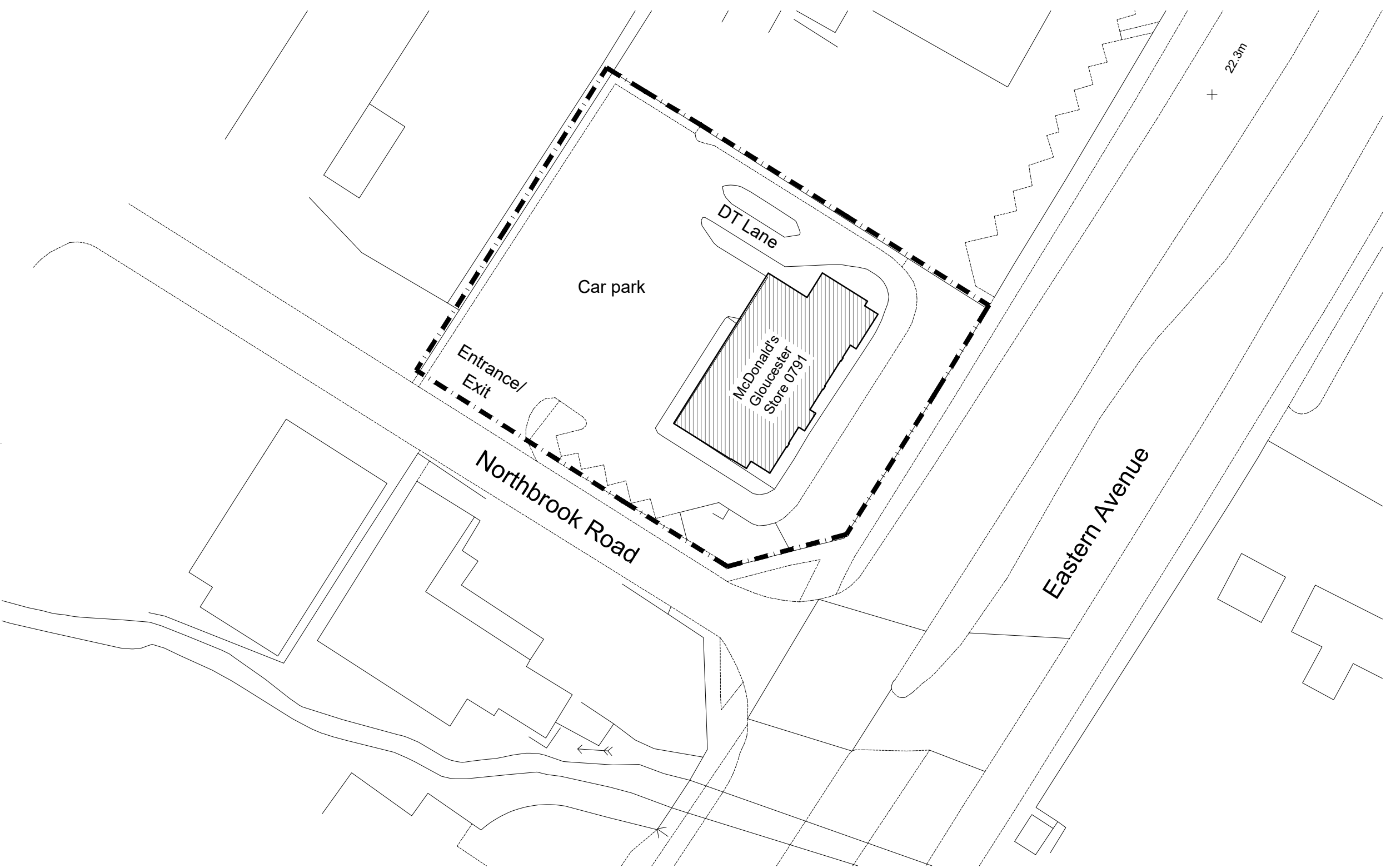


**Note:**  
All drawings to be read in conjunction with all other drawings as noted on issue sheet.

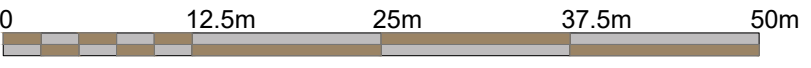
Extent of Site Boundary indicated thus:



Site Finishes	
Perimeter fence	N/A
Boundary wall	N/A
Car park finish	Asphalt
Drive thru finish	Asphalt
Patio finish	Concrete paving slabs
Footpaths	Concrete paving slabs
Soft landscaping	Grass



**Block Plan**  
Scale 1:500



REV.	DATE	DRAWING REVISIONS	BY	CHECKED
A	30-03-22	First Issue	DJ	PF

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Name (PM): \_\_\_\_\_ Date: \_\_\_\_\_  
Signature: \_\_\_\_\_

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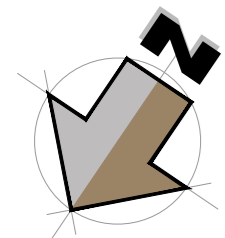
PROPOSED DEVELOPMENT AT		STORE No :-	
Northbrook Road Gloucester, GL4 3DP		0712	
ON BEHALF OF :-			
McDonald's Restaurants Ltd			
DRAWING TITLE :-			
Block Plan			
DRAWN BY	CHECKED BY	DRAWING No.	REV No.
DJ	PF	P21-50-0712-02	A
SCALE & SIZE	DATE		
1:500@A3	30-03-2022		



**C7 Architects Ltd**  
PM House,  
Riverway Industrial Estate,  
Peasmarsh, Surrey  
GU5 1LZ







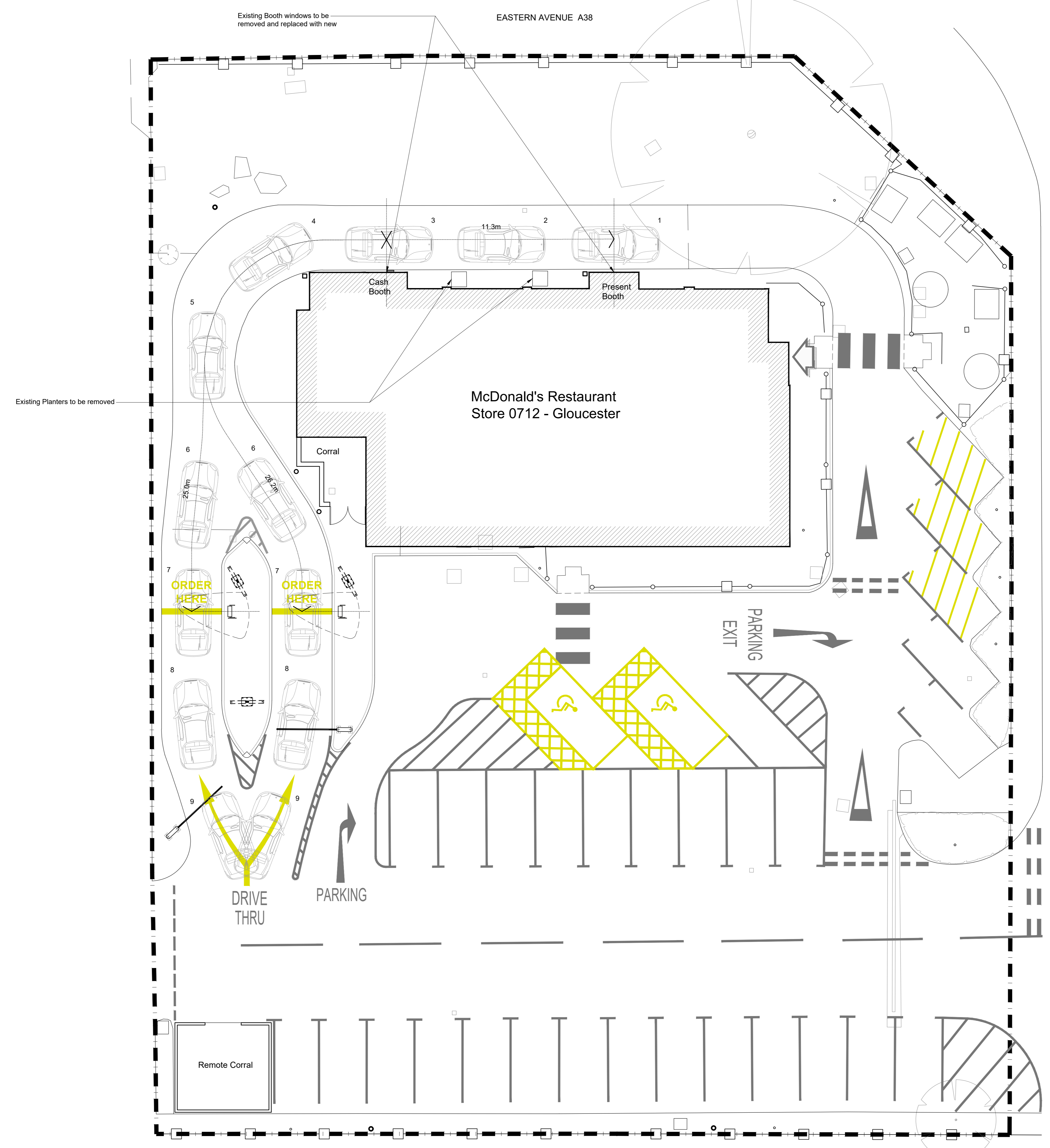
SCHEDULE OF AREAS	
Existing Site Area	0.2243ha
Existing Building (GIA / m <sup>2</sup> ) (Excluding Corral, Freezer/Chiller)	277.7m <sup>2</sup>
Existing Building (GIA / m <sup>2</sup> )	262.5m <sup>2</sup>

SCHEDULE OF PARKING	
Existing Grill Bays	3 Bays
Existing Accessible Bays	2 Bays
Existing General Bays	26 Bays
<b>EXISTING TOTAL BAYS</b>	<b>31 Bays</b>

SITE FINISHES	
Perimeter fence	N/A
Boundary wall	N/A
Car park finish	Asphalt
Drive thru finish	Asphalt
Plots finish	Concrete paving slabs
Footpaths	Concrete paving slabs
Soft landscaping	Grass

SITE FINISHES - ABBREVIATION KEY	
BD	Ballard
BP	Block Paving
BRW	Brick Retaining Wall
BS	Bus Stop
BT	British Telecom IC
BW	Brick Wall
CBF	Close Board Fence
CL	Chain Link Fence
CLF	Concret Level
CLP	Column
CP	Concrete Paving Slabs
CPF	Channel Paving Fence
CR	Cycle Rack
CC	Drainage Channel
DCH	Drop Kerb
DS	Drop Sign
FS	Flower Bed
FL	Flood Light
GA	Gate
GR	Guard Rail
IC	Inspection Cover
IPF	Iron Railing Fence
LB	Light Bin
LP	Lamp Post
MT	Mechanic
PD	Post
PRF	Post & Rail Fence
RE	Roofing Eye
RH	Road Hump
RS	Road Sign
RW	Retaining Wall
TPS	Table Paving Slabs

**Note:**  
All drawings to be read in conjunction with all other drawings as noted on issue sheet.  
Extent of Site Boundary indicated thus:

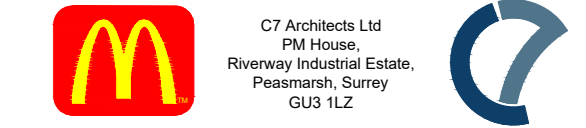


**Existing Site Plan**  
Scale 1:100

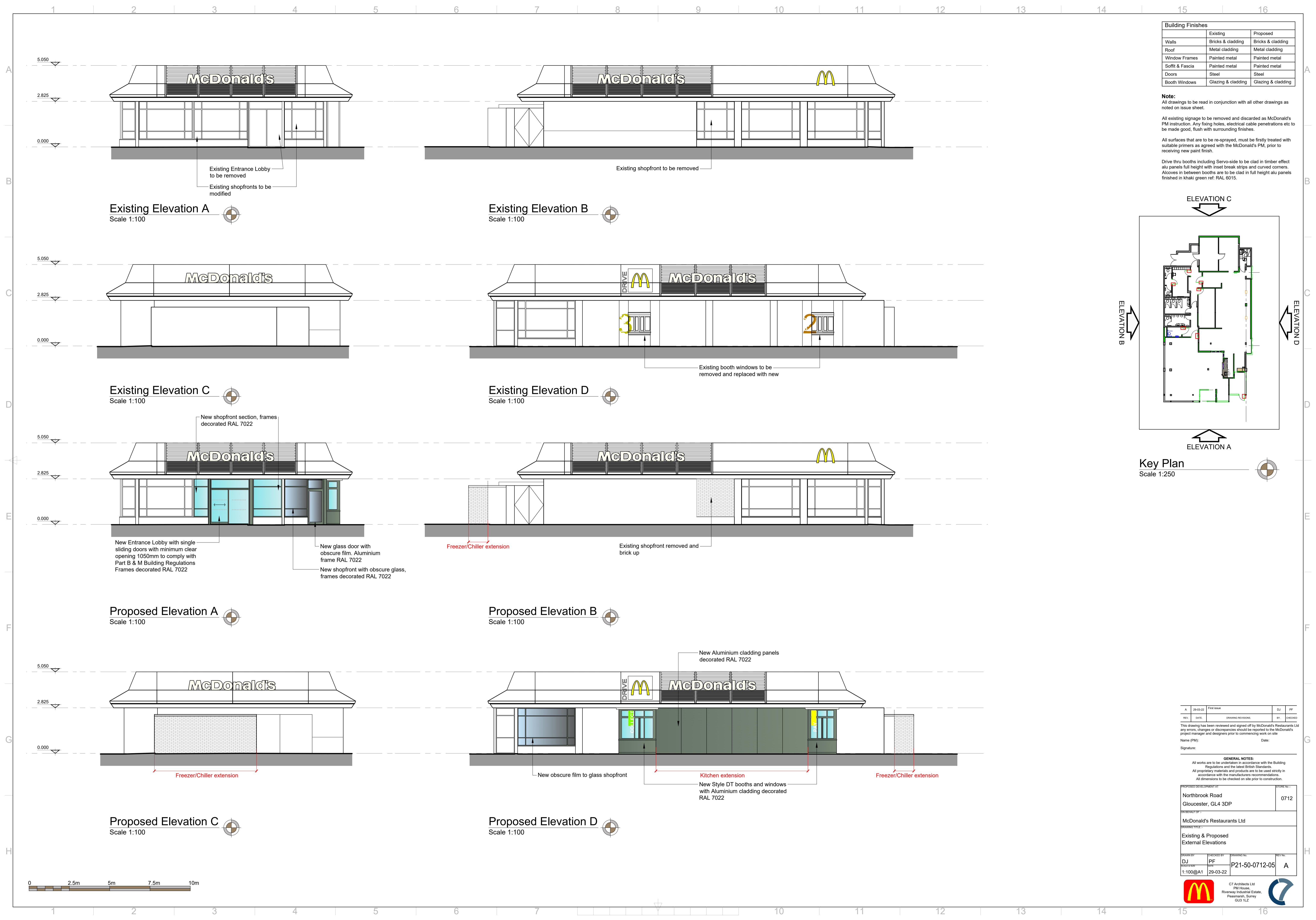
Author	Drawn	Checked	Date
me	me	me	28-03-2022

**GENERAL NOTES:**  
All works are to be undertaken in accordance with the Building Regulations and the latest British Standards.  
All proprietary materials and products are to be used unless otherwise specified.  
All dimensions to be checked on site prior to construction.

Northbrook Road Gloucester, GL4 3DP		0712
McDonald's Restaurants Ltd		
Existing Site Plan		
Drawn	Checked	Approved
me	me	me
Date	Project No	Sheet No
28-03-2022	P21-50-0712-03	A

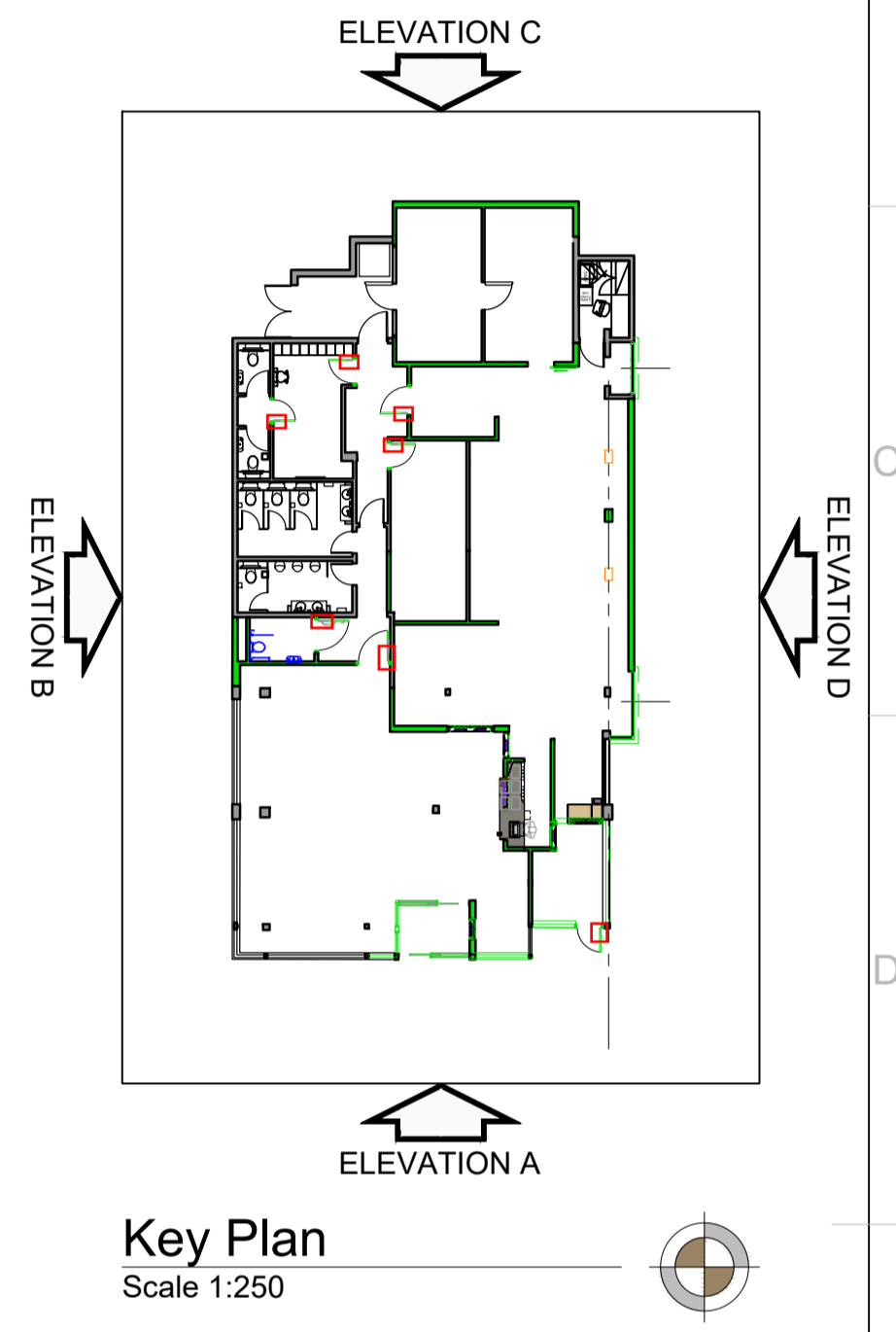






Building Finishes		
	Existing	Proposed
Walls	Bricks & cladding	Bricks & cladding
Roof	Metal cladding	Metal cladding
Window Frames	Painted metal	Painted metal
Soffit & Fascia	Painted metal	Painted metal
Doors	Steel	Steel
Booth Windows	Glazing & cladding	Glazing & cladding

**Note:**  
 All drawings to be read in conjunction with all other drawings as noted on issue sheet.  
 All existing signage to be removed and discarded as McDonald's PM instruction. Any fixing holes, electrical cable penetrations etc to be made good, flush with surrounding finishes.  
 All surfaces that are to be re-sprayed, must be firstly treated with suitable primers as agreed with the McDonald's PM, prior to receiving new paint finish.  
 Drive thru booths including Servo-side to be clad in timber effect alu panels full height with inset break strips and curved corners. Alcoves in between booths are to be clad in full height alu panels finished in khaki green ref. RAL 6015.



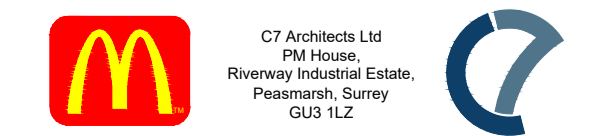
**Key Plan**  
 Scale 1:250

REV.	DATE	DRAWING REVISIONS	BY	CHECKED
A	29-03-22	First Issue	DJ	PF

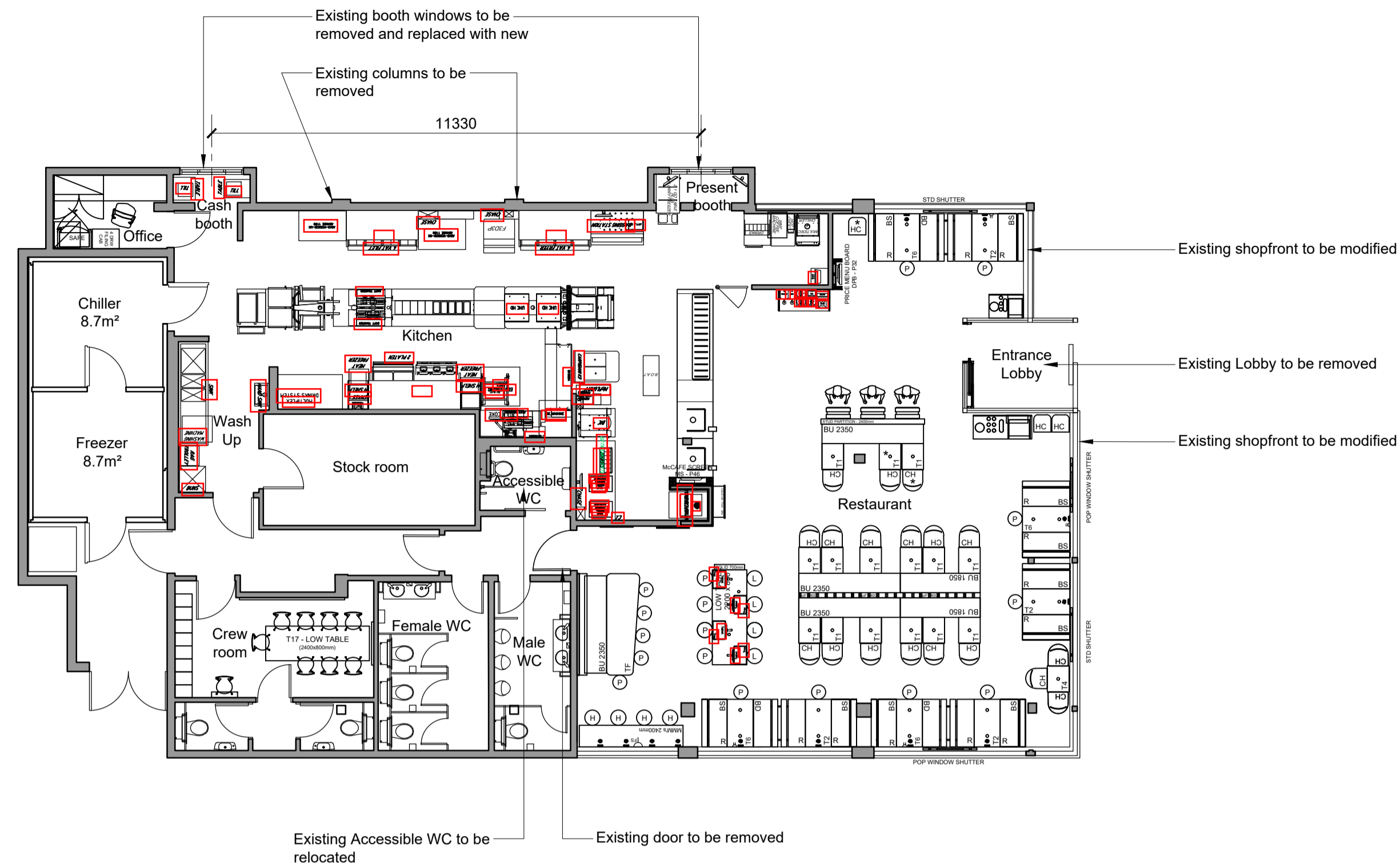
This drawing has been reviewed and signed off by McDonald's Restaurants Ltd any errors, changes or discrepancies should be reported to the McDonald's project manager and designers prior to commencing work on site.  
 Name (PM): \_\_\_\_\_ Date: \_\_\_\_\_  
 Signature: \_\_\_\_\_

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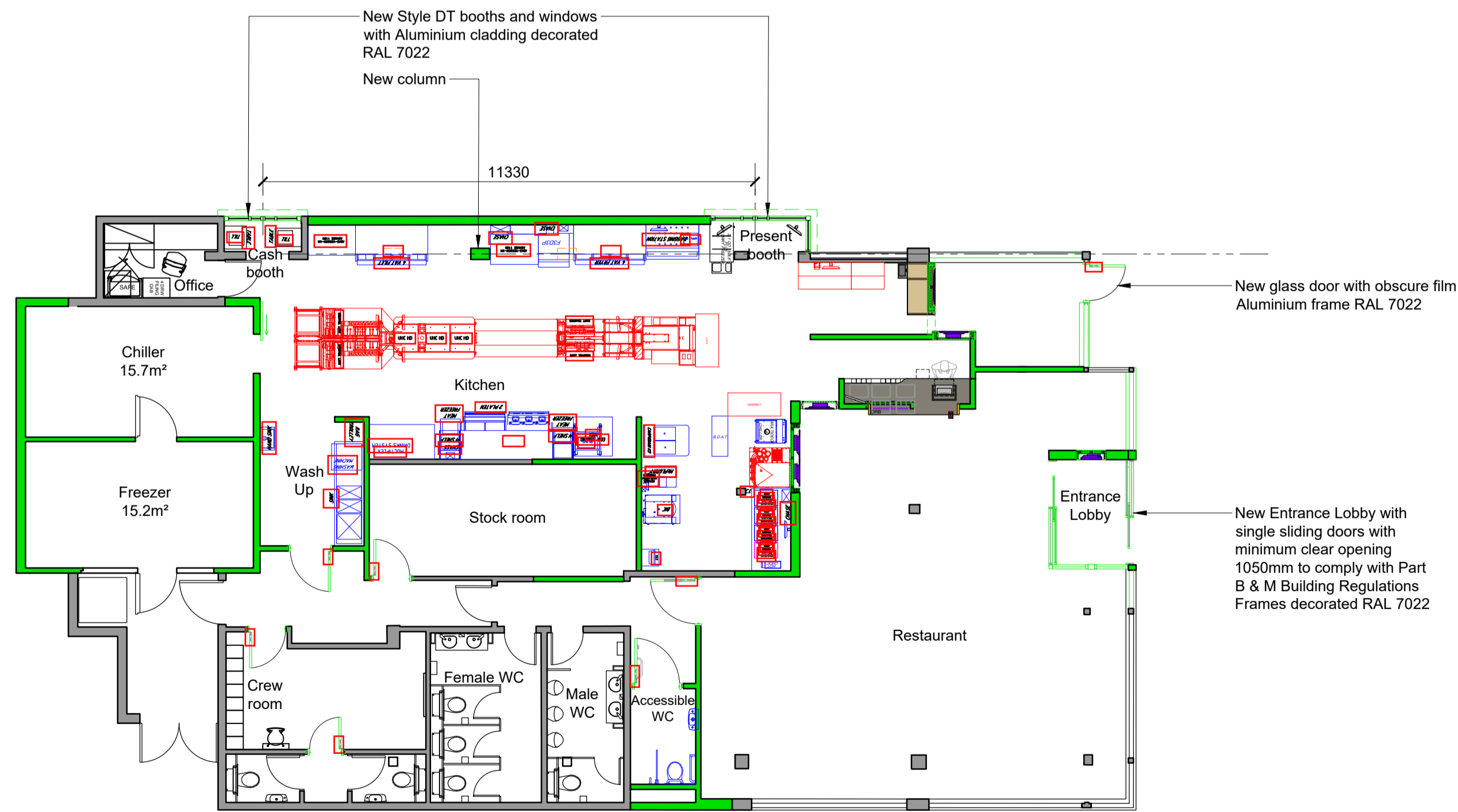
PROPOSED DEVELOPMENT AT	STORE NO
Northbrook Road Gloucester, GL4 3DP	0712
PREPARED BY - McDonald's Restaurants Ltd	
DRAWING TITLE - Existing & Proposed External Elevations	
DRAWN BY DJ	CHECKED BY PF
PROJECT NO 1:100@A1	DRAWING NO P21-50-0712-05
DATE 29-03-22	REV NO A



COLOUR REFERENCING (MCD'S EUROPEAN STANDARD)	
<span style="border: 1px solid green; display: inline-block; width: 10px; height: 10px;"></span>	New construction
<span style="border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span>	Item(s) retained in existing location
<span style="border: 1px solid red; display: inline-block; width: 10px; height: 10px;"></span>	New item(s)
<span style="border: 1px solid blue; display: inline-block; width: 10px; height: 10px;"></span>	Relocated item(s)
<span style="border: 1px solid purple; display: inline-block; width: 10px; height: 10px;"></span>	Merchandising items
<span style="border: 1px solid pink; display: inline-block; width: 10px; height: 10px;"></span>	Optional/future item(s)



Existing Internal Layout  
Scale 1:100



Proposed Internal Layout  
Scale 1:100



REV.	DATE	DRAWING REVISIONS	BY	CHECKED
A	29-03-22	FIRST ISSUE	DJ	PF

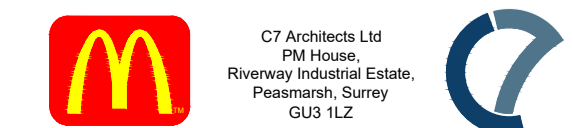
This drawing has been reviewed and signed off by McDonald's Restaurants Ltd any errors, changes or discrepancies should be reported to the McDonald's project manager and designers prior to commencing work on site.

Name (PM): \_\_\_\_\_ Date: \_\_\_\_\_

Signature: \_\_\_\_\_

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PROPOSED DEVELOPMENT AT	PROPOSED NO.		
Northbrook Road Gloucester, GL4 3DP	0712		
ON BEHALF OF			
McDonald's Restaurants Ltd			
DRAWING TITLE			
Existing & Proposed General Arrangement Plan			
DRAWN BY	CHECKED BY	DRAWING NO.	REV. NO.
DJ	PF	P21-50-0712-06	A
SCALE	DATE		
1:100@A1	29-03-22		



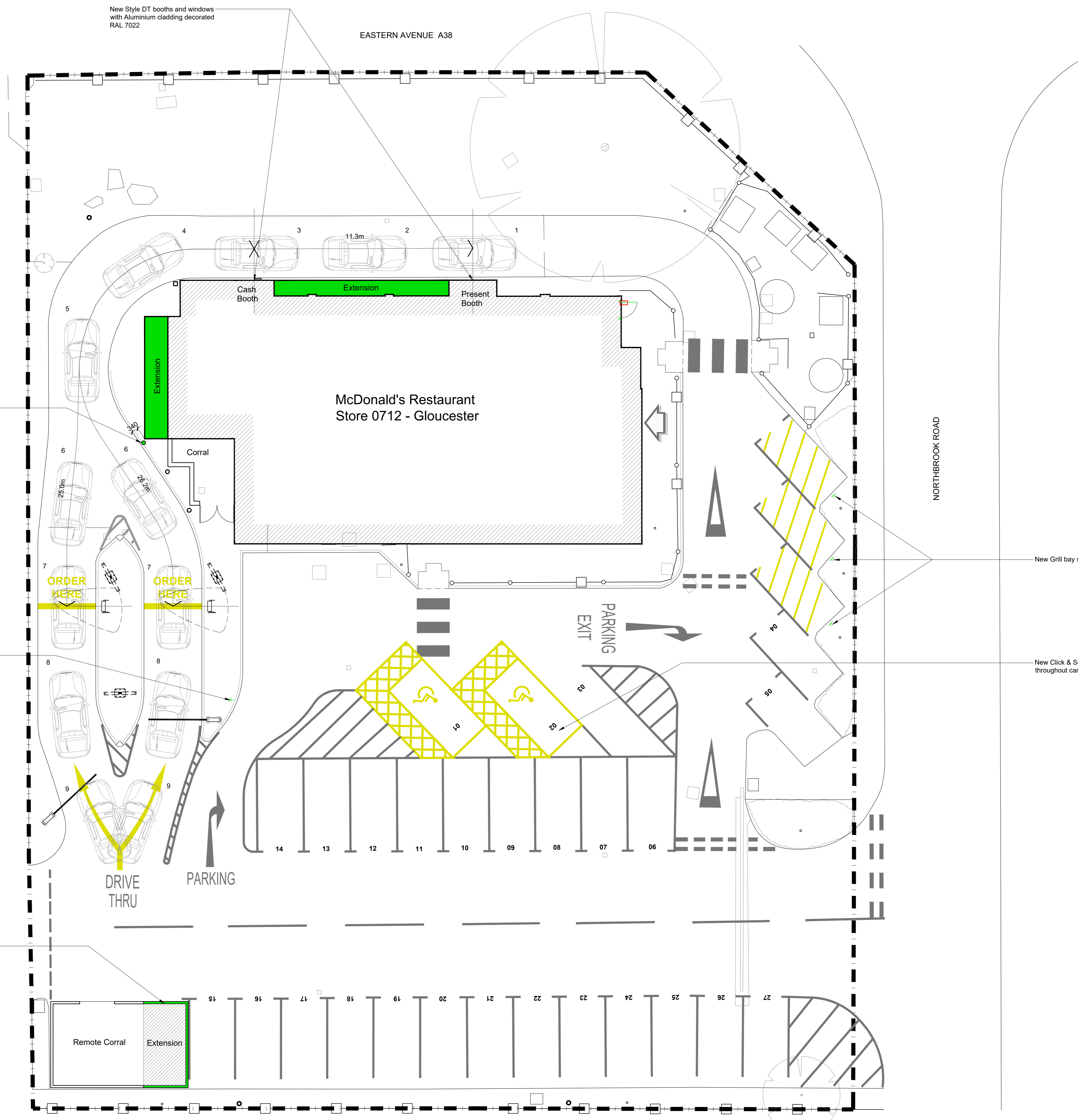


COLOUR REFERENCING (MCD'S EUROPEAN STANDARD)	
<span style="border: 1px solid green; display: inline-block; width: 10px; height: 10px;"></span>	New construction
<span style="border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span>	Item(s) retained in existing location
<span style="border: 1px solid red; display: inline-block; width: 10px; height: 10px;"></span>	New item(s)
<span style="border: 1px solid blue; display: inline-block; width: 10px; height: 10px;"></span>	Relocated item(s)
<span style="border: 1px solid purple; display: inline-block; width: 10px; height: 10px;"></span>	Merchandising items
<span style="border: 1px solid pink; display: inline-block; width: 10px; height: 10px;"></span>	Optional/future item(s)

SCHEDULE OF AREAS	
Existing Site Area	0.2243 ha
Existing Building (GEA / m <sup>2</sup> ) (Excluding Corral, Freezer/Chiller)	277.7m <sup>2</sup>
Existing Building (GSA / m <sup>2</sup> )	262.5m <sup>2</sup>
Proposed Site Area	0.2243 ha
Proposed Building (GEA / m <sup>2</sup> ) (Excluding Corral, Freezer/Chiller)	280.1m <sup>2</sup>
Proposed Building (GSA / m <sup>2</sup> )	264.9m <sup>2</sup>

SCHEDULE OF PARKING	
Existing Grill Bays	3 Bays
Existing Accessible Bays	2 Bays
Existing General Bays	26 Bays
Existing Total Bays	31 Bays
Proposed Grill Bays	3 Bays
Proposed Accessible Bays	2 Bays
Proposed General Bays	25 Bays
<b>PROPOSED TOTAL BAYS</b>	<b>30 Bays</b>

**Note:**  
All drawings to be read in conjunction with all other drawings as noted on issue sheet.  
Extent of Site Boundary indicated by:   
Signage: All proposed signs noted on drawing including if illuminated and method of illumination.



1no New Marshall's Rhino bollard R8101 decorated Black with reflective strips

New Click & Serve signs "Park in any numbered bay"

Existing Remote Corral extended

New Grill bay signage to new design

New Click & Serve road markings throughout car park

**Proposed Site Plan**  
Scale 1:100

Author	Drawn	Checked	By
Rev	Date	Description	By

The drawing has been reviewed and signed off by McDonald's representatives. Any errors, changes or omissions will be reported to the McDonald's project manager and designers prior to construction work on site.

Name (PM): \_\_\_\_\_ Date: \_\_\_\_\_  
Signature: \_\_\_\_\_

**GENERAL NOTES:**  
All works are to be undertaken in accordance with the Building Regulations and the latest British Standards.  
All proprietary materials and products are to be used unless specified otherwise in the manufacturer's recommendations.  
All dimensions to be checked on site prior to construction.

Northbrook Road Gloucester, GL4 3DP		Project No:	0712
McDonald's Restaurants Ltd		Client:	
Proposed Site Plan		Proposed Site Plan	
Drawn by:	Checked by:	Approved by:	Rev:
1.100449	28-03-22	P21-50-0712-300	A

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## Householder and other minor extensions in Flood Zones 2 and 3

**This guidance is for domestic extensions; and non-domestic extensions where the additional footprint created by the development does not exceed 250 square metres. It should NOT be applied if an additional dwelling is being created.**

We recommend that:

### Planning Authorities

- 1) Refer the applicant to the standing advice pages on the Environment Agency website or provide them with a copy of this page for them to include as part of the planning application submission.
- 2) Check the planning application to ensure that one or other of the mitigation measures from the table below has been incorporated.

**Applicants** complete the table below and include it with the planning application submission. The table, together with the supporting evidence, will form the Flood Risk Assessment (FRA) and will act as an assurance to the Local Planning Authority that flood risk issues have been adequately addressed. Print the completed form to a PDF writer if submitting this form electronically.

Applicant to choose one or other of the flood mitigation measures below	Applicant to provide the LPA with the supporting information detailed below as part of their FRA	Applicant to indicate their choice in the box below. Enter 'yes' or 'no'
Either ;  Floor levels within the proposed development will be set no lower than existing levels AND, flood proofing of the proposed development has been incorporated where appropriate.	Details of any flood proofing / resilience and resistance techniques, to be included in accordance with 'Improving the flood performance of new dwellings' CLG (2007)	YES
Or;  Floor levels within the extension will be set 300mm above the known or modelled 1 in 100 annual probability river flood (1%) or 1 in 200 annual probability sea flood (0.5%) in any year. This flood level is the extent of the Flood Zones	This must be demonstrated by a plan that shows finished floor levels relative to the known or modelled flood level. All levels should be stated in relation to Ordnance Datum <sup>1</sup>	NO

### Subterranean/basement extensions

Due to the risk of rapid inundation by floodwater; basements should be avoided in areas at risk of flooding.

The LPA may hold additional guidance for basement extensions.

Self-contained basement dwellings are 'Highly Vulnerable' development and should not be permitted in flood zone 3. We are fundamentally opposed to these developments.

Continued...

<sup>1</sup> Ordnance Datum or the abbreviation 'OD' is the mean level of the sea at Newlyn in Cornwall from which heights above sea level are taken. The contour

## **Cumulative impact of minor extensions and the removal of Permitted Development rights.**

PPS25 paragraph D16 highlights the potential for the cumulative impact of minor extensions to have a significant effect on flood risk. Where local knowledge (Strategic Flood Risk Assessment held by the LPA/information provided by the parish council) suggests this is the case the guidance contained in FRA guidance note 2 should be applied<sup>2</sup>. FRA guidance note 2 can also be applied where permitted development rights have been removed for flood risk reasons. The Environment Agency does not usually comment on minor development in this category.

### **Permeable paving and changes to permitted development rights for householders**

On the 1<sup>st</sup> October 2008 the General Permitted Development Order (GPDO) in England was amended by the Government (Statutory Instrument 2008 No. 2362).

One of the changes introduced by the GPDO amendment is the removal of permitted development rights for householders wishing to install hard surfacing in front gardens which exceeds 5 square metres (i.e. 1m x 5 m) without making provision to ensure permeability. This means that use of traditional materials, such as impermeable concrete, where there is no facility in place to ensure permeability, requires an application for planning permission.

In order to help and advise householders of the options for achieving permeability and meeting the condition for permitted development status the Department for Communities and Local Government (CLG) has produced guidance on permeable paving which can be found on the following link <http://www.communities.gov.uk/publications/planningandbuilding/pavingfrontgardens>.

The Environment Agency support this change to the GPDO as it is in line with the recommendations of the Pitt Report regarding the need to better tackle the impact of surface water flooding. However, Local Planning Authorities should determine these applications in accordance with the CLG guidance **without** consulting the Environment Agency.

**End of comment**

**Flood Resilience and Resistance Statement  
McDonald's Restaurant  
Northbrook Road  
Gloucester**

**11<sup>th</sup> April 2022**

**Description of Development/Environment**

McDonald's **Gloucester – Barnswood**, is a food retail operation of approximately **278m<sup>2</sup>** providing hot and cold consumables for people visiting the retail and drive thru development. The retail mix includes the option to purchase hot meals, pre-prepared salads, desserts, hot and cold drinks with additional 'impulse' purchases.

The proposed extension is 2.4m<sup>2</sup>, which is to be bumped out to the end of the eaves, increasing the kitchen area and to form a new store at back of house.

The Environmental Agency advise that a non-domestic extension where the additional footprint created by the development does not exceed 250 m<sup>2</sup> is a minor extension. Therefore, this development amounts to a minor extension in a Flood Zone 2. A completed FRSA009a accompanies this document.